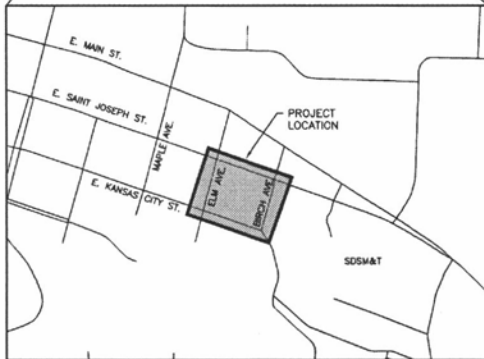
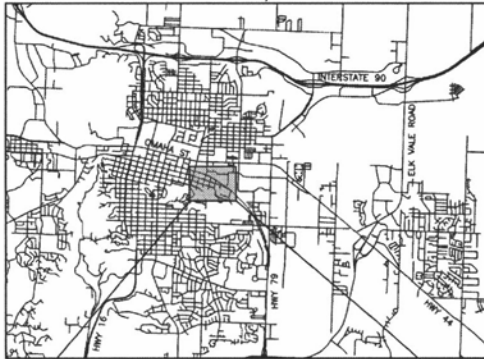


EAST ST. JOSEPH STREET CAMPUS HOUSING

SOUTH DAKOTA SCHOOL OF MINES AND TECHNOLOGY

D.D.I. JOB NUMBER: 11-0610

CITY OF RAPID CITY, SOUTH DAKOTA



PROJECT LOCATION MAP NOT TO SCALE

INDEX OF SHEETS

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- 10-11 DETAIL SHEETS
- 12 EROSION CONTROL NARRATIVE
- 13 EROSION CONTROL PLAN
- 14 EROSION CONTROL DETAILS

REFERENCE

DETAILED TOPOGRAPHIC MAP BY RENNER & ASSOC.
DATED 1/26/12

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Rapid City Community Planning
& Development Services

CITY OF RAPID CITY <small>There are reviewed for general conformance with applicable governmental regulations, ordinances, codes, criteria and engineering standards. The City of Rapid City does not certify the suitability, absence or completeness of the plans or design, which are the responsibility of the engineer of record. All necessary permits shall be obtained prior to construction of the proposed public improvements.</small>	Submittal: 2-21-12 - FINAL PRO SUBMITTAL
Engineering Division: 500 SUBMITTAL	Estimate: 3-9-12

FOR REVIEW ONLY

DREAM DESIGN INTERNATIONAL, INC.
ENGINEERING, LANDSCAPE ARCHITECTURE, LAND PLANNING, CONSTRUCTION ADMINISTRATION
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EAST ST. JOSEPH STREET CAMPUS HOUSING
SOUTH DAKOTA SCHOOL OF MINES & TECHNOLOGY



I, _____, CERTIFY THAT I HAVE READ AND UNDERSTAND THE PROVISIONS CONTAINED IN THE CITY OF RAPID CITY STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, CURRENT EDITION AND THE CITY OF RAPID CITY'S ADOPTED DESIGN CRITERIA MANUALS. THE DRAWINGS AND SPECIFICATIONS CONTAINED HERE WITHIN, TO THE BEST OF MY KNOWLEDGE, WERE PREPARED IN ACCORDANCE WITH THESE DOCUMENTS, OR A PROPERLY EXECUTED EXCEPTION TO THE DESIGN STANDARDS HAS BEEN OBTAINED.

ENGINEER: _____ DATE: _____

Sheet Number: _____ of 14

TITLE

GENERAL NOTES:

THE SITE GRADING, EXCAVATION AND PLACEMENT OF FILL SHALL BE IN ACCORDANCE WITH CURRENT REGULATIONS AND PROCEDURES FOR SUBDIVISION CONSTRUCTION IN RAPID CITY, SOUTH DAKOTA.

THE CONTRACTOR SHALL SECURE ALL REQUIRED PERMITS PRIOR TO BEGINNING WORK.

ALL EXISTING UTILITIES MAY NOT BE SHOWN ON THE LOCATIONS MAY VARY FROM THAT SHOWN. THE CONTRACTOR IS RESPONSIBLE TO HAVE ALL UTILITIES LOCATED PRIOR TO BEGINNING WORK.

PROVIDE TRAFFIC CONTROL DURING CONSTRUCTION IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.

ALL WORK SHALL COMPLY WITH THE CITY OF RAPID CITY STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION. (THE CURRENT ADOPTED EDITION)

PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN AND COMPLY WITH:

- DUST CONTROL PERMIT
- EROSION AND SEDIMENT CONTROL PERMIT
- RAPID CITY RIGHT-OF-WAY PERMIT
- SODIUM NOTICE OF INTENT

THE CONTRACTOR SHALL CLEAR AND GRUB THE AREA TO BE GRADED. TOPSOIL WITHIN THE GRADING LIMITS SHALL BE STRIPPED AND STOCKPILED. AFTER THE SITE GRADING IS COMPLETE, THE CONTRACTOR SHALL SPREAD THE TOPSOIL OVER ALL GRADED AREAS EXCEPT UNDER THE PROPOSED STREETS.

THE CONTRACTOR SHALL GRADE THE SITE TO THE LINES AND GRADERS SHOWN ON THE DRAWINGS OR STATED BY THE ENGINEER. EXCAVATION SHALL INCLUDE ALL MATERIALS ENCOUNTERED OF WHATEVER NATURE.

ALL AREAS, EXCEPT THOSE AREAS TO BE PAVED, DISTURBED DURING CONSTRUCTION SHALL BE FERTILIZED, SEED, AND MULCHED FOR EROSION CONTROL FOLLOWING COMPLETION OF THE GRADING OPERATIONS. THE TOPSOIL PLACEMENT, FERTILIZING, SEEDING, AND MULCHING SHALL BE DONE IN CONFORMANCE WITH THE CITY OF RAPID CITY, STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.

EXISTING UTILITIES

LOCATION OF EXISTING UTILITIES SHOWN ON THESE DRAWINGS ARE APPROXIMATE AND WERE TAKEN FROM THE BEST AVAILABLE RECORDS. PRIOR TO EXCAVATION, THE CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION OF ALL UTILITIES WHETHER OR NOT SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL PROTECT ALL UTILITIES DURING CONSTRUCTION. THE CONTRACTOR SHALL SUPPORT OR TUNNEL UNDER EXISTING UTILITIES IN A MANNER THAT THE EXISTING UTILITIES ARE NOT DAMAGED OR DISTURBED. UNLESS OTHERWISE NOTED, ANY DISTURBANCE OR REPLACEMENT OF EXISTING UTILITIES SHALL BE INCIDENTAL TO THE PROJECT. IF REQUIRED, THE CONTRACTOR SHALL COORDINATE RELOCATION OF THE UTILITY WITH THE UTILITY OWNER. ALL UTILITIES ARE TO BE ADJUSTED AND/OR RELOCATED BY THE RESPECTIVE UTILITY COMPANIES UNLESS OTHERWISE INDICATED IN THESE DRAWINGS.

UTILITY CONTACTS

BLACK HILLS POWER	ALAN VANSPOORHIVE	391-2142
MONTANA DAKOTA UTILITIES	MARK LEBEA	395-4294
CENTURYLINK	KEITH NELSON	394-4720
KNOXLOGY	TIMOTHY ERICKSON	721-2722
RECONSTRUCTION COMMUNICATIONS	TERRY HEES	791-7153
GOLDEN WEST	DICK DEUTSCHER	719-3532
ROCKY MOUNTAIN PIPELINE	MARK JORRING	343-8764
RAPID VALLEY SANITARY DISTRICT	BUSBY SCHEIDT	381-2904
WEST RIVER ELECTRIC ASSOCIATION, INC.	WATT SCHWABE	393-1500

EROSION CONTROL

ALL AREAS THAT ARE DISTURBED DURING CONSTRUCTION SHALL BE FERTILIZED, SEED, AND MULCHED FOR PERMANENT OR TEMPORARY EROSION CONTROL IMMEDIATELY FOLLOWING COMPLETION OF GRADING. TOPSOIL PLACEMENT, FERTILIZING, SEEDING, AND MULCHING SHALL BE IN ACCORDANCE WITH CITY STANDARDS FOR PUBLIC WORKS CONSTRUCTION. (SEE MIX FOR ALL AREAS SHALL BE IN ACCORDANCE WITH CITY OF RAPID CITY STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (2007 EDITION)). (ROAD DETAIL MIX DESIGN)

TEMPORARY EROSION CONTROL SHALL BE THE CONTRACTOR'S RESPONSIBILITY AND SHALL CONSIST OF STRAW BALES, BILT FENCE, OR OTHER MEANS TO CONTROL EROSION AS NEEDED. (OR AS SHOWN ON THE PLANS). EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY STANDARDS FOR PUBLIC WORKS CONSTRUCTION AND THE CITY OF RAPID CITY STORMWATER QUALITY.

MAINTENANCE SHALL BE PERFORMED ON ALL EROSION CONTROL PRACTICES AS SPECIFIED IN THE APPROVED EROSION AND SEDIMENT CONTROL PLAN.

CONSTRUCTION LIMITS

IN GENERAL, THE CONSTRUCTION LIMITS FOR THE PROJECT SHALL BE DEFINED AS FOLLOWS:

PROPERTY LINES, RIGHT-OF-WAY (ROW) LINES, GRADING LIMITS, AND EXISTING UTILITY EASEMENT LINES SHALL BE THE CONSTRUCTION LIMITS UNLESS INDICATED OTHERWISE ON THE DRAWINGS.

THE CONTRACTOR SHALL CONFINE CONSTRUCTION WORK WITHIN THE CONSTRUCTION LIMITS DEFINED.

CONSTRUCTION ACTIVITIES SHALL BE RESTRICTED TO THE CONSTRUCTION LIMITS UNLESS PRIOR APPROVAL IS RECEIVED FROM THE ENGINEER. USE OF CITY LANDS FOR STAGING AREAS, MATERIAL STORAGE, SEDIMENTATION PONDS, DEWATERING AND/OR TOPSOIL STOCKPILING SHALL ONLY BE WITH PRIOR WRITTEN APPROVAL FROM THE CITY. ANY DAMAGES AND RESTORATION OUTSIDE THE CONSTRUCTION LIMITS SHALL BE AT THE CONTRACTOR'S EXPENSE.

CONSTRUCTION TRAFFIC TO AND FROM THE PROJECT SITE SHALL BE LIMITED TO ACCESSES LOCATED ON BEICH AVE., 5th ST., AND THE ALLEY. NO CONSTRUCTION ENTRY OR EXIT IS PERMITTED FROM ST. JOSEPH STREET.

SIDEWALKS AND RAMP

SIDWALK RAMP PLACEMENT SHALL BE REFERRED TO ON SITE LAYOUT SHEETS. RAMP CONFIGURATIONS AND SLOPES SHALL BE CONSTRUCTED IN CONFORMANCE TO CURRENT ADA REQUIREMENTS AND THE CITY OF RAPID CITY STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, CURRENT EDITION. THE MAXIMUM RAMP SLOPE SHALL BE 1:12 (8.33%) FOR THE RUNNING SLOPE AND 1/4"/FT. (2.0%) FOR THE CROSS-SLOPE. IF THE FULL VERTICAL RISE CAN NOT BE OBTAINED PRIOR TO REACHING THE SIDWALK, PROVIDE A LANDING AREA AND RESUME THE RAMP SLOPE ALONG THE SIDWALK LENGTH.

UTILITY CONSTRUCTION NOTES

ALL WATER AND SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RAPID CITY UTILITY CONSTRUCTION CODE AND STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 2007 EDITION.

THE DESIGNED PIPE JOINT DEFLECTIONS ARE ALL WITHIN THE PIPE MANUFACTURER'S RECOMMENDATION. JOINT DEFLECTIONS EXCEEDING THE MANUFACTURER'S ALLOWABLE LIMIT WILL BE ACCOMPLISHED USING HIGH DEFLECTION COUPLINGS AND MUST BE DESIGNED BY THE PROJECT ENGINEER.

