

14PD034

CUMMINS

PUD ZONE DOCUMENT PARCELS OF LAND LOCATED IN SE¼ NE¼ OF SECTION 28, T2N, R8E, BHM.

RECEIVED

OCT 28 2014

RAPID CITY COMMUNITY PLANNING & DEVELOPMENT SERVICES

CERTIFICATE OF OWNER

State of South Dakota
County of Pennington S.S.

I, Mark Mathiesen, do hereby certify that I am the owner of the land shown and described hereon and submit this Planned Unit Development and agree to perform under the terms noted hereon.

In witness whereof, I have set my hand and seal.

OWNER:

By: Mark Mathiesen
Cummins Central Power

On this ___ day of _____, 2014, before me, a Notary Public, personally appeared xxxx, known to me to be the person described in the foregoing instrument and acknowledged to me that he signed the same.

NOTARY PUBLIC: _____
My commission expires: _____

CERTIFICATE OF COMMUNITY PLANNING & DEVELOPMENT SERVICES DIRECTOR

I, Community Planning & Development Services Director of the City of Rapid City, have reviewed and hereby approve this Planned Unit Development.

Dated this ___ day of _____, 20__.

Community Planning & Development Services of the City of Rapid City

CERTIFICATE OF PLANNING COMMISSION CHAIRMAN

I, Planning Commission Chair, have reviewed and hereby approve this Planned Unit Development.

Dated this ___ day of _____, 20__.

Chairman, City of Rapid City Planning Commission

CERTIFICATE OF MAYOR

I, Mayor of the City of Rapid City, have reviewed and hereby approve this Planned Unit Development.

Dated this ___ day of _____, 20__.

Mayor, City of Rapid City

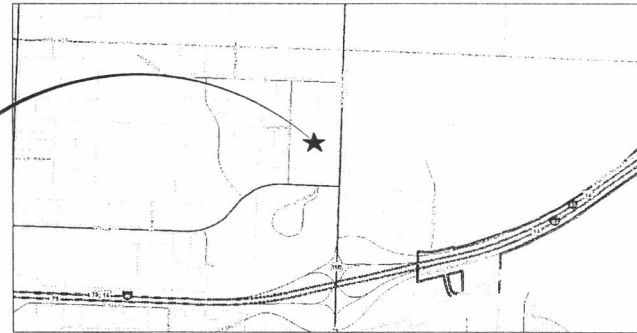
CERTIFICATE OF REGISTER OF DEEDS

State of South Dakota
County of Pennington S.S.

Filed this ___ day of _____, 20__ at ___ o'clock
___ M. in Document # _____

Register of Deeds
Fee: \$ _____

PROJECT
LOCATION



VICINITY MAP
1"=1000'

INDEX OF SHEETS

SHEET 1	TITLE / VICINITY / CERTIFICATIONS / INDEX OF SHEETS
SHEET 2	LAND PLAN
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SHEET 4	LAND USE SCHEDULE
SHEET 5	PUBLIC / PRIVATE IMPROVEMENTS
SHEET 6	DESIGN STANDARDS



Scale:	
Designed By:	Drawn By:
Checked Date:	Print Date:
10/20/14	10/27/2014
Reviewed By:	Survey Date:

Revisions:	

CUMMINS
PLANNED UNIT DEVELOPMENT

Prepared For:

OWNER:
CUMMINS CENTRAL POWER
Attn: Mark Mathiesen
8201 NE Parvett Road
Kansas City, MO 64161

