

# CITY OF RAPID CITY

RAPID CITY, SOUTH DAKOTA 57701



## Public Works Department Engineering Services Division

300 Sixth Street

Telephone: (605) 394-4154 FAX: (605) 355-3083

Web: [www.rcgov.org](http://www.rcgov.org)

TO: Public Works Committee

FROM: Ted T. Johnson, P.E.  
Engineering Project Manager  
Public Works Department

DATE: April 20, 2011

RE: Request to waive the requirement to install sidewalk along 2809 Plant Street per City Ordinance 12.16.080  
Lot 2R of Tract E, Deadwood Avenue Tract located in the NE¼ of NW¼, S34, T2N, R7E Pennington County, SD  
Exception File Number 11EX261

A request for a variance to the requirement to install sidewalk in accordance with City of Rapid City Ordinance 12.16.080 for the JVC Storage Building improvements located at 2809 Plant Street was received by the City on April 19, 2011. The proposed development improvements include the construction of a mini-storage building, paved vehicle circulation aisles, stormwater drainage detention pond, landscaping, water service, and related improvements. In addition to the proposed mini-storage building, a 2,218 square foot office building, a 1,703 square foot industrial structure and three mini-storage/warehousing buildings currently exist on the site. A minimum four (4) foot wide sidewalk is required to be constructed one foot from the property line along the portion of Plant Street as it abuts the JVC Storage property per the Rapid City Municipal Code.

The City of Rapid City Code of Ordinances, 12.16.080 New or Relocated Residential or Commercial Buildings states "*The construction of a permanent sidewalk fronting or abutting all streets, highways and avenues shall be accomplished by the builder, owner or developer of all new or relocated residential or commercial buildings within the city...*" The request for a variance to City Ordinance 12.16.080 would allow the noted improvements to be built without the installation of sidewalk adjacent to Plant Street.



EQUAL HOUSING  
OPPORTUNITY

EQUAL OPPORTUNITY EMPLOYER

Request to Waive Sidewalk  
JVC Storage – 2809 Plant Street  
April 20, 2011  
Page 2

The proposed JVC Storage improvements are located on Lot 2R of Tract E, Deadwood Avenue Tract in Section 34, T2N, R7E, and on the west side of Plant Street to the northwest of the intersection of Deadwood Avenue and Plant Street. The topography of the developed site is fairly level adjacent to the street with a large paved driveway area near the center of the lot.

Currently there is no sidewalk installed adjacent to this property. The Applicant has previously submitted construction plans showing the proposed sidewalk as well as required landscaping in accordance with City of Rapid City Code of Ordinance No. 17.50.300. The Applicant has also indicated the proposed sidewalk would be in conflict with an existing on-premise business sign. It appears the noted sign, although constructed in accordance with sign code requirements, is improperly located within City street right-of-way.

This request is associated with the Building Permit No.2011CIBP00060, and Zoning Board of Adjustment Appeal No. 5536.

**Staff Recommendation:** Staff recommends that the request to waive the requirement to install sidewalk adjacent to 2809 Plant Street be denied.

## JVC Partnership

Stowaway Storage  
PO Box 9063  
Rapid City, South Dakota 57709-9063  
(605) 342-2127

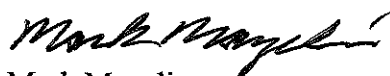
City of Rapid City  
Public Works Dept.

To Whom It May Concern:

JVC Partnership is requesting exception to the sidewalk rule for our property for the following reasons:

- #1: Property on either side of ours or across the street have no sidewalks.
- #2: This is an industrial area, we normally have no foot traffic in the area.
- #3: It would decrease the amount of landscaping points in front of our property.
- #4: Our business sign installed under a previous project, and installed per your specs., would have to be relocated per your new requirements.
- #5: Who would use the sidewalk? If someone was walking in the area, they would be unlikely to leave the street just to use our sidewalk.

Respectfully Submitted:



Mark Mayclin  
JVC Partner

RECEIVED

APR 18 2011

ENGINEERING DIVISION

TED

PUBLIC WORKS 4-26-12:30 PM  
CITY COUNCIL 5-2 7:00 PM

**REQUEST FOR EXCEPTION TO  
RAPID CITY DESIGN STANDARD / CRITERIA / REGULATIONS**

PROJECT JVC Storage Building

**RECEIVED**

DATE: 4-15-11 SUBMITTED BY: JVC Partnership

**APR 18 2011**

PIN #: 20 34 126 002

2809 Plant Street  
Rapid City, SD 57702

ENGINEERING DIVISION

LEGAL DESCRIPTION: Deadwood Ave. Tract Lot 2R of Tract E

EXCEPTION REQUESTED: SECTION 12.16.080 STD / CRITERIA / REG Select One

DESCRIPTION OF REQUEST: Exeption from installing sidewalks on Plant Street

JUSTIFICATION: Property on Plant Street has no sidewalks. Decreases amount of landscaping Points. Business Sign on previous project was installed per your specs, would now need to be relocated per your new requirements.