WATER AND SEWER SERVICE LINES AND APPURTENANCES SHALL BE CONSTRUCTED TO SERVE EACH LOT. TENTATIVE LOCATIONS ARE SHOWN ON THIS DRAWING HOWEVER THE FINAL LOCATION FOR EACH SERVICE SHALL BE CONFIRMED IN THE FIELD DURING CONSTRUCTION. IN GENERAL THE WATER SERVICE LINE WILL MAINTAIN A MINIMUM DISTANCE OF 10' FROM THE SEWER SERVICE LINE, STORM SEWER INLETS OR PARALLEL PIPING, OR SANITARY SEWER MANHOLES OR PARALLEL PIPING.

SEWER SERVICES SHALL BE INSTALLED AT MINIMUM 1% SLOPE UNLESS OTHERWISE APPROVED BY THE ENGINEER. MARK END OF SEWER SERVICE LINES WITH A POST INDICATING DEPTH.

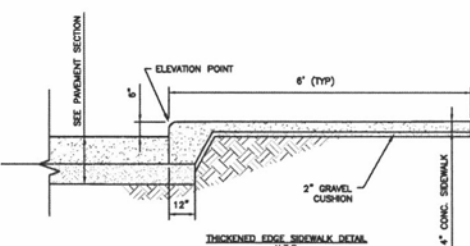
CONFINE VERTICAL SEPARATION AT ALL LOCATIONS WHERE WATER MAINS OR SERVICES CROSS SANITARY OR STORM SEWER MAINS. PROVIDE ENGAGEMENT IN ACCORDANCE WITH CITY OF RAPID CITY UTILITY CONSTRUCTION CODE IF WATER PIPING IS BELOW THE SEWER MAIN OR LESS THAN 18" ABOVE THE SEWER MAIN. ENCASE THE WATER MAIN IN SIX (6) INCHES OF CONCRETE FOR AT LEAST TEN (10) FEET OUTSIDE OF SEWER PIPE EACH SIDE OF THE CROSSING.

STANDARD ABBREVIATIONS

ABBREVIATION	MEANING
BOM	BOTTOM OF WALL
BM	BENCHMARK
CL	CENTERLINE
E	EAST
EG	EXISTING GRADE
EL	ELEVATION
FG	FINISHED GRADE
FL	FLOW LINE
INV	INVERT
N	NORTH
NW	NORTHWEST
NE	NORTHEAST
PC	POINT OF CURVATURE
PI	POINT OF INTERSECTION
PT	POINT OF TANGENCY
ROW	RIGHT OF WAY
S	SOUTH
SE	SOUTHEAST
BE	BEST AVAILABLE
BS	BEST AVAILABLE
STA	STATION
SW	SOUTHWEST
TBC	TOP BACK CURB
TBM	TEMPORARY BENCHMARK
TOA	TOP OF ASPHALT
TOC	TOP OF CONCRETE
TOG	TOP OF GRAVEL
TOW	TOP OF WALL
VPC	VERTICAL POINT OF CURVATURE
VPI	VERTICAL POINT OF INTERSECTION
VPT	VERTICAL POINT OF TANGENCY
W	WEST

LEGEND

	WATER LINE		POWER POLE
	SANITARY SEWER LINE		PROPERTY LINE
	SECTION LINE		QUARTER LINE
	SIXTEENTH LINE		EASEMENT LINE
	RIGHT-OF-WAY LINE		PROPOSED CLEARCUT
	MARKER CONTOUR		TELEPHONE CONDUIT
	CABLE TV OR TELEPHONE ROD		FIRE HYDRANT
	GATE VALVE		CHECK VALVE
	WOOD FENCE		BOUNDARY
	SECTION CORNER		SANITARY MANHOLE
	STORM SEWER LINE		MANHOLE
	TELEPHONE LINE		OVERHEAD POWER LINE
	GAS LINE		FIBER OPTIC LINE
	CABLE TV LINE		TRAFFIC CONDUIT LINE
	TYPE B INLET		TYPE C INLET



CITY OF RAPID CITY

2-21-12 - FINAL PRO SUBMITTAL

These are submitted for general compliance with applicable governmental requirements, specifications, design criteria and engineering standards. The City of Rapid City does not verify the accuracy, adequacy or completeness of the plans or design, which are the responsibility of the engineer of record. All necessary permits shall be obtained prior to construction of the proposed public improvements.

Engineering Number: 056

COMMENTS:

Revisions:

3-8-12

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EAST ST. JOSEPH STREET CAMPUS HOUSING SOUTH DAKOTA SCHOOL OF MINES & TECHNOLOGY

Sheet Number: 2 of 14

GENERAL NOTES

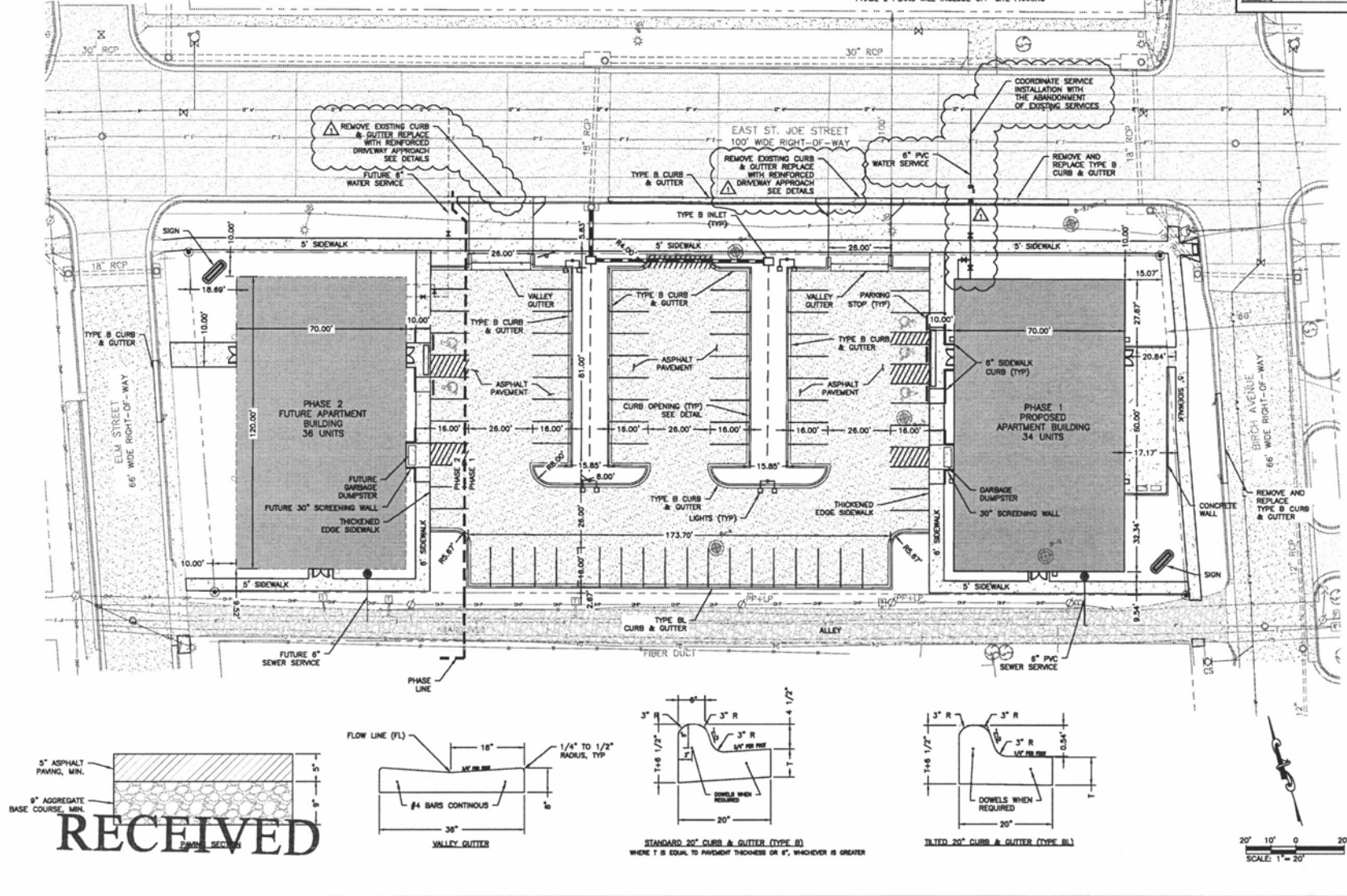
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MAR 14 2012

NOTES:
 1. ALL CURB AND GUTTER CONSTRUCTED IN PUBLIC RIGHT OF WAY SHALL BE 32" TYPE B OR BL AS PER RC DETAIL 60-2
 2. ALL DIMENSIONS ARE MEASURED FROM THE FACE OF THE CURB.
 3. THE CONTRACTOR IS TO CONSTRUCT THE IMPROVEMENTS SHOWN IN PHASE 1.

PARKING REQUIREMENTS:
PHASE 1
 # OF APARTMENTS = 34
 # OF PARKING SPACE REQUIRED = 51
 # OF ADA ACCESSIBLE SPACES = 3
 # OF PARKING SPACE PROVIDED = 65
PHASE 2
 # OF APARTMENTS = 36
 # OF PARKING SPACE REQUIRED = 54
 # OF ADA ACCESSIBLE SPACES = 2
 # OF PARKING SPACE PROVIDED (ON-SITE) = 24
 # OF PARKING SPACES PROVIDED (OFF-SITE) = 30*
 *PHASE 2 PLANS WILL INCLUDE OFF-SITE PARKING

CITY OF RAPID CITY	
Project No. 11-5810	Designed By: KJAW
Reviewed By: RENNER & ASSOCIATES	Checked By: []
Engineering Number: []	Comments: []
Revision: 3-9-12	



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Sheet Name: []
 SITE LAYOUT PLAN
 Sheet Number: 3 of 14

MAR 14 2012

MAR 14 2012

CITY OF RAPID CITY

2-21-12 - FINAL PWD SUBMITTAL

Rapid City Community Planning & Development Services

Engineering Number: 000
Comments:

