

CONCEPT NOTES

CRITERIA AND SPECIFICATIONS TO BE USED:

- STREET DESIGN CRITERIA MANUAL 6-96 VERSION.
- UTILITY DESIGN CRITERIA 1978 WITH CURRENT UPDATES.
- SDOT CITY OF RAPID CITY STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION EXCEPT AS MODIFIED IN THESE CONTRACT DOCUMENTS.

CONCEPT:

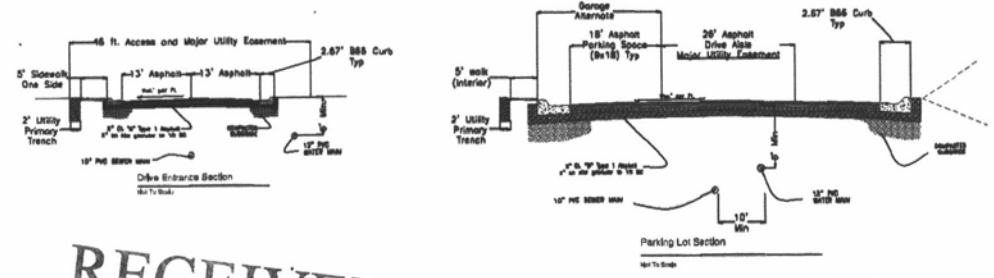
MULTI FAMILY, UP-SCALE APARTMENTS. BASIC PLATFORM IS 3 STORY, 15 UNITS PER BLDG., WITH AN ANTICIPATED TOTAL OF 135 UNITS ON A 0.5 +/- AC LOT DESIGNATED AS LOT 1, FOUNDERS PARK NORTH.

INFRASTRUCTURE:

- ACCESS FROM THE INTERSECTION OF FOUNDERS PARK DR. AND PHILADELPHIA STREET. CORRIDOR IS A PRIVATE DRIVE WITH A MAJOR PUBLIC UTILITY BASEMENT CONTAINED WITHIN. SEE TYPICAL SECTIONS.
- SANITARY SEWER IS AN EXTENSION OF THE EXISTING 10" PVC MAIN IN THE INTERSECTION.
- WATER (3406 LEVEL) IS AN EXTENSION OF THE 12" PVC MAIN IN THE INTERSECTION. A SERVICE SORE BREAK OCCURS AT THE 3500 CONTOUR. THE NORTH RAPID HIGH LEVEL (3540) WILL BE USED TO SUPPLEMENT FIRE FLOWS FOR THE NORTHERLY MOST BUILDINGS. THE CITY WILL DETERMINE IF A PHYSICAL CONNECTION BETWEEN THE ZONES WITH AN ISOLATION VALVE IS REQUIRED FOR THEIR SYSTEM PLANS.
- STORM WATER CONTROL IS A SERIES OF INLETS AND PIPES DRAINING TO DETENTION PONDS LOCATED ALONG THE PERIMETER. A SECTION OF BURIED PIPE IS PLANNED ALONG THE EAST EDGE OF THE MAIN ACCESS / PARKING.
- PRELIMINARY GEO-TECH REVIEW REVEALS THE SUITABILITY OF THE PROPOSED GRADING CONCEPT. EXCAVATE IN THE NORTHEAST CORNER, PLACE IN PLATFORM FOOTPRINT.

ADMINISTRATIVE ACTIONS:

THIS LAYOUT PLAN SUBMITTAL INCLUDES APPLICATIONS FOR REZONING WITH A PDD DESIGNATION AND A COMPREHENSIVE PLAN AMENDMENT (MAJOR STREET PLAN CHANGE) TO DELETE THE NORTH EXTENSION OF FOUNDERS PARK DRIVE AS A COLLECTOR.