SUPPORTING DOCUMENTATION:  Yes  No

PROPERTY OWNER'S SIGNATURE\*\*: Mark Mays DATE: 4-15-11

\*\*Or Agent, if previously designated by the Owner in writing.

FOR STAFF ONLY

STAFF COMMENTS: \_\_\_\_\_

STAFF RECOMMENDATION: \_\_\_\_\_

REVIEWED BY: \_\_\_\_\_

DATE: \_\_\_\_\_

AUTHORIZATION:

APPROVED

DENIED

GROWTH MANAGEMENT DIRECTOR

APPROVED

DATE

DENIED

PUBLIC WORKS DIRECTOR\*

DATE

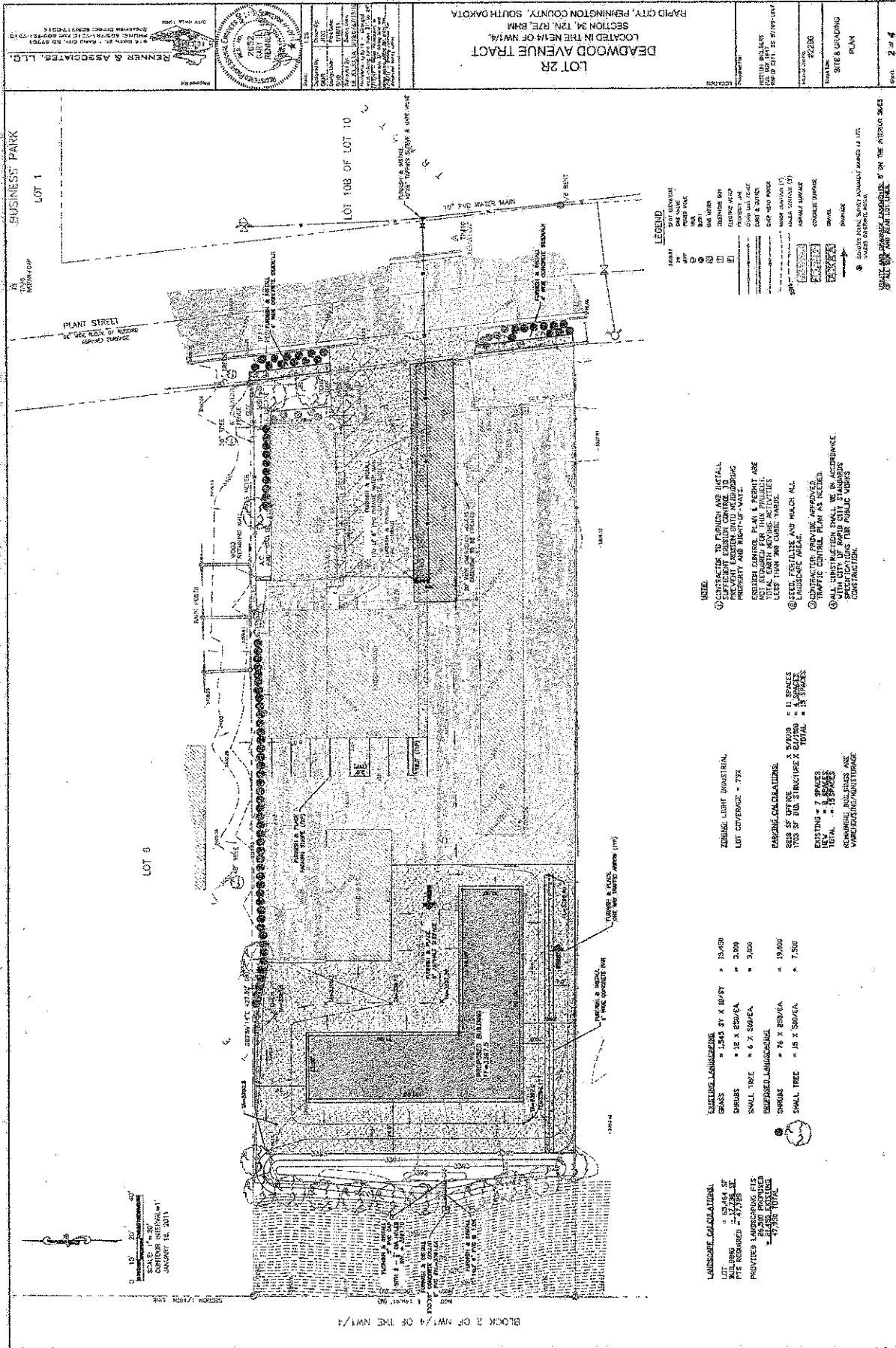
FILE #: 11EX261

Revised 11/06/07

ASSOCIATED FILE#: BP

\*Public Works Director's signature is not required for Lot Length to Width Exceptions, Ordinance No. 5232.

