

CITY OF RAPID CITY

RAPID CITY, SOUTH DAKOTA 57701



Public Works Department
Engineering Services Division

300 Sixth Street

Telephone: (605) 394-4154 FAX: (605) 355-3083

Web: www.rcgov.org

TO: Public Works Committee

FROM: Ted T. Johnson, P.E.
Engineering Project Manager
Public Works Department

DATE: September 7, 2011

RE: Request to waive the requirement to install sidewalk along a portion of School Drive and Jolly Lane per City Ordinance 12.16.080
Lot 1B of Lot M and Lot 2 of Lot M of Burson Subdivision
S9, T1N, R8E, BHM, Rapid City, Pennington County, SD

A request was received on August 24, 2011 requesting the requirement to install sidewalk per City of Rapid City Ordinance 12.16.080 be waived for a portion the proposed Fresh Start Convenience Store (Ranchmart) facility expansion located west of the intersection of US Highway 44 and Jolly Lane. The proposed improvements will expand the existing convenience store building to include a casino and liquor store and will attach the existing convenience store to the adjacent carwash building. A minimum four (4) foot wide sidewalk is required to be constructed one foot from the property line along School Drive, Jolly Lane and US Highway 44 as per the Rapid City Municipal Code. Ranchmart will be installing sidewalk along US Highway 44 in accordance City Ordinance and design requirements.

The City of Rapid City Code of Ordinances, 12.16.080 New or Relocated Residential or Commercial Buildings states "*The construction of a permanent sidewalk fronting or abutting all streets, highways and avenues shall be accomplished by the builder, owner or developer of all new or relocated residential or commercial buildings within the city...*" This request would allow Ranchmart to waive the installation of sidewalk along School Drive and Jolly Lane as they abut this property. The existing streets in School Drive and Jolly lane consist of asphalt paving without curb and gutter or storm sewer. A portion of the proposed sidewalk along School drive would be located in or directly adjacent to a major drainage easement.

EQUAL HOUSING
OPPORTUNITY

EQUAL OPPORTUNITY EMPLOYER

Request for Exception
Lots 1B and 2 of Lot M, Burson Subdivision
September 7, 2011
Page 2

Currently there is no sidewalk installed along School Drive or Jolly Lane in this area. As part of the building improvements, Ranchmart will be installing sidewalk adjacent to their property along US Highway 44.

This request is associated with a current building permit application for this property.

Staff Recommendation: Staff recommends that the request to waive the requirement to install sidewalk along School Drive and Jolly Lane adjacent to this property be approved providing the applicant signs a Waiver of Right to Protest for future sidewalk assessments.

Corean Construction

1931 Xavier Street
Belle Fourche, SD 57717
Phone (605) 892-3059
Cell (605) 210-3059
Fax (605) 892-3059

Applicant, Chris Schwartz, Fresh Start Stores:
Agent, Ted Corean, Corean Construction LLC

August 24, 2011

To the City of Rapid City:

We are asking the City to waive the construction of new sidewalk along School Drive & Jolly Lane. Part of the area for sidewalk is a drainage area & also there being no other sidewalk existing in this area. We will place new sidewalk along Hwy 44 , as we complete the Addition & remodel of the Ranchmart store at this location.

Legal description: Lot 1B of Lot M and Lot 2 of Lot M of
Burson Subdivision, Section 9, T1N, R8E, BHM, Rapid City,
Pennington County, South Dakota