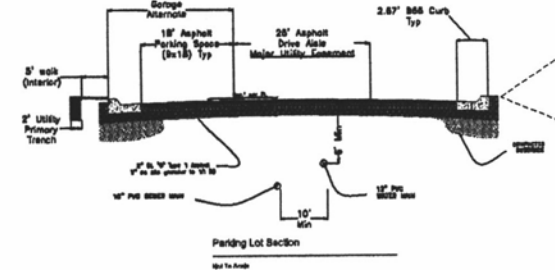
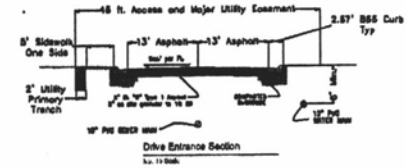
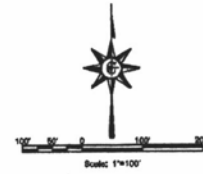
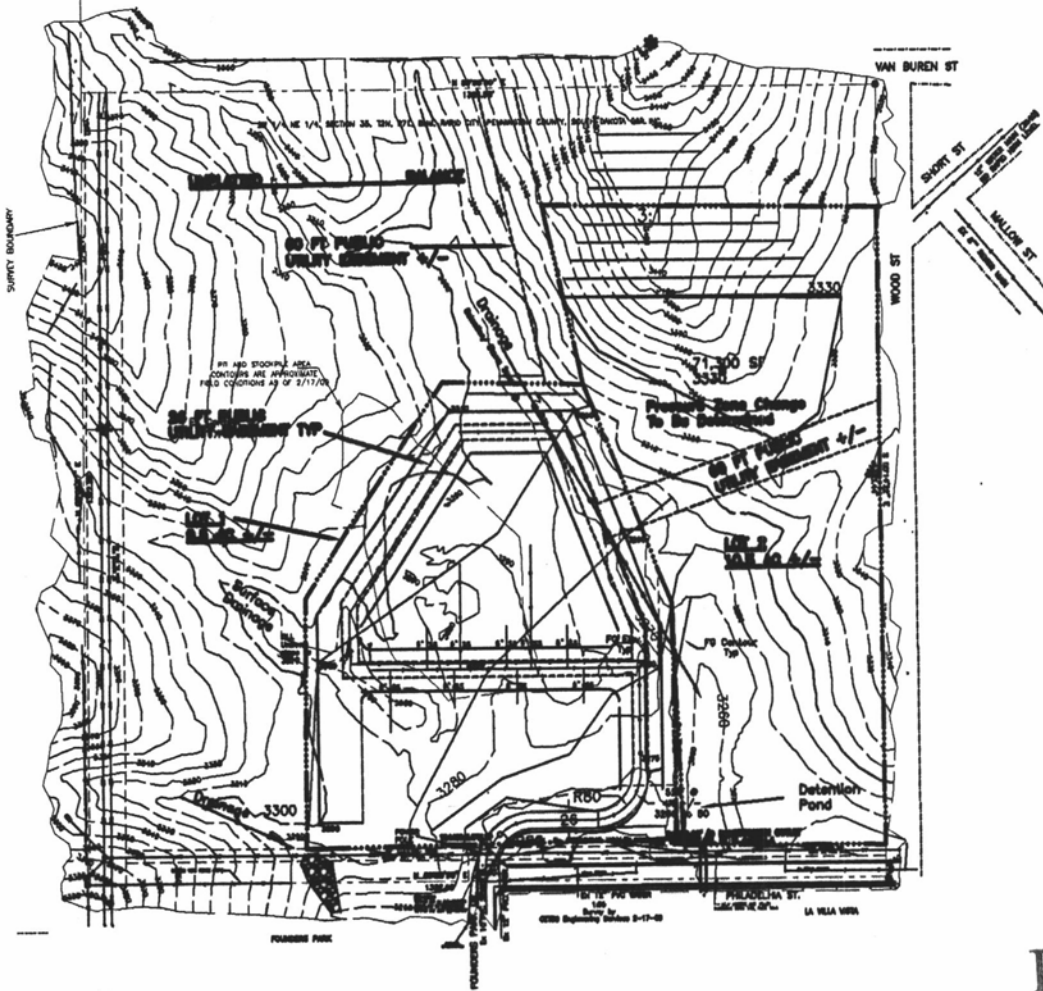


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Rapid City Growth Management Department

FOUNDERS PARK NORTH: LA FOUNT PLAT (Cross Section)	
CRENSHAW	Project No.: 154-01
1117 14th St. S.E.	Sheet: 154-01
APR 27 2011	Date: 12-10
	Scale: 1"



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Rapid City Growth
Management Department

PLANNED PARKING MANAGEMENT PLAN: Parcel and Easement

	CENTRLINE	Project No.:	11PL025
		Date:	11/10/10
		Rev.:	11/10/10
		Page:	21