3-9-12

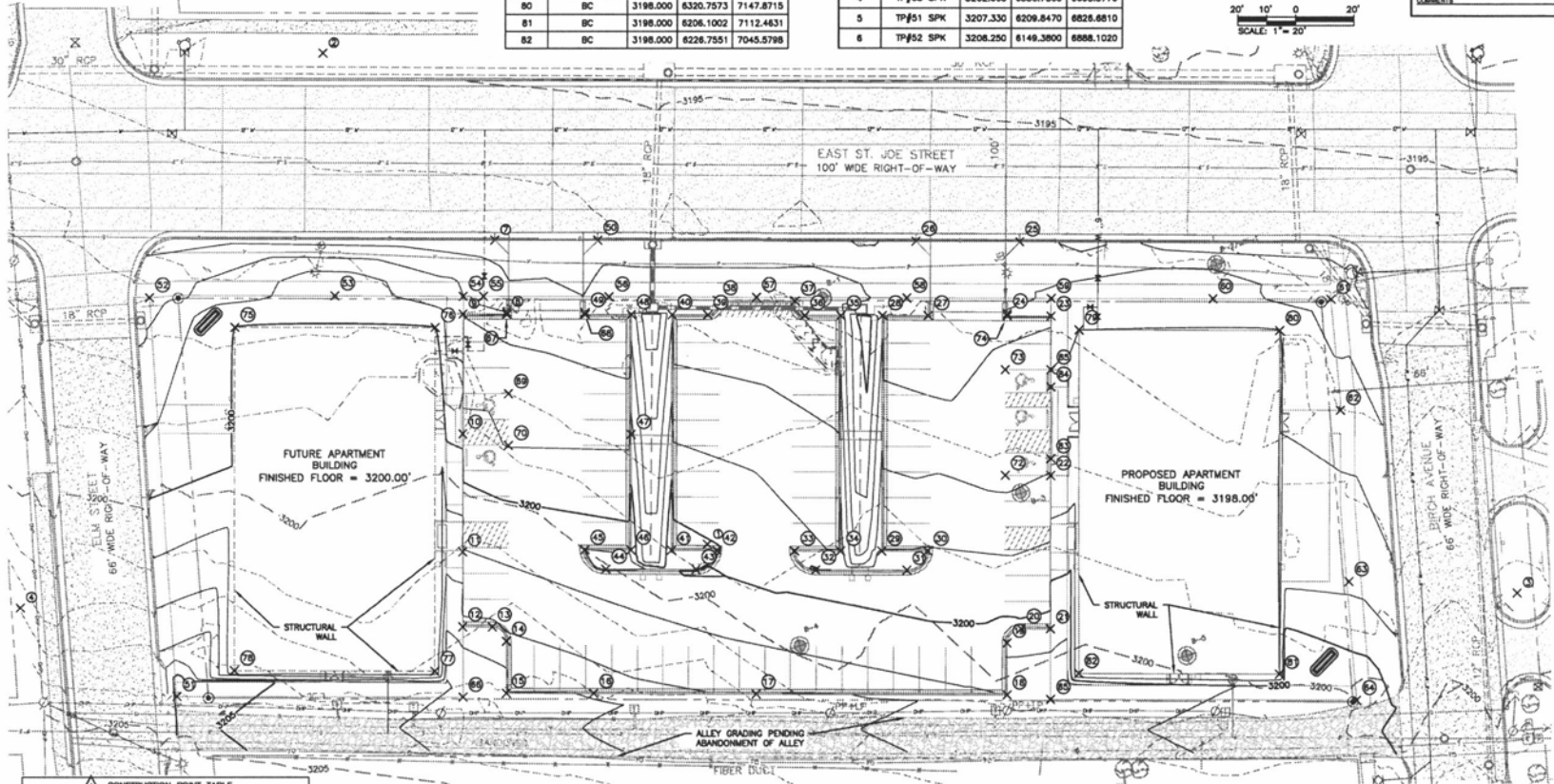
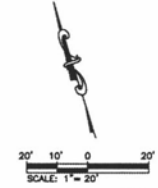
Internal Job No: 1208
Designed By: JLB
Reviewed By: RENNER & ASSOCIATES
Date: 01/20/12

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 SOUTH DAKOTA SCHOOL OF MINES & TECHNOLOGY

NOTES:
1. CURB AND GUTTER SPOT ELEVATIONS REFERENCE TBC
2. CONCRETE SPOT ELEVATIONS REFERENCE TOP OF SURFACE

BUILDING LOCATION TABLE				
Point #	Raw Description	Elevation	Northing	Easting
75	BC	3200.000	6428.9057	6796.5309
76	BC	3200.000	6408.2508	6865.4142
77	BC	3200.000	6293.5937	6830.0058
78	BC	3200.000	6314.2488	6763.1226
79	BC	3198.000	6341.4122	7080.8882
80	BC	3198.000	6320.7573	7147.8715
81	BC	3198.000	6206.1002	7112.4631
82	BC	3198.000	6226.7551	7045.5798

CONTROL POINT TABLE				
Point #	Raw Description	Elevation	Northing	Easting
1	TP #54 SPK	3198.420	6307.8830	6934.7420
2	TP #55 SPK	3195.870	6511.5600	6858.0010
3	TP #50 SPK	3199.780	6209.0430	7199.8310
4	TP #53 SPK	3202.080	6356.7860	6990.8770
5	TP #51 SPK	3207.330	6209.8470	6828.6810
6	TP #52 SPK	3208.250	6149.3800	6888.1020



CONSTRUCTION POINT TABLE				
Point #	Raw Description	Elevation	Northing	Easting
7	TBC	3198.389	6431.1770	6894.4729
8	TBC	3197.871	6406.0422	6891.2425
9	TOC	3198.489	6409.9300	6876.2941
10	TOC(THEO.)	3199.780	6369.8771	6863.9559
11	TOC(THEO.)	3201.529	6330.5082	6851.7665
12	TOC	3202.842	6305.4123	6844.0170
13	TBC	3202.589	6302.3280	6853.9840
14	TBC	3202.550	6296.0744	6857.2823
15	TBC	3203.378	6278.8721	6851.9699
16	TBC	3202.901	6289.8750	6861.0240
17	TBC	3202.330	6252.5813	6935.5715
18	TBC	3201.455	6227.0943	7019.1742
19	TBC	3200.820	6244.2829	7024.4763
20	TBC	3200.827	6247.5578	7030.7525

Point #	Raw Description	Elevation	Northing	Easting
21	TBC	3200.730	6244.5198	7040.5999
22	TOC	3198.300	6285.7347	7056.4682
23	TOC	3197.363	6348.9155	7072.9248
24	TBC	3197.138	6354.2041	7068.4282
25	TBC	3198.018	6376.8593	7069.9554
26	TBC	3198.054	6387.5810	7035.5990
27	TBC	3198.950	6381.6389	7032.0943
28	TBC	3198.790	6386.3337	7018.8145
29	TBC	3199.400	6387.8798	6992.5248
30	TBC	3199.558	6282.9878	7007.7778
31	TBC	3199.735	6278.7620	6998.8387
32	TBC	3200.053	6288.1835	6968.4142
33	TBC	3199.784	6296.8144	6963.3931
34	TBC	3199.237	6291.9048	6978.8433

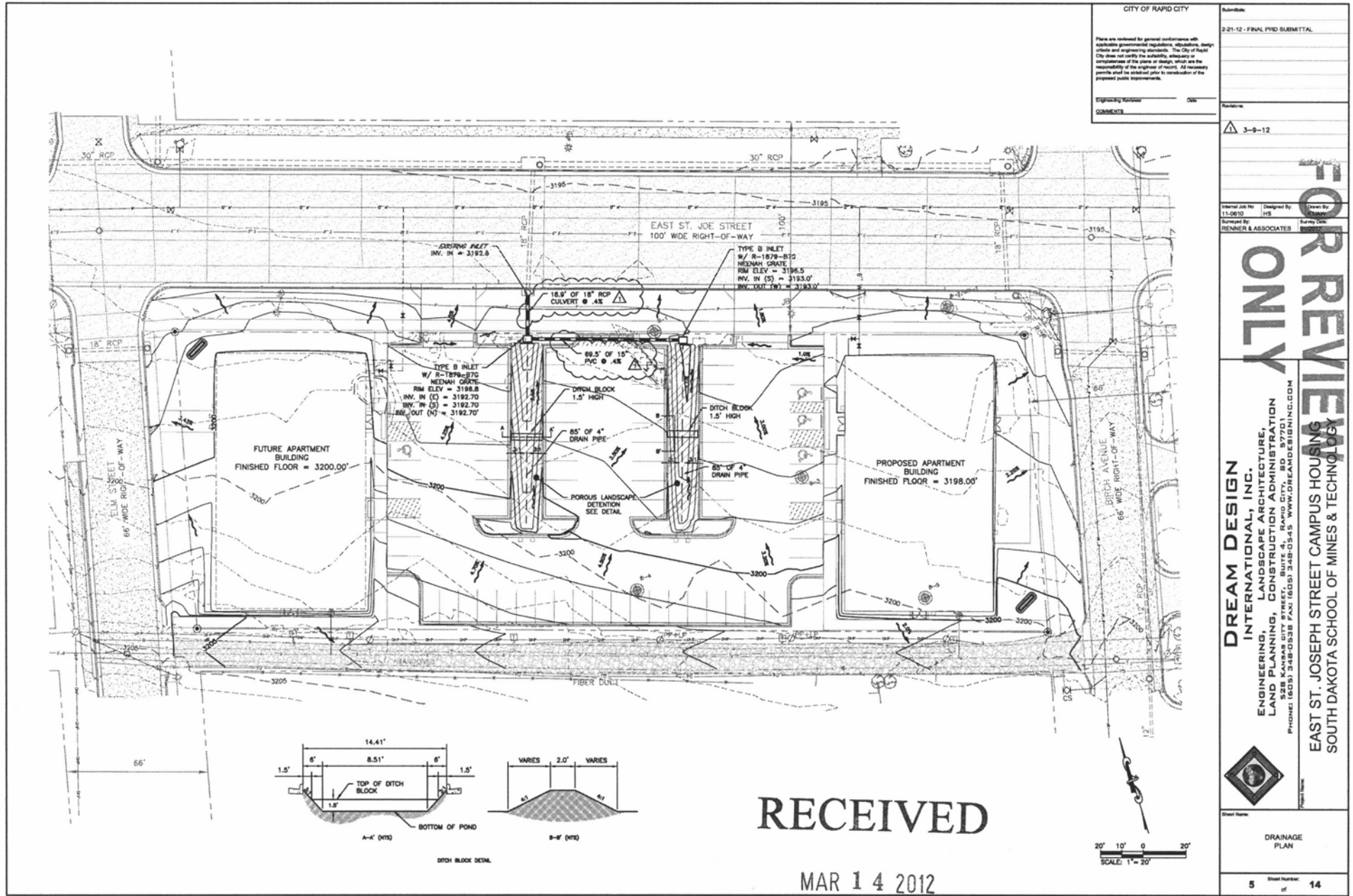
Point #	Raw Description	Elevation	Northing	Easting
35	TBC	3197.572	6370.5787	7002.9383
36	TBC	3197.632	6374.3123	6990.8495
37	TBC	3197.685	6380.0674	6989.1490
38	TBC	3197.797	6388.2439	6963.0623
39	TBC	3197.830	6384.4888	6958.4040
40	TBC	3197.894	6388.2123	6948.2820
41	TBC	3200.841	6309.5384	6921.9880
42	TBC	3200.582	6304.8280	6937.2453
43	TBC	3200.344	6300.8099	6928.2958
44	TBC	3201.517	6310.0284	6897.8712
45	TBC	3201.027	6318.5423	6892.8676
46	TBC	3200.850	6313.8305	6908.1253
47	TBC	3199.289	6352.8336	6920.1085
48	TBC	3197.840	6392.5043	6932.4214

Point #	Raw Description	Elevation	Northing	Easting
49	TBC	3197.718	6397.8719	6917.3334
50	TBC	3198.285	6420.8047	6928.8597
51	TOC	3205.385	6311.5185	6741.5092
52	TOC	3197.525	6447.3954	6773.4127
53	TBC	3199.800	6429.0918	6835.2330
54	TOC	3198.183	6415.7980	6878.1057
55	TOC	3197.893	6413.6796	6884.9305
56	TOC	3197.285	6400.6878	6928.8887
57	TOC	3197.799	6385.3028	6976.4337
58	TOC	3198.747	6369.7086	7028.7176
59	TOC	3197.200	6354.8503	7074.7815
60	TOC	3197.487	6338.1445	7128.8730
61	TOC	3198.400	6326.1110	7187.8128
62	TOC	3197.558	6288.1758	7158.6172

Point #	Raw Description	Elevation	Northing	Easting
63	TOC	3198.787	6229.8782	7144.7271
64	TOC	3200.488	6189.7039	7135.0555
65	TOC	3201.551	6221.1095	7033.3995
66	TOC	3203.863	6282.0437	6836.9050
67	TBC	3198.080	6405.3273	6891.0351
68	TBC	3197.800	6397.2254	6917.1337
69	TOA	3198.774	6378.7047	6883.5011
70	TOA	3198.982	6361.3979	6878.1564
72	TOA	3197.728	6300.4889	7041.1328
73	TOA	3197.248	6335.8225	7052.0604
74	TBC	3197.210	6363.4635	7058.1995
83	TOC	3197.800	6301.4884	7058.2401
84	TOC	3197.800	6325.3489	7005.8313
85	TOC	3198.000	6331.0806	7067.4052



GRADING PLAN



CITY OF RAPID CITY

Submittal:

2-21-12 - FINAL PWD SUBMITTAL

There are required for general conformance with applicable governmental regulations, ordinances, design criteria and engineering standards. The City of Rapid City does not verify the suitability, adequacy or completeness of the plans or design, which are the responsibility of the engineer of record. All necessary permits shall be obtained prior to construction of the proposed public improvements.