Thank You,

Ted Corean

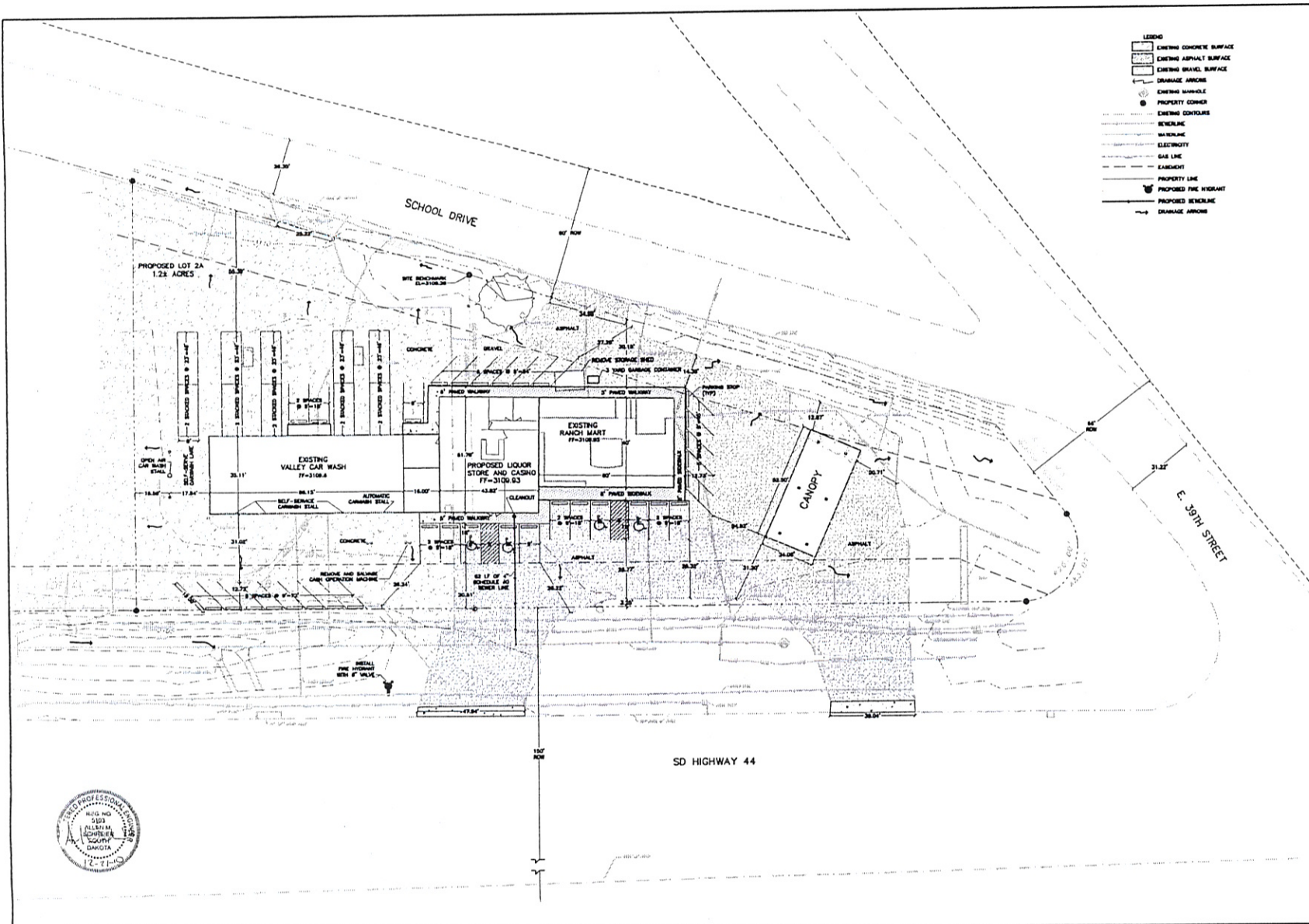


Chris Schwartz

RECEIVED

AUG 29 2011

ENGINEERING DIVISION



- LEGEND**
- EXISTING CONCRETE SURFACE
 - EXISTING ASPHALT SURFACE
 - EXISTING GRAVEL SURFACE
 - EXISTING MANHOLE
 - PROPERTY CORNER
 - EXISTING CONTOUR
 - SEWERLINE
 - WATERLINE
 - ELECTRICITY
 - GAS LINE
 - LANDMARK
 - PROPERTY LINE
 - PROPOSED FIRE HYDRANT
 - PROPOSED SEWERLINE
 - DRAINAGE ARROW