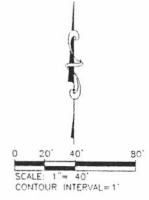
Project No. #2699

Sheet No.:	TITLE
	SHEET

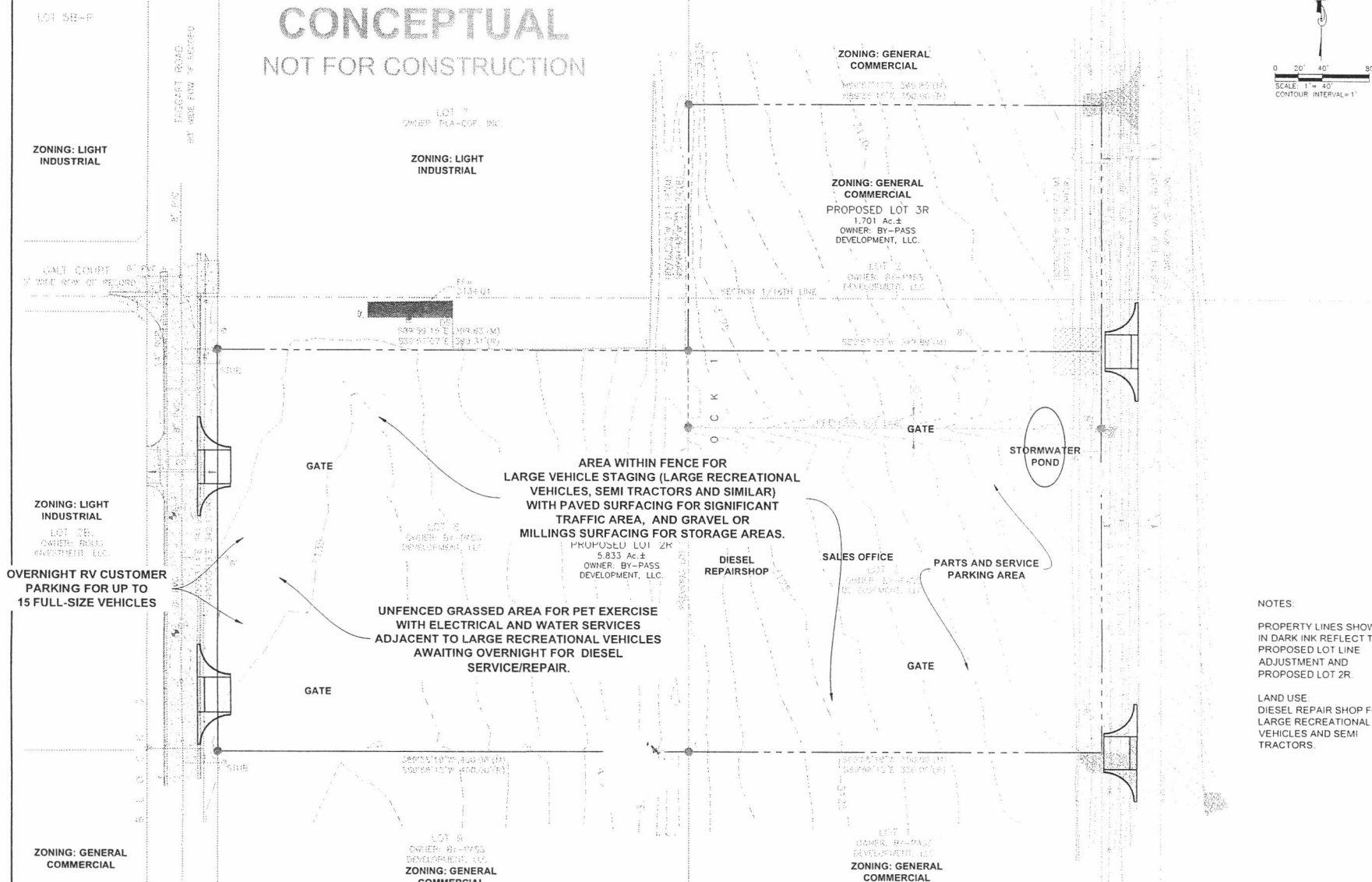
Sheet 1 of 6

14PD034

CONCEPTUAL NOT FOR CONSTRUCTION



RENNER ASSOCIATES, LLC
 CIVIL ENGINEERING • LAND SURVEYING
 416 SOUTH AVENUE
 SUITE 200
 WASHINGTON, MO 64785
 TEL: 660.885.1234
 FAX: 660.885.1235
 WWW.RENNERASSOCIATES.COM



AREA WITHIN FENCE FOR
 LARGE VEHICLE STAGING (LARGE RECREATIONAL
 VEHICLES, SEMI TRACTORS AND SIMILAR)
 WITH PAVED SURFACING FOR SIGNIFICANT
 TRAFFIC AREA, AND GRAVEL OR
 MILLINGS SURFACING FOR STORAGE AREAS.

UNFENCED GRASSED AREA FOR PET EXERCISE
 ADJACENT TO LARGE RECREATIONAL VEHICLES
 AWAITING OVERNIGHT FOR DIESEL
 SERVICE/REPAIR.

NOTES:
 PROPERTY LINES SHOWN
 IN DARK INK REFLECT THE
 PROPOSED LOT LINE
 ADJUSTMENT AND
 PROPOSED LOT 2R.
 LAND USE
 DIESEL REPAIR SHOP FOR
 LARGE RECREATIONAL
 VEHICLES AND SEMI
 TRACTORS.

