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RAPID CITY COMMUNITY PLANNING & DEVELOPMENT SERVICES 809 SOUTH STREET SUITE 101 RAPID CITY, SD 57701 PH: (805) 348-9171 e: drawingboard @live.com

SOUTH DAKOTA

SHED

CITY, RAPID

14'x24'

FLOOR PLAN & EXTERIOR ELEVATIONS

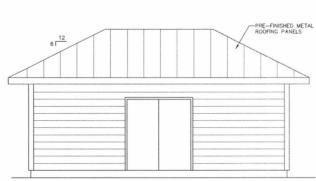
Date: 7/3/15 Designed: GH Drawn: GH Checked: JB

Project Number: 15008 File Name: 15008-11.DWG

NOTE:
WHILE EVERY ATTEMPT HAS BEEN MADE DURING THE
PREPARATION OF THESE PLANS TO AVOID MISTAKES,
THE MAKER CANNOT GUARANTEE AGAINST HUMAN ERROR.
THE CONTRACTORS AND OWNER MUST CHECK AND VERIFY
ALL DIMENSIONS AND OTHER DETAILS AND COORDINATE
BETWEEN ALL ASPECTS, AND TRADES DURING THE
CONSTRUCTION PROBLEMS. DO NOT SCALE THESE DRAWINGS 2.2

-PRE-FINISHED SIDING (COLOR AND STYLE BY OWNER) NORTH ELEVATION

SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



- CONTRACTOR & SUBCONTRACTORS SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD & COORDINATE BETWEEN TRADES.
- ALL DIMENSIONS ARE FROM ROUGH FRAME FACE OF STUD TO FACE OF STUD CENTERLINE OF WINDOW, OR DOOR UNLESS NOTED OTHERWISE.

- CENTERLINE OF WINDOW, OR DOUR ONLESS NOTED OTHERWISE OF MINDOW DISCONDINGS ARE NOMINAL VERIFY WINDOW UNIT DIMENSIONS & ROUGH OPENINGS WITH THE MANUFACTURER. VERIFY TYPES OF DOORS AND WINDOWS WITH OWNER.

 4) ALL WOOD FRAMED WALLS ARE 226 CONSTRUCTION UNLESS NOTED OTHERWISE.

 5) ALL TRADES SHALL COMPLY WITH IRC, AND ALL STATE, COUNTY, AND LOCAL CODES AMMENOMENTS AND REQULATIONS.
- ALL TRUSSES TO BE PRE-ENGINEERED AND BUILT BY A CERTIFIED TRUSS MANUFACTURER.
- ALL TRUSSES SHALL BE BRACED PER TRUSS MANUFACTURES SHOP DRAWINGS AND THE MANUFACTURERS RECOMMENDATIONS.

- AND THE MANUFACTURERS RECOMMENDATIONS,

 GUTTERS, DOWN SPOUTS, & SPLASH BLOCKS ARE NOT SHOWN.

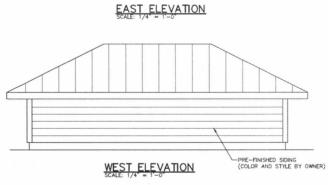
 9) SIDING AND ROCK STALE & COLOR BY OWNER.

 10) PROVIDE ROOF AND SOFFIT VENTS TO ADEQUETLY VENTILATE THE ATTIC
 SPACES. COMPLY WITH RIC REQUIREMENTS AND COORDINATE THE SIZE
 OF VENTS AND LOCATIONS WITH VENT MANUFACTURER. TYPICAL
- 11) SLOPE GRADE AWAY FROM GARAGE IN ALL DIRECTIONS. PROVIDE POSITIVE DRAINAGE FOR ALL GROUND WATER AND RUNOFF WATER AWAY FROM BUILDING TYPICAL ALL SIDES.

 12) ROOF MATERIAL SHALL COMPLY WITH IRC AND LOCAL REQUIREMENTS. COLOR & STYLE BY OWNER.
- 13) GRADES SHOWN ARE ASSUMED. CONTRACTOR SHALL COORDINATE TOP OF FOUNDATION & GRADE ELEVATIONS W/ ACTUAL FINISH SITE. (MAINTAIN 8" MIN. FROM FINISH GRADE TO TOP OF FOUNDATION)