Engineering Number: 526

Comments:

Reviewed By: HB

Designed By: HB

Drawn By: HB

Surveyed By: RENNER & ASSOCIATES

Survey Date: 11/11/11

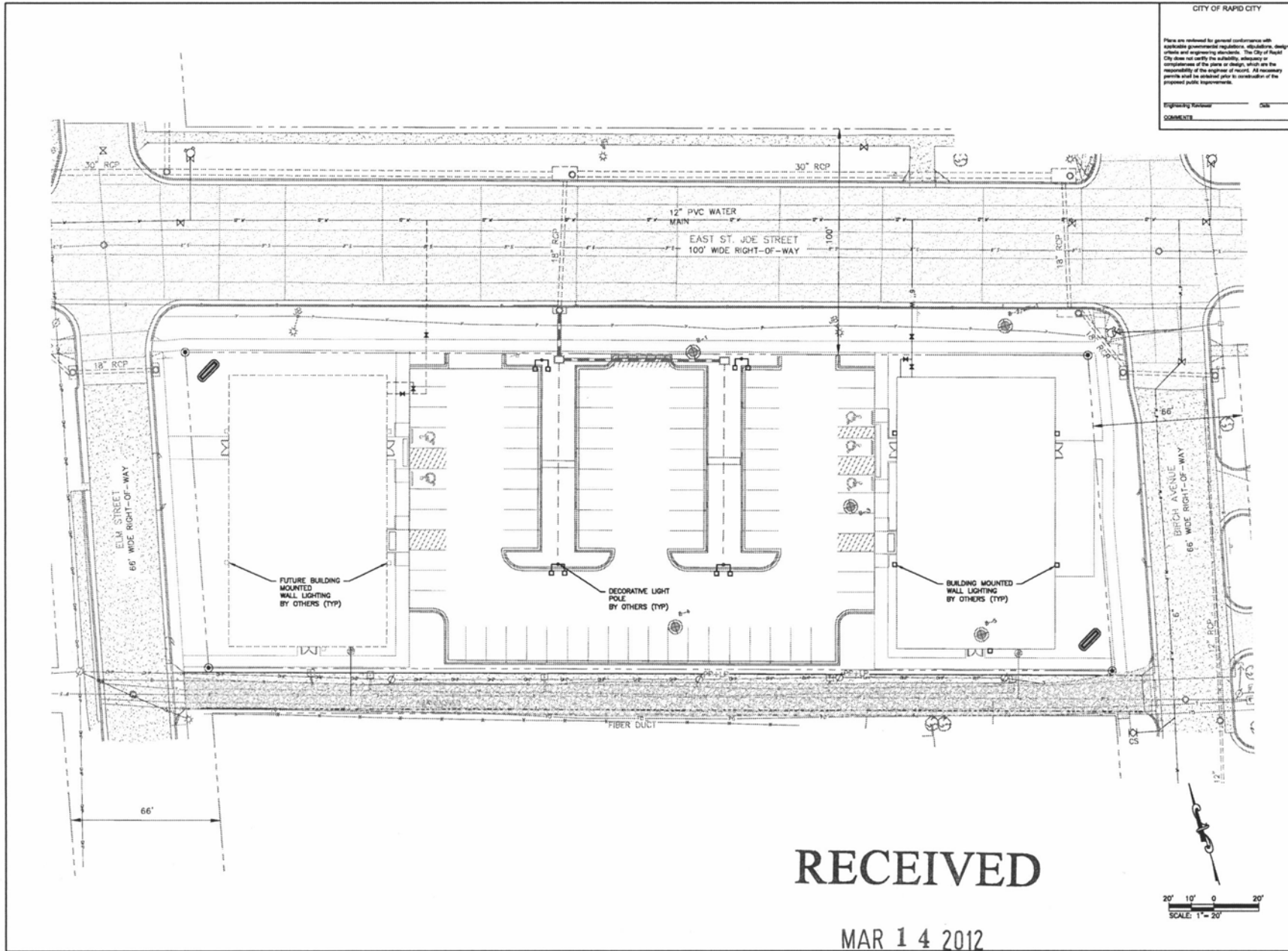
3-9-12

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EAST ST. JOSEPH STREET CAMPUS HOUSING
 SOUTH DAKOTA SCHOOL OF MINES & TECHNOLOGY

Sheet Number: 5 of 14

DRAINAGE PLAN



CITY OF RAPID CITY

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Engineering Review: OK
 COMMENTS: _____

Submittal:
 2-21-12 - FINAL PERM SUBMITTAL

Revision:
 3-8-12

Project Job No. 11-0610
 Designed By: JHS
 Checked By: _____
 Forwarded By: REMNER & ASSOCIATES
 Survey Date: _____

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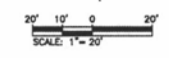


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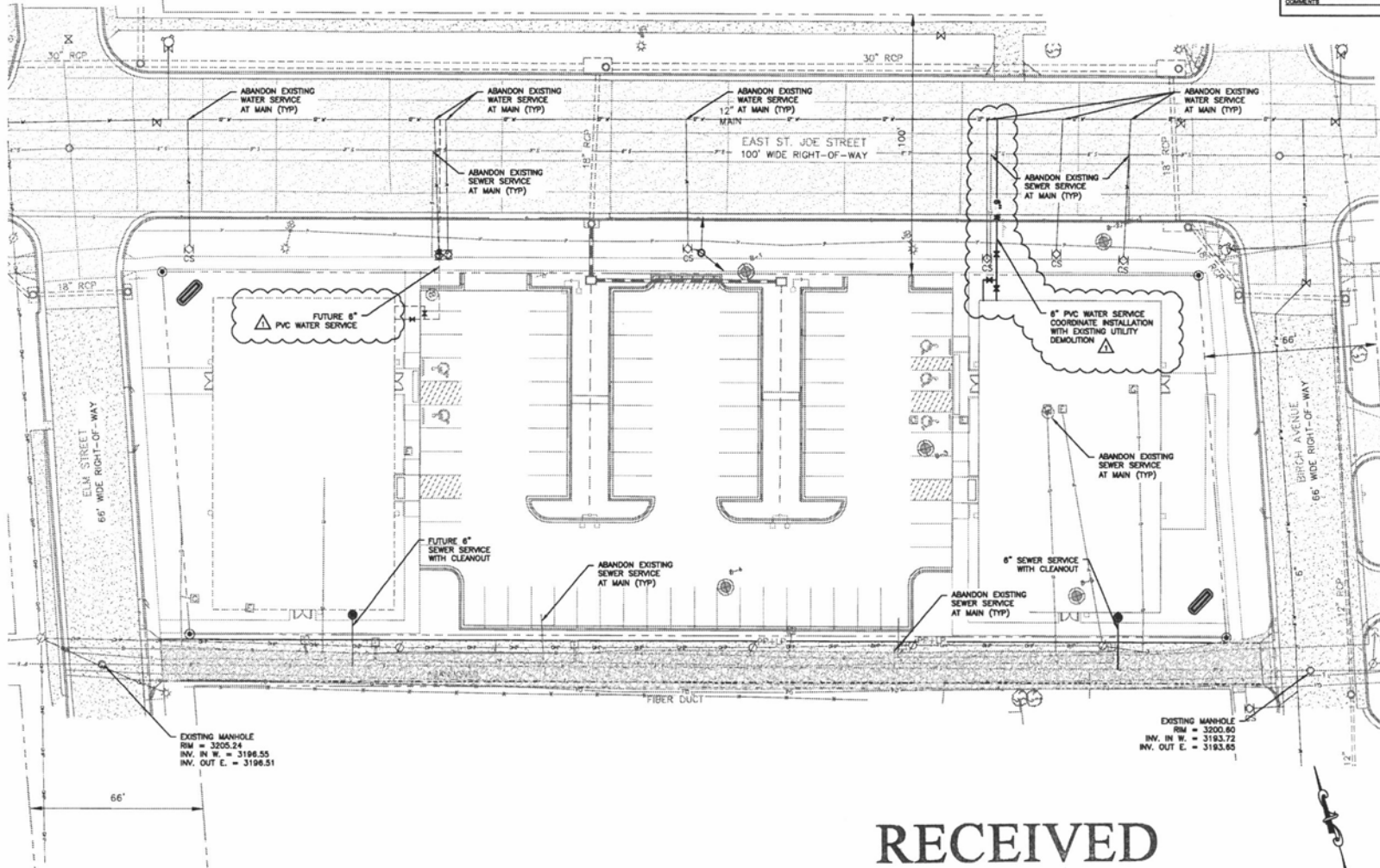
Sheet Number:
 6A of 14

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MAR 14 2012



- NOTES:
1. THE CONTRACTOR IS TO COORDINATE THE REMOVAL OF UTILITIES WITH RESPECTIVE UTILITY OWNERS.
 2. THE CONTRACTOR IS TO COORDINATE WORK WITHIN THE PUBLIC RIGHT-OF-WAY WITH THE CITY OF RAPID CITY.
 3. THE CONTRACTOR IS TO SUBMIT A TRAFFIC CONTROL PLAN TO THE CITY OF RAPID CITY 7 DAYS PRIOR TO STARTING WORK WITHIN THE RIGHT-OF-WAY.
 4. UTILITY REMOVAL TO INCLUDE SURFACE RESTORATION.
 5. THE CONTRACTOR IS TO REMOVE ALL EXISTING PRIVATE AND PUBLIC UTILITIES FROM THE PROPERTY.



EXISTING MANHOLE
 RIM = 3205.24
 INV. IN W. = 3196.55
 INV. OUT E. = 3198.51

EXISTING MANHOLE
 RIM = 3200.80
 INV. IN W. = 3193.72
 INV. OUT E. = 3193.60

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SCALE: 1" = 20'

CITY OF RAPID CITY

Submittals

2-21-12 - FINAL PRD SUBMITTAL

These are reviewed for general conformance with applicable governmental regulations, ordinances, design criteria and engineering standards. The City of Rapid City does not verify the suitability, accuracy or completeness of the plans or design, which are the responsibility of the engineer of record. All necessary permits shall be obtained prior to construction of the proposed public improvements.