Scale: 1"=40'
 Prepared By: [Blank]
 Drawn By: [Blank]
 Design Date: 10/27/2014
 Plot Date: 10/27/2014
 Surveyed By: [Blank]

CUMMINS
 PLANNED UNIT DEVELOPMENT

OWNER:
 CUMMINS CENTRAL POWER
 Attn: Mark Mathisen
 8201 NE Parson Road
 Kansas City, MO 64161

Project No: #2699

Sheet No: LAND PLAN

Lot area and Building Standards	Lot frontage	Lot area	Building Maximum Size	Building area in square feet or FAR	Front setback	Rear setback	Side Setback	Building height
Minimum	300'	5 ACRES	N/A		25'	25'	8'	10'
Maximum	N/A	N/A	30,000 sq. ft.		N/A	N/A	N/A	45'

Parking Standards	Automobile Parking – Standard spots for customers.	Automobile stall width/length	Drive aisle widths	Recreational vehicle parking not occupied (within security fence)	Occupied recreational vehicle parking (outside the security fence)	Total recreational vehicles	Recreational vehicle stall width/length	Outdoor storage area
Minimum	38	9' / 18'	24'	N/A	N/A	N/A	12' / 45'	N/A
Maximum	N/A	N/A	N/A	30	15	45	N/A	4 ACRES

Sign Standards	Total number of wall signs	Total area of wall signs	Total number of pole mounted signs	Total sign area for pole mounted signs	Height of pole mounted signs	Total number of low profile signs	Total sign area for low profile	Height of low profile signs	Setback for pole and ground mounted signs	Total number of internal traffic directional signs	Total number of service bay signs. Max. 18" high x width of bay
Minimum	1	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	
Maximum	8	1000 SF	2	144 SF	*	2	144 SF	6'	10'	6	1 per bay

*As per Chapter 17.050.100 of the Rapid City Municipal Code as adopted and amended.
 n/a =not applicable

Landscape Standards

Minimum 20 foot depth of landscape area along all street frontages excluding curb cut areas used for access to property.
 Minimum one tree per 50 linear feet of property frontage to be planted within the landscape area.
 Minimum 1 shrub per 800 square feet of landscape area.
 Minimum 50% turf or vegetative cover within the landscape areas with the remaining area in rock or wood mulch, including parkway.
 All landscape areas to be irrigated with an automated irrigation system.
 Minimum tree sizes are 2.5" inch caliper for deciduous trees and 6" high for evergreen.
 Minimum shrub size is 5 gallon container.

Administrative Exception

The Director of Community Planning and Development may administratively approve an amendment to the PUD Document where the increase or decrease is 30% or less.

Scale:	Drawn by:	Checked by:
Drawn Date:	Print Date:	
10/22/14	10/27/2014	
Revised by:	Issue/Date:	

Structure:

CUMMINS
 PLANNED UNIT DEVELOPMENT

Proposed Fee
OWNER:
 CUMMINS CENTRAL POWER
 Attn: Mark Mathiesen
 8208 NE Parvies Road
 Kansas City, MO 64161

Volume Job No.
#2699

Sheet No.
BULK STANDARDS

LAND USE SCHEDULE

Land use shall be as allowed in the General Commercial District and in the Light Industrial District, as adopted or amended, with the following additional use:

Overnight parking/camping of large recreational vehicles;

The overnight parking/camping of recreational vehicles shall only be allowed as a function of customers awaiting completion of repairs to the recreational vehicle.

The RV parking/camping and diesel repair uses shall remain connected. The RV parking area shall not be portioned off as a separate use.

The overnight parking/camping spots shall be limited to 15 in number; potable water and electrical service shall be provided at these spots. Sanitary dumping stations shall not be required.

Scale:	
Designed By:	Drawn By:
Design Date: 10/2014	Print Date: 10-27-2014
Surveyed By:	Survey Date:

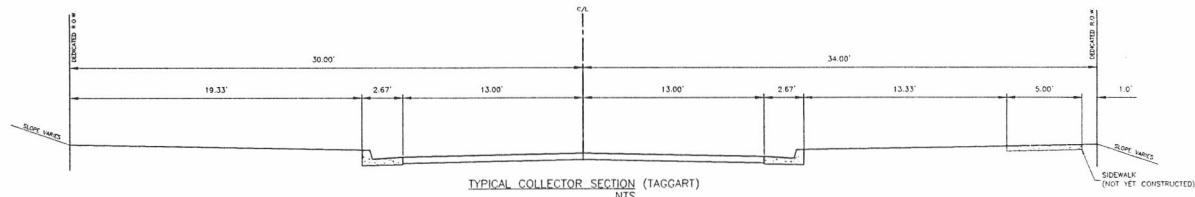
Revisions:	