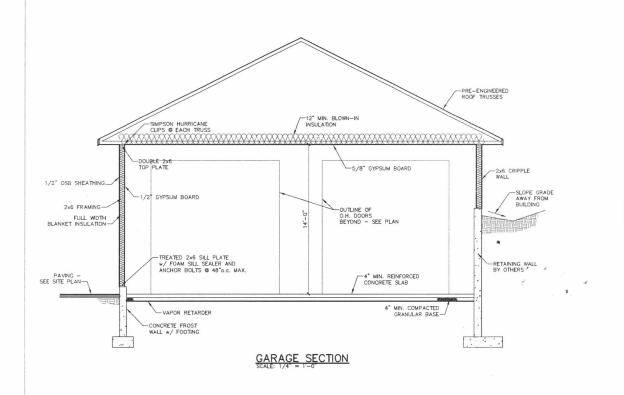
6'-0"x6'-8" SLIDING DOOR

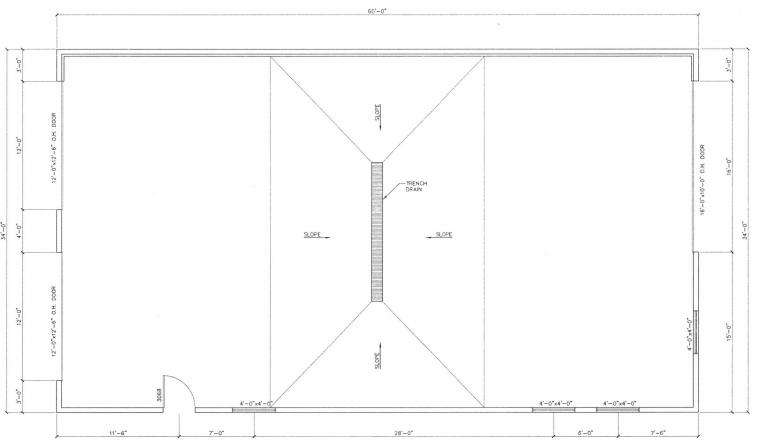
- 14) PROVIDE FIRE & DRAFT STOPS AS REQUIRED BY IRC.
- 15) SEAL PENETRATIONS THRU PLATES AT TOP OF WALL, ETC. PER IRC REQUIREMENTS.



EAST ELEVATION

GENERAL NOTES:





6:12 6:12

ROOF PLAN

GARAGE PLAN

GENERAL NOTES:

- CONTRACTOR & SUBCONTRACTORS SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD & COORDINATE BETWEEN TRADES.
- ALL DIMENSIONS ARE FROM ROUGH FRAME FACE OF STUD TO FACE OF STUD CENTERLINE OF WINDOW, OR DOOR UNLESS NOTED OTHERWISE.
- CENTERTINE OF WINDOW, OR DOUR ONLESS NOTED OTHERWISE.

 3) ALL WINDOW DESIGNATIONS ARE NOMINAL VERIFY WINDOW UNIT DIMENSIONS & ROUGH OPENINGS WITH THE MANUFACTURER, VERIFY TYPES OF DOORS AND WINDOWS WITH OWNER.

 4) ALL WOOD FRAMED WALLS ARE 2x6 CONSTRUCTION UNLESS NOTED OTHERWISE.

 5) ALL TRADES SHALL COMPLY WITH IRC, AND ALL STATE, COUNTY, AND LOCAL CODES AMMENDMENTS AND REGULATIONS.

- ALL TRUSSES TO BE PRE-ENGINEERED AND BUILT BY A CERTIFIED TRUSS MANUFACTURER.
- 7) ALL TRUSSES SHALL BE BRACED PER TRUSS MANUFACTURES SHOP DRAWINGS AND THE MANUFACTURERS RECOMMENDATIONS.
 8) GUTTERS, DOWN SPOUTS, & SPLASH BLOCKS ARE NOT SHOWN.
 9) SIDING AND ROCK STYLE & COLOR BY OWNER.
- 10) PROVIDE ROOF AND SOFFIT VENTS TO ADEQUETLY VENTILATE THE ATTIC SPACES. COMPLY WITH IRC REQUIREMENTS AND COORDINATE THE SIZE OF VENTS AND LOCATIONS WITH VENT MANUFACTURER. TYPICAL
- 11) SLOPE GRADE AWAY FROM GARAGE IN ALL DIRECTIONS. PROVIDE POSITIVE DRAINAGE FOR ALL GROUND WATER AND RUNOFF WATER AWAY FROM BUILDING TYPICAL ALL SIDES.
- 12) ROOF MATERIAL SHALL COMPLY WITH IRC AND LOCAL REQUIREMENTS. COLOR & STYLE BY OWNER.
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JUL 1 0 2015

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ALL DIMENSIONS AND OTHER DETAILS AND CORDINATE
BETWEEN ALL ASPECTS, AND TRADES DURING THE
CONSTRUCTION PROCESS TO ELIMINATE, AND PREVENT
CONFLICTOR, AND PROBLEMS. DO NOT SCALE THESE DRAWINGS