Engineering Number: _____ Date: _____

COMMENTS

Review:

3-8-12

Prepared By: _____ Date: _____

Checked By: _____ Date: _____

Designed By: _____ Date: _____

Drawn By: _____ Date: _____

Reviewed By: _____ Date: _____

Prepared By: RENNER & ASSOCIATES

FOR REVIEW ONLY

DREAM DESIGN INTERNATIONAL, INC. ENGINEERING, LANDSCAPE ARCHITECTURE, LAND PLANNING, CONSTRUCTION ADMINISTRATION 528 KANSAS CITY STREET, SUITE 4, RAPID CITY, SD 57701 PHONE: (605) 348-0538 FAX: (605) 348-0945 WWW.DREAMDESIGNINTL.COM

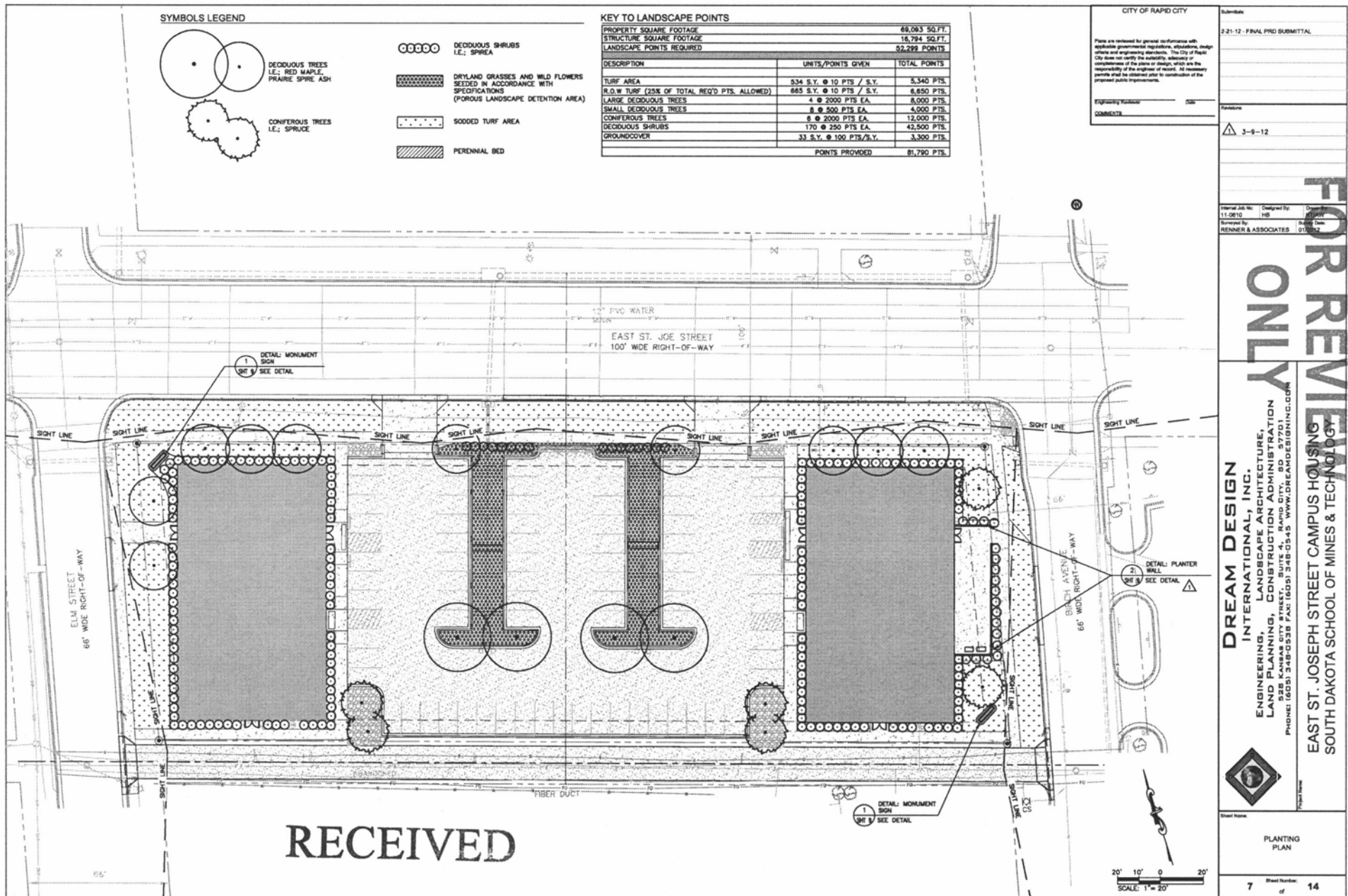
EAST ST. JOSEPH STREET CAMPUS HOUSING SOUTH DAKOTA SCHOOL OF MINES & TECHNOLOGY

Sheet Name

UTILITY PLAN

Sheet Number of 14

6 of 14



CITY OF RAPID CITY

2-21-12 - FINAL PRD SUBMITTAL

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Engineering Worksheet: _____ Date: _____

Comments: _____

Revision:
 3-9-12

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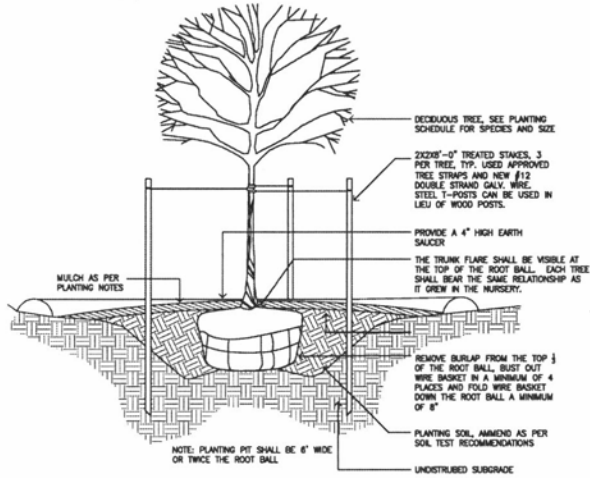
DREAM DESIGN INTERNATIONAL, INC.
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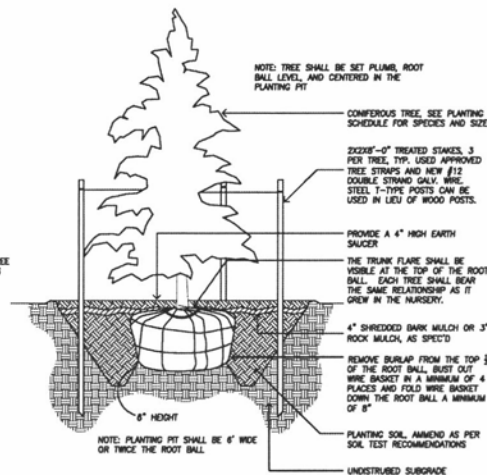
Sheet Name: **PLANTING PLAN**

Sheet Number: **7** of **14**

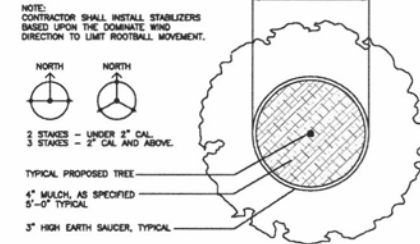
- NOTE:
1. A 6" DIAMETER BLACK DRIVANTILE PIPE (FLEXIBLE) SHALL BE PLACED AROUND THE TRUNK TO A HEIGHT OF 24"
 2. WOOD STAKES USED FOR GUY WIRES SHALL NOT CONTAIN CHROMATED COPPER ARSENATE (CCA)
 3. THE PLANTING PIT SHALL BE A MINIMUM 2/3 THE DEPTH OF THE ROOT BALL AND AT A MINIMUM THREE TIMES THAT OF THE ROOT BALL'S DIAMETER.
 4. THE PLANTING SOIL SHALL BE FREE OF ALL CONSTRUCTION MATERIAL, CONCRETE, AND ROCKS GREATER THAN 1" DIAMETER
 5. TREES SHALL BE SET PLUMB, ROOT BALL LEVEL AND CENTERED IN THE PLANTING PIT.



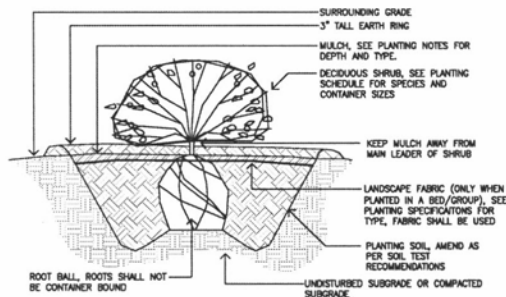
1 BALLED & BURLAPPED DECIDUOUS TREE
NO SCALE PLANTING AND STAKING DETAIL



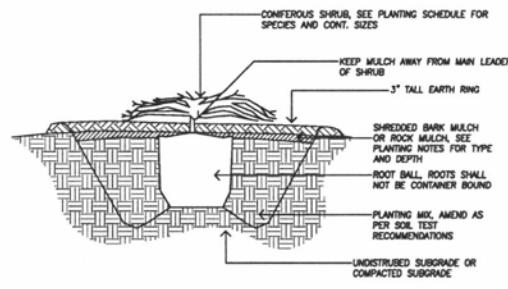
2 BALLED & BURLAPPED CONIFEROUS TREE
NO SCALE PLANTING AND STAKING DETAIL



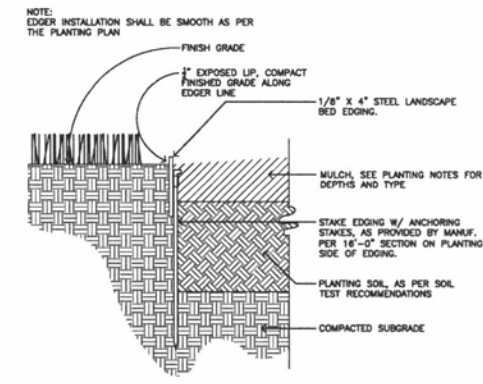
3 TYPICAL MULCH RING DETAIL
NO SCALE FOR TREES IN LAWN AREAS



4 CONTAINER DECIDUOUS SHRUB PLANTING DETAIL



5 CONTAINER CONIFEROUS SHRUB TYPICAL DETAIL
3/4" = 1'-0"



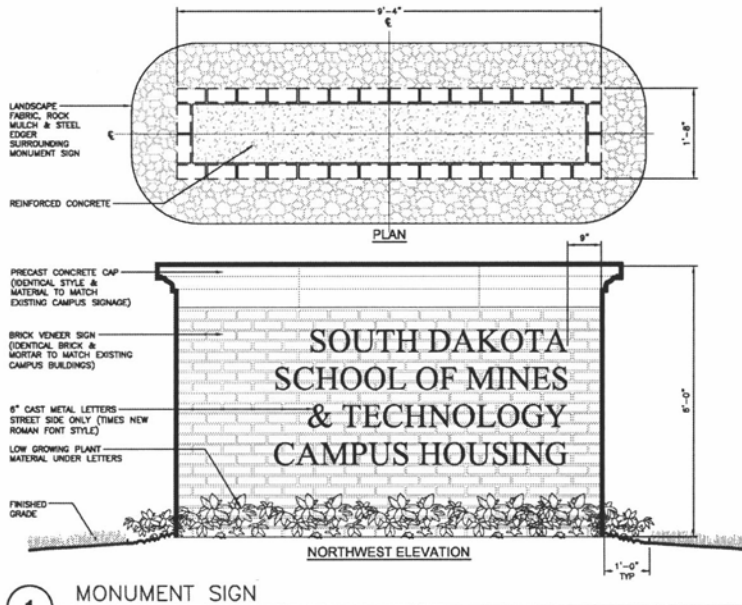
6 STEEL LANDSCAPE EDGING TYPICAL SECTION
3" = 1'-0"

CITY OF RAPID CITY		Submitted:
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Engineering Reviewed:	Date:	Reviewed:
Comments:		

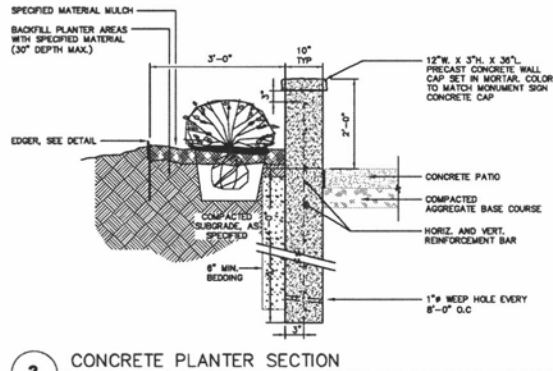
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1 MONUMENT SIGN



2 CONCRETE PLANTER SECTION

SCALE: 3/4" = 1'-0"

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Engineering Number	Scale	Remarks
COMMENTS		

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 SOUTH DAKOTA SCHOOL OF MINES & TECHNOLOGY