- GENERAL NOTES**
1. THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN ON THE DRAWING ARE APPROXIMATE AND ARE SHOWN ONLY AS A GUIDE TO THE CONTRACTOR. NO GUARANTEE IS MADE THAT UTILITIES WILL BE EXACTLY AS SHOWN OR THAT ALL UNDERGROUND UTILITIES ARE SHOWN. THE CONTRACTOR SHALL VERIFY ALL LOCATIONS IN THE FIELD AND BE RESPONSIBLE FOR REPAIR OF ALL UTILITIES DISTURBED DURING CONSTRUCTION. CONTACT SOUTH DAKOTA ONE-CALL AT 1-800-781-7474.
 2. UTILITY LOCATIONS SHOWN ON DRAWING ARE APPROXIMATE. UTILITY LOCATIONS ARE BASED ON FIELD SURVEY AND PREVIOUS LOCATES. NO EXCAVATION WAS PERFORMED TO VERIFY LOCATIONS.
 3. COORDINATE THE INSTALLATION OF ALL UTILITIES WITH THEIR RESPECTIVE COMPANIES.
 4. MAINTAIN 10' HORIZONTAL SEPARATION BETWEEN WATER AND SEWER LINES.
 5. ALL CONSTRUCTION AREAS SHALL BE FENCED WITH SAFETY SIGNS AND BARRIERS MAINTAINED TO DISALLOW UNAUTHORIZED PERSONNEL FROM ENTERING THE CONSTRUCTION AREA.
 6. ALL MECHANICAL DEVICES AND INSTALLATIONS SHALL COMPLY WITH CURRENT STANDARDS OF THE NATIONAL FIRE PROTECTION ASSOCIATION. EMERGENCY ACCESS VEHICLES SHALL BE SPECIFIED AT ALL INLET DURING CONSTRUCTION.
 7. MINIMUM GRADE OF 2% AND MAXIMUM GRADE OF 5% ON HANDICAP RAMP.
 8. HANDICAP PARKING SPACES AND AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 1:50 (2% IN ANY DIRECTION).
 9. LOT 3 OF LOT M SHALL BE COMBINED WITH LOT 18 OF LOT M AND ADDED INTO THE CITY OF RAPID CITY. PROPOSED ZONING FOR LOT 2 OF LOT M IS GENERAL COMMERCIAL.
 10. ELEVATIONS REFERENCED TO NAVD 83 DATUM.
 11. ALL WORK AND MATERIALS ARE INSTALLED ACCORDING TO THE CITY OF RAPID CITY STANDARD SPECIFICATIONS.
 12. WATER SERVICE TO BE EXTENDED TO PROPOSED BUILDING FROM EXISTING RANCHMART THROUGH INTERNAL PIPING.
 13. PROPOSED DRAINAGE PATTERNS WILL MATCH THE EXISTING DRAINAGE PATTERNS.

PROPERTY INFORMATION

ADDRESS: 3900 E. HWY 44

LEGAL DESCRIPTION: LOT 2 OF LOT M LOCATED IN 01/3 OF SECTION 8 T4E, R1E, B1E, P080701 COUNTY, SOUTH DAKOTA

ZONING NOTES

LOT ZONING: GC, GENERAL COMMERCIAL

BUILDING FOOTPRINT

EXISTING VALLEY CAR WASH: 3600 SF
 RANCHMART: 3400 SF
 PROPOSED LIQUOR STORE/CASINO: 1000 SF
 LOT COVERAGE: 13.18 (MAX. 75%)

EMERSON AND RESTRICTION CONTROL

NOT REQUIRED. TOTAL VOLUME DISTURBED LESS THAN 300 CYES

OFF STREET PARKING

AS REQUIRED BY 17.02.070
 24 FT MINIMUM EXPOSURE, 3000 SQUARE FOOT REQUIREMENTS
 PARKING REQUIREMENTS: 11.8 SPACES PER 1000 SF BFA
 → 18 SPACES REQUIRED, MIN.

VALLEY CAR WASH - 3 BAYS
 DRIVE-THRU CARWASH - 3 BAYS PER DRIVE-THRU LINE
 → 18 SPACES REQUIRED, MIN.