Item #11



DEADWOOD AVENUE TRACT  
 SECTION 34, T2N, R7E, B1M  
 LOCATED IN THE NEAR OF NW1/4  
 RAPID CITY, PENNINGTON COUNTY, SOUTH DAKOTA

LOT 2R  
 SITE & GRADING  
 PLAN  
 SHEET 2 OF 4

RENNER & ASSOCIATES, L.L.C.  
 ENGINEERS & ARCHITECTS  
 1500 W. 13TH ST. SUITE 200  
 RAPID CITY, SD 57701  
 PHONE: 605.251.1111  
 FAX: 605.251.1112  
 WWW.RENNA.COM

DATE: 12/15/2011  
 SCALE: 1" = 30'  
 SHEET: 2 OF 4  
 PROJECT: DEADWOOD AVENUE TRACT  
 DRAWN BY: J. HARRIS  
 CHECKED BY: M. HARRIS

NOTES:  
 1. CONTRACTOR TO PROVIDE AND INSTALL SUFFICIENT EROSION CONTROL TO PREVENT EROSION UNTIL VEGETATION IS ESTABLISHED.  
 2. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.  
 3. TOTAL EARTH MOVED ACTIVITIES LESS THAN ONE CUBIC YARD.  
 4. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.  
 5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RAPID CITY STANDARDS FOR EROSION CONTROL.  
 6. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RAPID CITY STANDARDS FOR EROSION CONTROL.

LANDSCAPE CALCULATIONS:  
 LOT AREA = 63,464 SF  
 LOT COVERED = 17,413 SF  
 PROPOSED LANDSCAPE = 46,051 SF  
 PLANTING PROVIDED = 15,459 GRASS, 3,099 SHRUBS, 3,000 SMALL TREES, 19,000 SHRUBS, 7,500 SMALL TREES

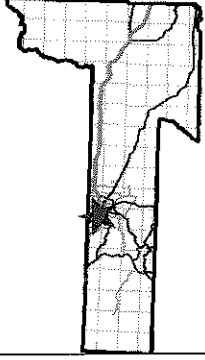
PARKING CALCULATIONS:  
 1733 SF BLD. FOOTPRINT = 1733 SPACES  
 1733 SF BLD. STRUCTURE & 241000 = 1733 SPACES  
 TOTAL = 1733 SPACES  
 EXISTING = 7 SPACES  
 REMOVED BUILDINGS ARE VOUCHERED/MAINTENANCE

LEGEND:  
 1. EXISTING PAVEMENT  
 2. PROPOSED PAVEMENT  
 3. EXISTING CURB  
 4. PROPOSED CURB  
 5. EXISTING SIDEWALK  
 6. PROPOSED SIDEWALK  
 7. EXISTING DRIVE  
 8. PROPOSED DRIVE  
 9. EXISTING UTILITY  
 10. PROPOSED UTILITY  
 11. EXISTING EROSION CONTROL  
 12. PROPOSED EROSION CONTROL  
 13. EXISTING VEGETATION  
 14. PROPOSED VEGETATION  
 15. EXISTING FENCE  
 16. PROPOSED FENCE  
 17. EXISTING SIGN  
 18. PROPOSED SIGN  
 19. EXISTING LIGHT  
 20. PROPOSED LIGHT  
 21. EXISTING TREE  
 22. PROPOSED TREE  
 23. EXISTING SHrub  
 24. PROPOSED SHrub  
 25. EXISTING SMALL TREE  
 26. PROPOSED SMALL TREE

PLAN  
 SHEET 2 OF 4



Map center: 44° 5' 37.93" N, 103° 15' 57.76" W



**Legend**

- Not classified Roads
- Interstate
- US Highway
- SD Highway
- County Highway
- Main Road
- Minor Arterial
- Collector
- Ramp
- Paved Road
- Unpaved Road
- Driveway
- Unimproved Road
- Trail
- other
- Not yet coded
- Township/Section lines
- SECTION
- TOWNSHIP
- Parcel Boundary
- Lot Lines
- COUNTY BOUNDARY
- LOT LINE
- PARCEL LINE
- ROAD ROW
- RR ROW
- SECTION LINE
- TOWNSHIP LINE
- WATER LINE
- STATE BOUNDARY
- County Line
- City Boundaries
- Rapid City
- Box Elder



Scale: 1:787

DISCLAIMER: This map is provided 'as is' without warranty of any representation of accuracy, timeliness, or completeness. The burden for determining accuracy, completeness, timeliness, merchantability, and fitness for use rests solely on the user. Rapid City and Pennington County make no warranties, express or implied, as to the use of the map. There are no implied warranties of merchantability or fitness for a particular purpose. The user acknowledges and accepts that the use of the map is for informational purposes only and is not to be used for any other purpose. The user agrees to recognize and honor the distribution of printed Rapid City/Pennington County maps, other than the City of Rapid City copyright (credit) notice must be legible on the print. The user agrees to recognize and honor in perpetuity the copyrights and other proprietary claims for the map(s) established or produced by the City of Rapid City or the vendors furnishing said items to the City of Rapid City.