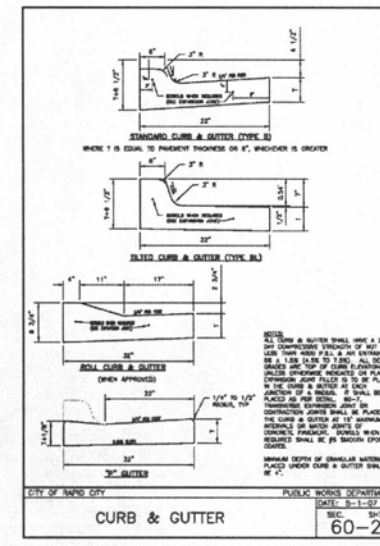
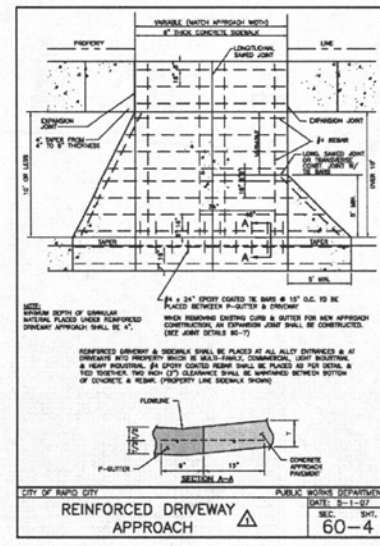
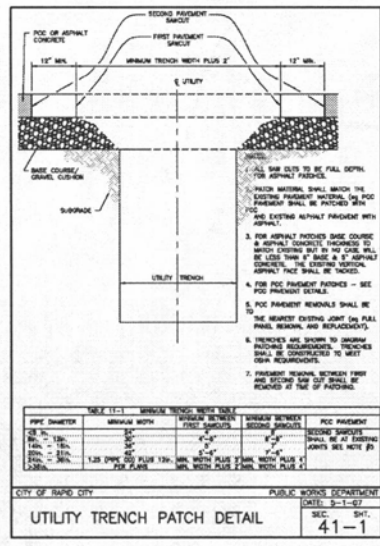
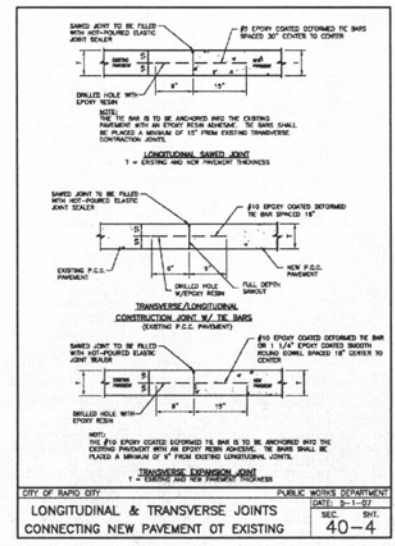
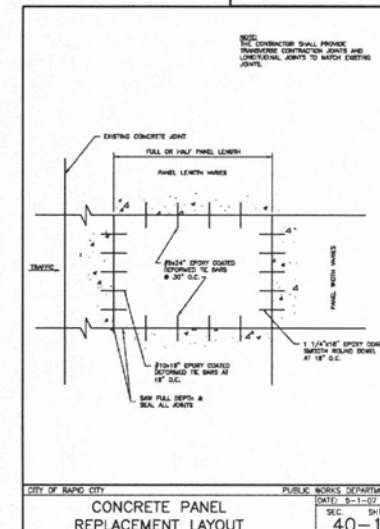
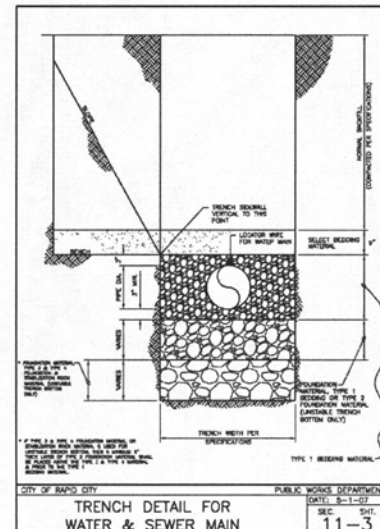
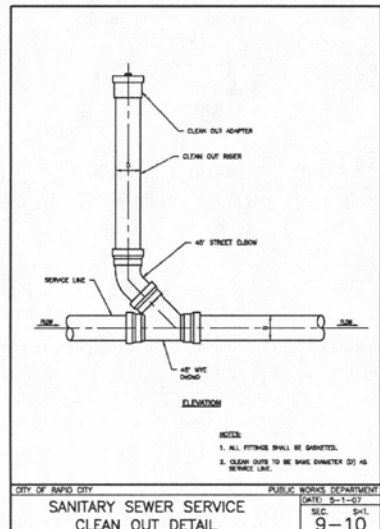
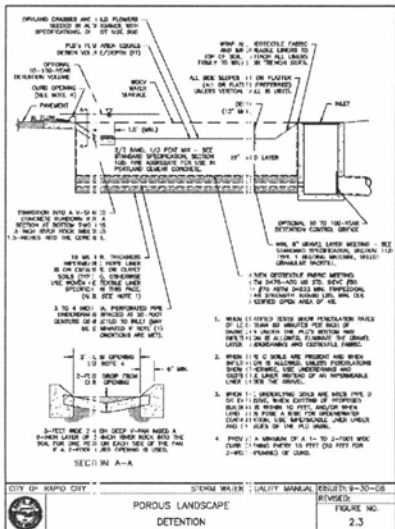
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Rapid City Community Planning & Development Services

CITY OF RAPID CITY
 2.21-12 - FINAL PRD SUBMITTAL
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 Engineering Number: 056
 COMMENTS:



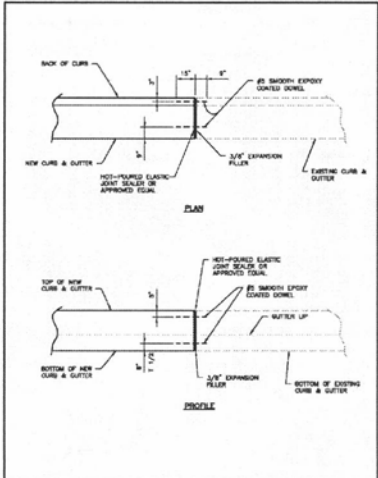
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 535 KANSAS CITY STREET, SUITE 4, RAPID CITY, SD 57701
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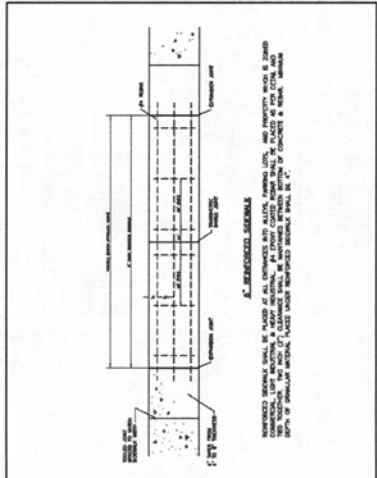
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Sheet Number: 10 of 14

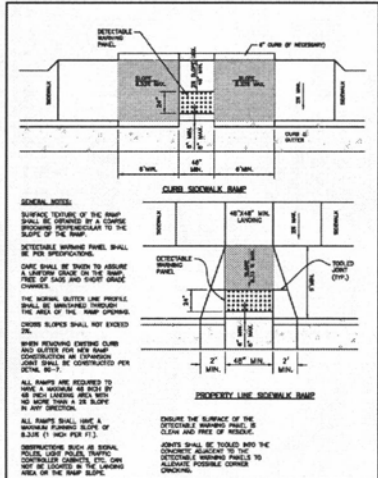
CITY OF RAPID CITY
 Submittals
 2-21-12 - FINAL PRD SUBMITTAL
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 Engineering Reviewed: CSB
 COMMENTS:



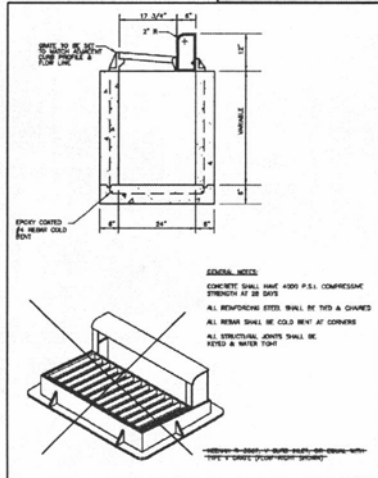
CITY OF RAPID CITY PUBLIC WORKS DEPARTMENT
 DATE: 9-1-07
 CURB & GUTTER EXPANSION JOINT
 SEC. SHT. 60-7



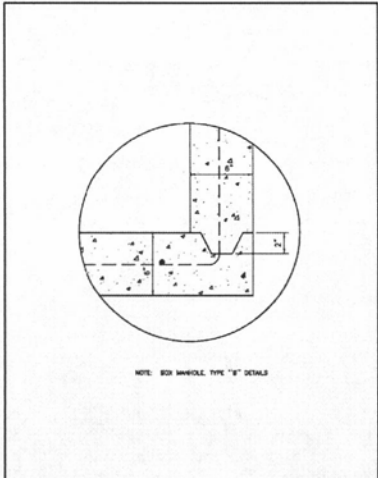
CITY OF RAPID CITY PUBLIC WORKS DEPARTMENT
 DATE: 9-1-07
 REINFORCED SIDEWALKS (MULTI-FAMILY, ALLEY ENTR., INDUSTRIAL & COMMERCIAL APPLICATIONS)
 SEC. SHT. 61-3



CITY OF RAPID CITY PUBLIC WORKS DEPARTMENT
 DATE: 9-1-07
 HANDICAP ACCESS RAMPS
 SEC. SHT. 61-5



CITY OF RAPID CITY PUBLIC WORKS DEPARTMENT
 DATE: 9-1-07
 TYPE "B" INLET
 SEC. SHT. 62-5d



CITY OF RAPID CITY PUBLIC WORKS DEPARTMENT
 DATE: 9-1-07
 TYPICAL KEY JOINT
 SEC. SHT. 62-5b

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EROSION CONTROL REPORT

1. PROJECT DESCRIPTION

THIS PROJECT CONSISTS OF THE MASS GRADING AND REMOVAL AND REPLACEMENT OF TOPSOIL FOR 1.40 ACRES OF LAND LOCATED IN RAPID CITY, SD. THE PROPERTY IS LEGALLY DESCRIBED AS LOTS 1-18 OF BLOCK 3, DENHAM ADDITION, SECTION 6, T1N, R9E, B1M, RAPID CITY, PENNINGTON COUNTY, SOUTH DAKOTA.

2. EXISTING SITE CONDITIONS

THE SITE IS CURRENTLY DEVELOPED AS SINGLE FAMILY RESIDENTIAL, MULTIFAMILY RESIDENTIAL, AND COMMERCIAL. THE PROPERTY IS BOUNDED BY ELM STREET TO THE WEST, EAST ST. JOSEPH STREET TO THE NORTH, BIRCH AVE AND SODASMT TO THE EAST AND 2ND ALLEY TO THE SOUTH. THE SITE IS COVERED WITH MULTIPLE STRUCTURES, LAWN GRASSES, FULLY MATURED TREES, ASPHALT, CONCRETE, AND GRAVEL PAVING AND VARIOUS LANDSCAPED FEATURES. THE SITE SLOPES FROM THE SOUTH TO EAST AT APPROXIMATELY 5% GRADE. EXISTING DRAINAGE SHEET FLOWS TO EAST ST. JOSEPH STREET. NO WETLANDS WERE IDENTIFIED OR LOCATED AT THIS PROJECT SITE.

3. ADJACENT AREAS

THE SITE BORDERS BIRCH AVE, AND THE SODASMT CAMPUS TO THE EAST. THE PROPERTY IS BOUNDED ON THE SOUTH BY AN ALLEY AND A COMBINATION OF SINGLE FAMILY STRUCTURES AND THE SITE OF A PROPOSED NEWMAN CENTER OWNED BY THE RAPID CITY CATHOLIC DIOCESE.