LIQUOR STORE 3071 SF BFA
 CONSUMABLE STORE WITH GASE SALES - 10 SPACES PER 1000 SF BFA
 → 7 SPACES REQUIRED, MIN.

CASINO 1000 SF BFA
 TOTAL PARKING REQUIRED - 36 SPACES
 TOTAL PARKING PROVIDED - 43 SPACES

ADA REQUIREMENTS

11-18 PARKING SPACES PROVIDED - 3 ACCESSIBLE SPACES REQUIRED
 HANDICAP ACCESSIBLE SPACES PROVIDED - 4 SPACES

SCREENING REQUIREMENTS

NOT REQUIRED. NO ADJACENT RESIDENTIAL DISTRICTS

LANDSCAPE REQUIREMENTS

REQUIRED. LANDSCAPING PLAN PROVIDED ON SHEET 2 OF 3

FLOODPLAIN

ZONE X, OUTSIDE 100 YEAR FLOOD EVENT
 FIRM PANEL, MODA-CRITICAL
 PROPERTY REMOVED FROM ZONE A-2 BY ORDINANCE DATED JUNE 16, 1994



SURVEY:	DESIGN:	AMS
DATE:	DRAWN:	AMS
DATE:	CHECKED:	AMS
DATE:	DATE:	

SCHREIER ENGINEERING, INC.

511 NATIONAL STREET, SUITE 101
 BELLE FOURCHE, SD 57717
 PHONE (605) 802-2051
 FAX (605) 723-2051
 email: schreiber@rushmore.com