809 SOUTH STREET SUITE 101 RAPID CITY, SD 57701 PH: (605) 348-9171 e: drawingboard@live.com

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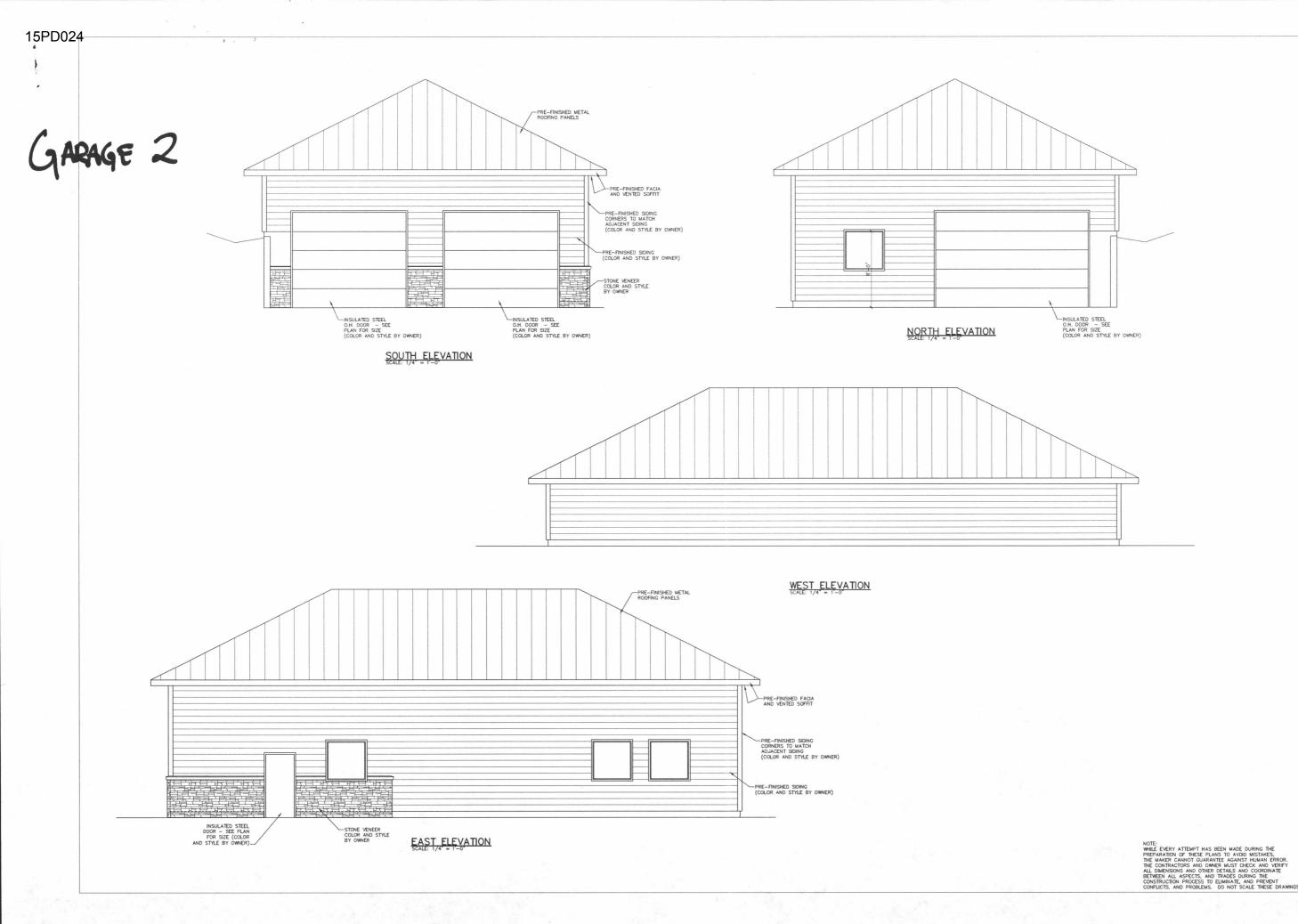
GARAGE 34'x60'

SECTION FLOOR PLAN AND BUILDING

Date: 7/3/15 Designed: GH Drawn: GH Checked: Project Number: 15008 File Name: 15008-11.DWG

1.1

RAPID CITY COMMUNITY PLANNING & DEVELOPMENT SERVICES



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Computer Drafting Services

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Project title:

34'x60' GARAGE

RAPID CITY, SOUTH DAKOTA

Sheet title:
EXTERIOR ELEVATIONS

Date:
7/3/15
Designed:
GH
Drawn:
GH
Checked:
JB
Project Number:
15008
File Name:
15008-11.DWG

Sheet:

2.1