4. SOILS

A GEOTECHNICAL EXPLORATION AND REPORT WAS PREPARED FOR THE PROJECT AREA AND IS ATTACHED WITH THE PROJECT DOCUMENTATION. THE REPORT IDENTIFIED THE EXISTING SOILS AS LEAN CLAY FILL OVERLYING 8 TO 11 FEET OF FIRM LEAN CLAY. BELOW THE CLAYS ARE VERY DENSE SILTY AND SANDY GRAVELS WITH COBBLES. GROUNDWATER WAS ENCOUNTERED AT DEPTHS RANGING FROM 17 TO 19 FEET BELOW CURRENT SURFACE GRADES.

5. AREA AND VOLUME

THE SITE PROJECT LIMITS INCLUDES APPROXIMATELY 1.50 ACRES AND IT IS ESTIMATED THAT APPROXIMATELY 600 CUBIC YARDS OF SOIL WILL BE EXCAVATED AND EMBANKED ON-SITE. CARE SHOULD BE TAKEN TO LIMIT CONSTRUCTION ACTIVITIES WITHIN THE CONSTRUCTION LIMITS AND PRESERVE NATURAL VEGETATION WHERE POSSIBLE.

6. TOPSOIL AND BORROW MATERIAL STOCKPILE AREAS

THE LOCATION OF TOPSOIL AND BORROW MATERIAL STOCKPILES SHALL BE DETERMINED BY THE CONTRACTOR AND APPROVED BY THE PROJECT ENGINEER. STOCKPILES SHALL BE LOCATED WITHIN THE CONSTRUCTION LIMITS OF THE PROJECT. STOCKPILES SHALL HAVE PERIMETER CONTROLS, EITHER SILT FENCE OR FILTER SOCK, INSTALLED AROUND THEIR BASE IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE CITY OF RAPID CITY.

7. EROSION AND SEDIMENT CONTROL MEASURES

THE EROSION CONTROL PLAN CONSISTS OF SILT FENCE, SEDIMENT CONTROL, WHITTLES, VEHICLE TRACKING CONTROL, AND INLET PROTECTION AS SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN SHEET. EROSION CONTROL MEASURES SHOWN IN THIS PLAN SET REFLECT THE ENGINEER'S RECOMMENDATION FOR THIS SITE. FIELD CONDITIONS MAY DICTATE ALTERNATE OR ADDITIONAL EROSION CONTROL MEASURES THAT ARE REQUIRED TO MAINTAIN CITY OF RAPID CITY STANDARDS.

8. DOWNSTREAM FLOW CONVEYANCE

SURFACE RUNOFF SHEET FLOWS ACROSS THE SITE FROM SOUTH TO NORTH. SURFACE FLOWS ARE INTERCEPTED BY STORM SEWER IMPROVEMENTS INSTALLED ALONG EAST ST. JOSEPH STREET AND ARE DIRECTED TO RAPID CREEK.

9. EROSION AND SEDIMENT CONSTRUCTION SEQUENCE

CONSTRUCTION IS EXPECTED TO BEGIN IN FEBRUARY 2012 AND BE COMPLETED BY AUGUST 2012. PRIOR TO GRADING OR EXCAVATION, SILT FENCE, VEHICLE TRACKING CONTROL, INLET PROTECTION, AND CONTACT INFORMATION SIGN, AS DETAILED BELOW SHALL BE INSTALLED NEAR EAST ST. JOSEPH STREET. EROSION CONTROL MEASURES SHALL BE INSPECTED PRIOR TO THE BEGINNING OF SITE GRADING OR EXCAVATION.

UPON COMPLETION OF THE ROUGH GRADING, WITH TEMPORARY GROUND COVER AND MULCH, IF GRADING IS COMPLETED DURING UNKIND WEATHER, PROVIDE SURFACE ROUGHENING AND WATERING UNTIL SEEDING CAN BE COMPLETED.

EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL DISTURBED AREAS HAVE ACHIEVED FINAL STABILIZATION. EROSION CONTROL MEASURES SHALL NOT BE REMOVED WITHOUT APPROVAL BY THE ENGINEER OF RECORD. REMOVAL OF THE EROSION CONTROL MEASURES IS THE RESPONSIBILITY OF THE CONTRACTOR.

UPON COMPLETION OF THE FINAL GRADING AND TOP SOILING PERMANENT STABILIZATION PRACTICES SHOULD BE INSTALLED.

10. SPILL CONTROL PRACTICES

CHEMICAL AND PETROLEUM SPILLS OF TOXIC OR HAZARDOUS MATERIAL SHALL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY. ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.

11. SPILL PREVENTION

PETROLEUM PRODUCTS: ONSITE CONSTRUCTION EQUIPMENT SHALL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE.

FERTILIZERS: STORE FERTILIZERS OFFSITE UNTIL NEEDED AND APPLY AS DIRECTED BY THE MANUFACTURER. SPILLS SHALL BE CLEANED AS SOON AS POSSIBLE AND IN ACCORDANCE TO THE MANUFACTURER'S RECOMMENDATIONS.

CONCRETE TRUCKS: NOT EXPECTED AT THIS SITE. IF REQUIRED CONCRETE TRUCKS SHALL BE ALLOWED TO WASH OUT ONLY AT DESIGNATED AREAS.

REGULARLY PICK UP AND DISPOSE OF GARBAGE AND WASTE MATERIALS. ROUTINELY INSPECT EQUIPMENT AND PROCESSES FOR LEAKS OR CONDITIONS THAT COULD LEAD TO DISCHARGES OF CHEMICALS OR CONTACT OF STORM WATER WITH MATERIALS, INTERMEDIATE MATERIALS, WASTE MATERIALS, OR PRODUCTS USED ON SITE.

ASSURE ALL SPILL CLEAN UP PROCEDURES ARE UNDERSTOOD BY EMPLOYEES. TRAINING OF EMPLOYEES ON PROPER CLEAN UP PROCEDURES SHALL BE IMPLEMENTED.

CLEAN UP LEAKS, DRIPS, AND OTHER SPILLS IMMEDIATELY. COVER AND MAINTAIN DUMPSTERS AND WASTE RECEPTACLES.

ASSIGN RESPONSIBILITY OF HAZARDOUS MATERIAL INVENTORY TO A LIMITED NUMBER OF PEOPLE WHO ARE TRAINED TO HANDLE SUCH MATERIALS. IN THE EVENT OF SPILLS OF ANY DANGEROUS OR HAZARDOUS MATERIAL, NOTIFY THE RAPID CITY PUBLIC WORKS DEPARTMENT.

DRAIN OR REPLACE MOTOR OIL OR OTHER AUTOMOTIVE FLUIDS IN AN AREA AWAY FROM STREAMS OR STORM OR SANITARY SEWER INLETS. COLLECT SPENT FLUIDS AND RECYCLE OR DISPOSE OF THEM PROPERLY. IN FUELING AREAS, CLEAN UP SPILLS WITH DRY CLEAN UP METHODS (ABSORBENTS).

MAKE SURE EMPLOYEES ARE TRAINED IN SPILL PREVENTION PRACTICES AND ADHERE TO THEM.

THE EROSION CONTROL PLAN SHOWS THE EROSION CONTROL DEVICES TO BE INSTALLED. THESE ITEMS SHALL BE INSTALLED AS PER THE CITY OF RAPID CITY STANDARD DETAILS AND SPECIFICATIONS.

12. NOTICE OF INTENT

A NOTICE OF INTENT (NOI) SHALL BE OBTAINED BY THE CONTRACTOR AND FILED WITH THE SURFACE WATER DISCHARGE PROGRAM OF THE SOUTH DAKOTA DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES (DENR). THE PRIMARY RESPONSIBLE PARTY IS REQUIRED TO FILE A NOTICE OF TERMINATION WITH DENR WHEN THE SITE HAS REACHED FINAL STABILIZATION.

THE EROSION CONTROL PLAN APPEARS TO FULFILL THE TECHNICAL CRITERIA FOR EROSION AND SEDIMENT CONTROL REQUIREMENTS OF THE CITY OF RAPID CITY. WE UNDERSTAND THAT ADDITIONAL EROSION CONTROL MEASURES MAY BE NEEDED IF UNFORESEEN EROSION PROBLEMS OCCUR OR IF THE SUBMITTED PLAN DOES NOT FUNCTION AS INTENDED. THE REQUIREMENTS OF THIS PLAN SHALL RUN WITH THE LAND AND BE THE OBLIGATION OF TECHNOLOGY HOUSING, LLC UNTIL SUCH TIME AS THE PLAN IS PROPERLY COMPLETED, MODIFIED OR VOIDED.

OWNER'S CERTIFICATION

DATE _____ SIGNED _____
OWNER, TECHNOLOGY HOUSING, L.L.C.

DATE _____ SIGNED _____
OWNER, TECHNOLOGY HOUSING, L.L.C.

DATE _____ SIGNED _____
GENERAL CONTRACTOR

13. SOIL SURFACE STABILIZATION PRACTICES

AFTER CONSTRUCTION BEGINS, SOIL SURFACE STABILIZATION SHALL BE APPLIED WITHIN 14 DAYS TO ALL DISTURBED AREAS THAT MAY NOT BE AT FINAL GRADE, BUT WILL REMAIN DORMANT (UNDISTURBED) FOR PERIODS LONGER THAN AN ADDITIONAL 21 CALENDAR DAYS. WITHIN 14 DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE, PERMANENT OR TEMPORARY SOIL SURFACE STABILIZATION SHALL BE APPLIED TO DISTURBED AREAS AND SOIL STOCKPILES.

14. PERMANENT STABILIZATION PRACTICES

THE PROJECT AREA SHALL BE SEEDING AND FERTILIZED IN ACCORDANCE WITH THE LANDSCAPING PLAN AND THE RULES AND REGULATIONS OF THE CITY OF RAPID CITY. EROSION CONTROL SHALL BE MAINTAINED UNTIL FINAL STABILIZATION IS ACHIEVED. PERMANENT STABILIZATION SHALL BE APPLIED WITHIN 14 DAYS TO ALL DISTURBED AREAS AFTER FINAL GRADE HAS BEEN REACHED.

15. MAINTENANCE

INSPECTION OF EROSION AND SEDIMENT CONTROL MEASURES SHOULD BE SCHEDULED BI-WEEKLY AND FOLLOWING ANY STORM EVENT OF 1/2 INCH OR GREATER. ALL MEASURES SHALL BE MAINTAINED IN GOOD WORKING ORDER. INSPECTION AND MAINTENANCE PROCEDURES SHALL CONTINUE UNTIL THE DISTURBED AREAS ACHIEVE FINAL STABILIZATION. ALL INSPECTIONS SHALL BE DOCUMENTED IN A LOG BOOK THAT IS KEPT ON-SITE AND AVAILABLE FOR CITY AND STATE INSPECTORS. OWNER SHALL PERIODICALLY (AS NECESSARY) AND AFTER CAPACITY HAS BEEN REDUCED BY SOLE REMOVE ACCUMULATED SILT AND SEDIMENT FROM THE SEDIMENT TRAP AND RE-ESTABLISH THE BOTTOM ELEVATION CONSISTENT WITH THE PROVIDED DETAIL.

16. MINOR IMPACT CONSTRUCTION SITE REQUIREMENTS

THIS PLAN DOES NOT PROVIDE EROSION CONTROL MEASURES FOR MINOR IMPACT CONSTRUCTION SITE (MICS) DEVELOPMENT FOR INDIVIDUAL LOTS BY THE OWNER/BUILDER.