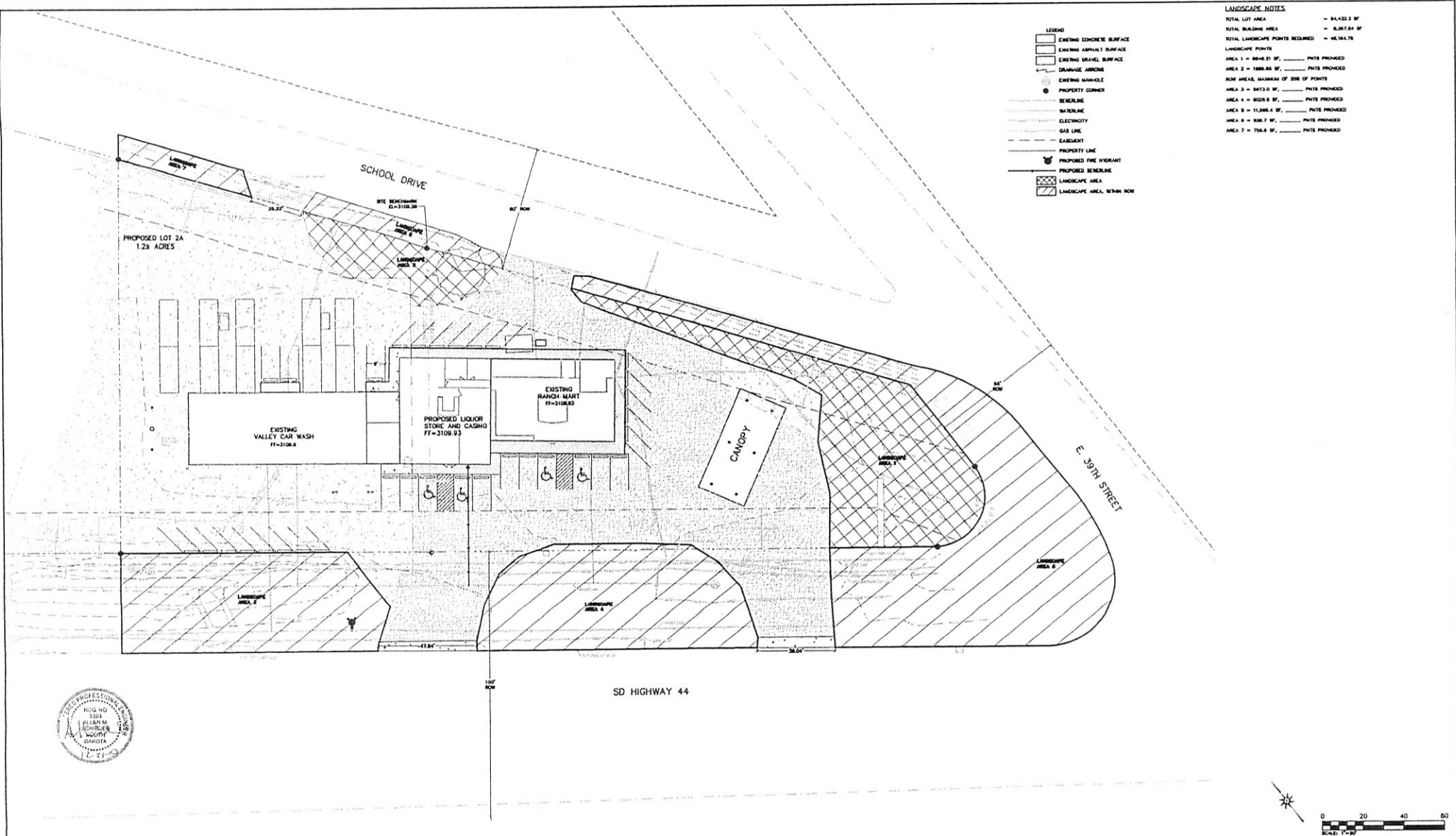
REV. #	DESCRIPTION	CHKD	DATE

SHEET TITLE: SITE LAYOUT AND UTILITY PLAN

PROJECT: RANCHMART LIQUOR STORE ADDITION
 RAPID CITY, SOUTH DAKOTA

SHEET OF

PROJECT NO: 574



- LEGEND**
- [Hatched Box] EXISTING CONCRETE SURFACE
 - [Hatched Box] EXISTING ASPHALT SURFACE
 - [Hatched Box] EXISTING GRAVEL SURFACE
 - [Arrow] DRAINAGE ARROWS
 - [Circle with X] EXISTING MANHOLE
 - [Circle with Center] PROPERTY CORNER
 - [Dashed Line] BENCHMARK
 - [Dashed Line] WATERLINE
 - [Dashed Line] ELECTRICITY
 - [Dashed Line] GAS LINE
 - [Dashed Line] EASEMENT
 - [Solid Line] PROPERTY LINE
 - [Hatched Box] PROPOSED FIRE HYDRANT
 - [Hatched Box] PROPOSED BENCHMARK
 - [Hatched Box] LANDSCAPE AREA
 - [Hatched Box] LANDSCAPE AREA WITH ROW

LANDSCAPE NOTES

TOTAL LOT AREA = 84,432.3 SF
 TOTAL BUILDING AREA = 8,367.84 SF
 TOTAL LANDSCAPE POINTS REQUIRED = 48,164.78

LANDSCAPE POINTS

AREA 1 = 8848.21 SF, _____ PNTS PROVIDED
 AREA 2 = 1868.65 SF, _____ PNTS PROVIDED
 ROW AREA: 66.66% OF SIDE OF POINTS
 AREA 3 = 3473.0 SF, _____ PNTS PROVIDED
 AREA 4 = 8028.8 SF, _____ PNTS PROVIDED
 AREA 5 = 11,888.4 SF, _____ PNTS PROVIDED
 AREA 6 = 836.7 SF, _____ PNTS PROVIDED
 AREA 7 = 758.8 SF, _____ PNTS PROVIDED



SURVEY:	DESIGN:	AMS
DATE:	CHECK:	AMS
DRAW:	DATE:	

SCHREIER ENGINEERING, INC.