CUMMINS
PLANNED UNIT DEVELOPMENT

Prepared For:
OWNER:
CUMMINS CENTRAL POWER
Attn: Mark Matthiesen
8201 NE Parvin Road
Kansas City, MO 64161

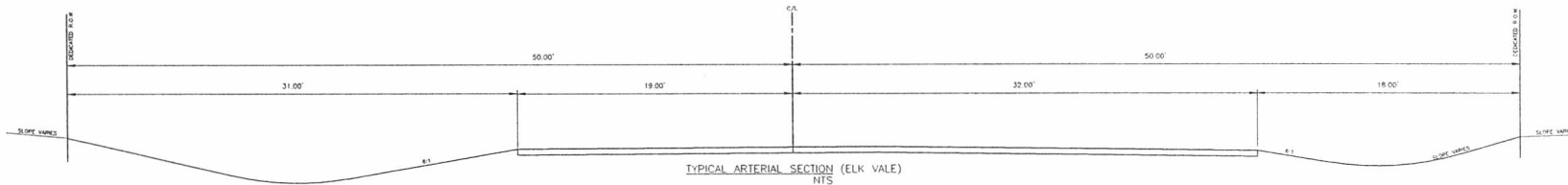
Internal Job No:
#2699

Sheet Title:
LAND USE
SCHEDULE



TYPICAL COLLECTOR SECTION (TAGGART)
NTS

EXISTING TAGGART ROAD (shown):
60' R.O.W.,
26' CROWNED PAVEMENT,
CONCRETE CURB AND GUTTER,
MUNICIPAL SANITARY,
MUNICIPAL WATER,
NO SIDEWALKS,
NO STREET LIGHTING.



TYPICAL ARTERIAL SECTION (ELK VALE)
NTS

EXISTING ELK VALE ROAD (shown):
100' ± R.O.W (50' ON WEST),
51' CROWNED PAVEMENT,
RURAL SECTION,
MUNICIPAL SANITARY,
MUNICIPAL WATER,
NO SIDEWALKS,
NO STREET LIGHTING.

THE BIKE/PEDESTRIAN MASTER PLAN IDENTIFIES A PROPOSED
SHOULDER BIKEWAY ALONG NORTH ELK VALE ROAD.

Scale	1"=4'
Drawn By	John Doe
Check Date	10/27/2014
Drawn Date	10/27/2014
Checked By	John Doe

Revisions	

CUMMINS
PLANNED UNIT DEVELOPMENT

OWNER:
CUMMINS CENTRAL POWER
Attn: Mark Mathiesen
8201 NE Parvin Road
Kansas City, MO 64181

Project Job No:
#2699

Project Title:
PUBLIC / PRIVATE
IMPROVEMENTS

14PD034

DESIGN STANDARDS

Building construction:

Building materials shall consist of masonry, steel, timber or concrete materials. Standing seam metal roof. Finishes shall include earth-tone colors, painted or installed which could include brick/stone accents. Building height shall not exceed four stories or 45' in height.

Screening:

Screening shall be provided around dumpsters and any outdoor storage of vehicle parts, repair residue, etc.

Fencing:

Fencing shall be durable in construction, and be chain link, wood or wood composite, masonry construction, or a combination of the above materials. Plastic slats shall not be allowed in the fencing. The finished surface of the fence shall face the Right-of-Way.

Overnight RV parking spots:

Parking spots shall be on hard paved surfaces. There shall be a grass area provided for small pet exercise adjacent to the RV parking spots. An animal waste station with bags and waste receptacle shall be provided. The pet exercise area shall be kept clean of animal waste.

RV Utilities:

RV service connections consisting of potable water and electrical shall be provided and constructed/maintained in accordance with current plumbing and electrical codes.

RV Dump Station:

RV dump station(s) shall not be required, however, any RV wastewater system repair shall meet all applicable local and state requirements.

Paving:

Areas used for traffic circulation and frequent staging/parking shall be paved. All customer service parking shall be paved.

Address:

Shall be displayed on the front of the building facing the street;
Shall be displayed at all entrance and exist points;
and shall be displayed in the overnight RV parking area.



Scale	
Sheet No.	Sheet Title
10/2014	10/27/2014
Sheet No.	Sheet Title

No. sheets

CUMMINS
PLANNED UNIT DEVELOPMENT

OWNER:
CUMMINS CENTRAL POWER
Attn: Mark Mathiesen
8201 NE Porum Road
Kansas City, MO 64161

Project No. #2699

DESIGN STANDARDS