17. STORMWATER MANAGEMENT CONSIDERATIONS

STORMWATER WILL ULTIMATELY FLOW TO THE SAME DOWNSTREAM LOCATION AFTER CONSTRUCTION AS IT DID BEFORE CONSTRUCTION. THERE WILL BE AN INCREASE IN RUNOFF AS A RESULT FROM CONSTRUCTION ACTIVITIES. TWO DETENTION PONDS WILL BE INSTALLED TO LIMIT RUNOFF TO EXISTING CONDITIONS. SIZING AND CALCULATIONS FOR THE DETENTION PONDS IS ATTACHED WITH THE PROJECT DESIGN REPORT.

18. STORM WATER QUALITY CONSIDERATIONS

THE PROPOSED PROJECT WILL RESULT IN AN INCREASE IN IMPERVIOUS AREA. TWO POROUS LANDSCAPE DETENTION PONDS WILL BE INSTALLED TO IMPROVE THE STORM WATER QUALITY. SIZING AND CALCULATIONS FOR THE POROUS LANDSCAPE DETENTION PONDS IS ATTACHED WITH THE PROJECT DESIGN REPORT.

THIS EROSION AND SEDIMENT CONTROL REPORT AND ATTACHED SITE CONSTRUCTION PLAN APPEARS TO FULFILL THE TECHNICAL CRITERIA AND THE CRITERIA FOR THE EROSION AND SEDIMENT CONTROL REQUIREMENTS OF THE CITY OF RAPID CITY. I UNDERSTAND THAT ADDITIONAL EROSION CONTROL MEASURES MAY BE NEEDED IF UNFORESEEN EROSION OR SEDIMENT CONTROL PROBLEMS OCCUR OR IF THE SUBMITTED PLAN DOES NOT FUNCTION AS INTENDED. THE REQUIREMENTS OF THIS PLAN SHALL RUN WITH THE LAND AND BE THE OBLIGATION OF THE LANDOWNER UNTIL SUCH TIME AS THE PLAN IS PROPERLY COMPLETED, MODIFIED, OR VOIDED.

20. HAUL ROUTE

PRIOR TO ANY BORROW OR WASTE MATERIAL LEAVING THE PROJECT SITE THE CONTRACTOR SHALL SUBMIT A HAUL ROUTE PLAN TO THE CITY OF RAPID CITY FOR APPROVAL.

MAXIMUM TIME LIMITS OF LAND EXPOSURES FOR SELECTION OF EROSION CONTROLS	
EROSION CONTROL METHOD	EXPOSURE*
SURFACE ROUGHENING	1 MO.
MULCHING	12 MO.
TEMPORARY REVEGETATION	12-24 MO.
PERMANENT REVEGETATION	24 MO. OR MORE
EARLY APPLICATION OF ROAD BASE	1 MO.
* EXPOSURE IS THE MAXIMUM ALLOWABLE PERIOD OF EXPOSURE IN MONTHS	

ENGINEER'S CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF SOUTH DAKOTA.

HANI F. SHAFAI, PE REG. NO. 5381 DATE _____

CITY OF RAPID CITY

2-21-12 - FINAL PRD SUBMITTAL

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Engineering Review _____ Date _____

COMMENTS

Revision:
 Δ 3-8-12

OWNER AND DEVELOPER
TECHNOLOGY HOUSING, L.L.C.
528 KANSAS CITY STREET, SUITE 4
RAPID CITY, SD 57701

ENGINEER
DREAM DESIGN INTERNATIONAL, INC.
528 KANSAS CITY STREET, SUITE 4
RAPID CITY, SD 57701

FOR REVIEW ONLY

DREAM DESIGN INTERNATIONAL, INC. ENGINEERING, LANDSCAPE ARCHITECTURE, LAND PLANNING, CONSTRUCTION ADMINISTRATION PHONE: (605) 348-0538 FAX: (605) 348-0545 WWW.DREAMDESIGNINC.COM

EAST ST. JOSEPH STREET CAMPUS HOUSING SOUTH DAKOTA SCHOOL OF MINES & TECHNOLOGY

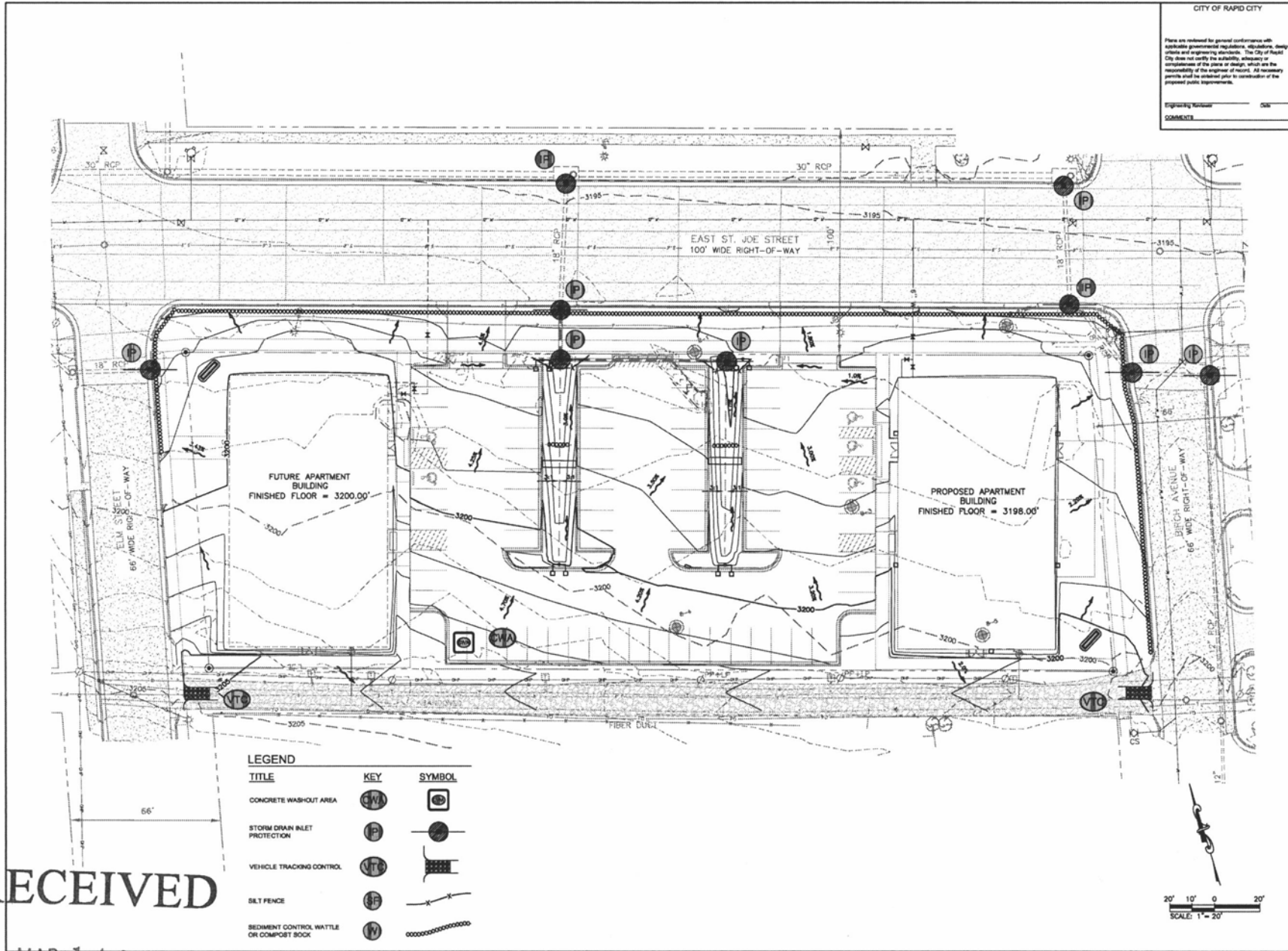
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EROSION CONTROL NARRATIVE

12 of 14

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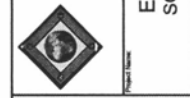


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 Engineering Review: ODE
 COMMENTS:

Internal Job No. 11-0610
 Designed By: JHS
 Reviewed By: RENDNER & ASSOCIATES
 Project Date: 02/21/12

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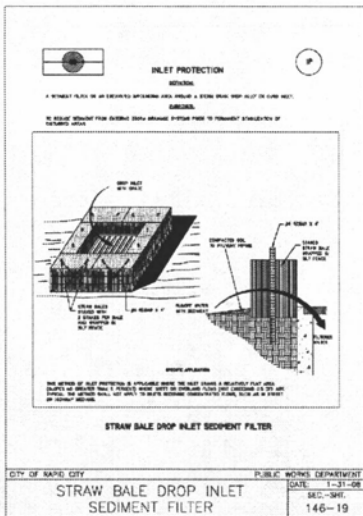
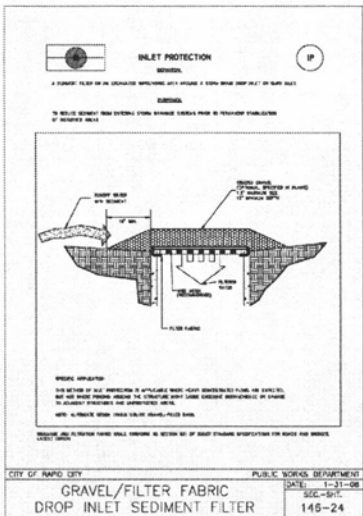
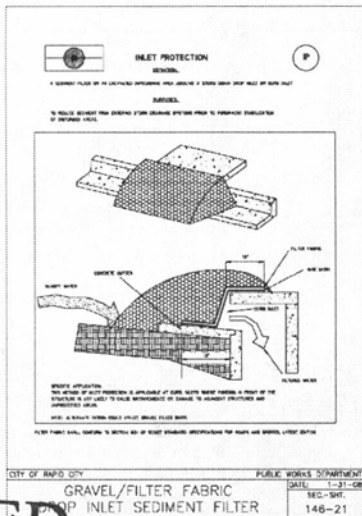
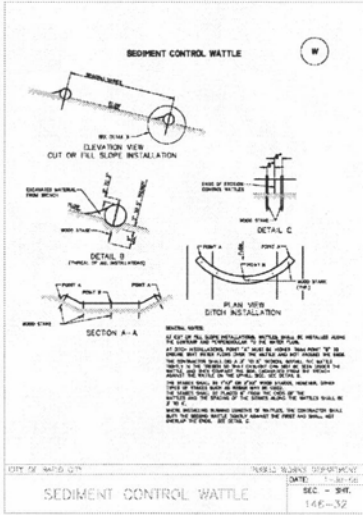
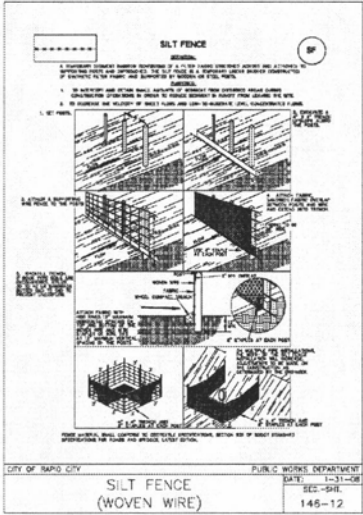
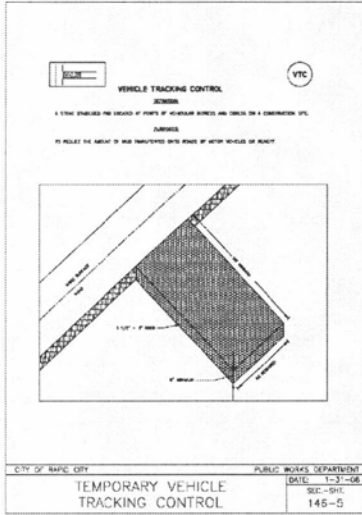
DREAM DESIGN INTERNATIONAL, INC.
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Engineering Review _____ Date _____
Comments _____

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Sheet Name: EROSION CONTROL DETAILS
Sheet Number of 14