511 NATIONAL STREET, SUITE 101
 BELLE FOURCHE, SD 57717
 PHONE (605) 862-2001
 FAX (605) 723-2001
 email: schreier@schreier.com

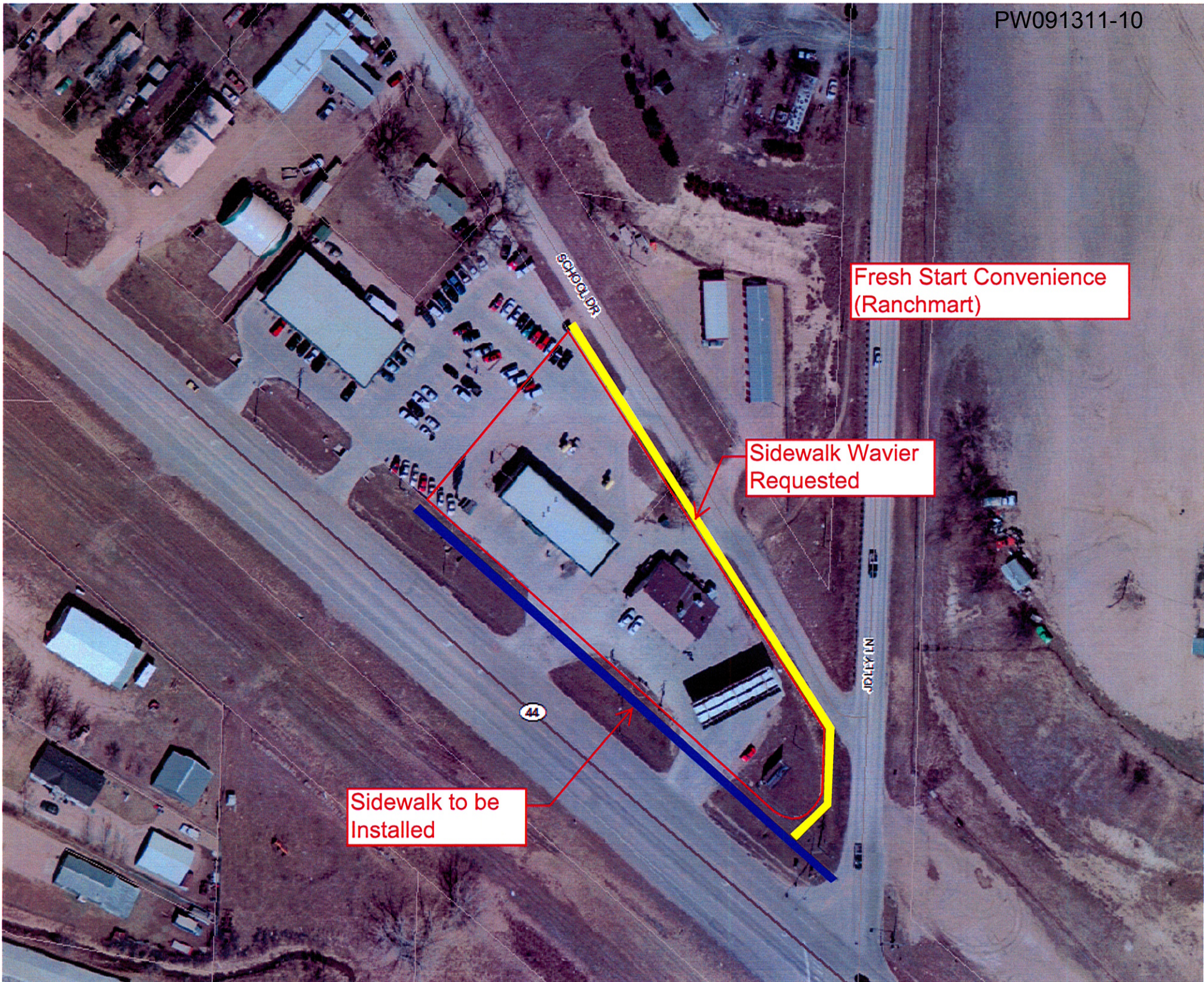
REV. #	DESCRIPTION	CHKD	DATE

SHEET TITLE: LANDSCAPE PLAN

PROJECT: RANCHMART LIQUOR STORE ADDITION
 RAPID CITY, SOUTH DAKOTA

SHEET 2 OF 2

PROJECT NO: 574



Fresh Start Convenience
(Ranchmart)

Sidewalk Wavier
Requested

Sidewalk to be
Installed

SCHOOL DR

N 1st St

44