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Rapid City Growth Management Department

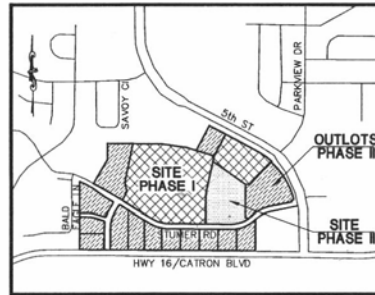
PROPOSED DEVELOPMENT PLANS BLACK HILLS CENTER

Walmart STORE# 3872-03

RAPID CITY, PENNINGTON COUNTY, S.D. HWY 16 / CATRON BOULEVARD INTERSECTION FIFTH STREET

UTILITY RESPONSIBILITY MATRIX FOR THIS PROJECT

Table with 3 columns: UTILITY/GOVERNING AGENCIES CONTACTS, CONTRACTOR RESPONSIBILITY, OTHERS RESPONSIBILITY. Rows include Gas, Electric, Sewer, Water, and Fire.



LOCATION MAP NOT TO SCALE THE SITE IS LOCATED IN THE S1/2 OF THE NE1/4, OR AKA IN THE SW1/4 OF THE NE1/4 AND IN THE SE1/4 OF THE NE1/4, SECTION 24, T1N, R7E, B1M, RAPID CITY, PENNINGTON COUNTY, SOUTH DAKOTA.

- NOTES: 1. THE STIPWORK FOR THE WALMART PORTION OF THIS PROJECT SHALL MEET OR EXCEED THE 'WALMART STANDARD STIPWORK SPECIFICATIONS'. 2. ALL NECESSARY WORKINGS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.

SHEET INDEX table with columns: Page No., Description, Issue Date, Latest Revision, Comment. Lists various sheets from COVER SHEET to STAMER ROAD IMPROVEMENT PLAN.

NOTE: PLANS SUBMITTED UNDER A SEPARATE COVER INCLUDE: -FIFTH STREET AND EAST STAMER ROAD INTERSECTION IMPROVEMENT PLANS. -TRAFFIC SIGNAL INSTALLATION PLAN US 16B / CATRON BOULEVARD AND BLACKHILLS BOULEVARD.

Wolverton & Associates Consulting Engineers + Land Surveyors



PROPOSED BLACK HILLS CENTER Walmart # 3872-03 RAPID CITY, PENNINGTON COUNTY, S.D. BY: THF STONERIDGE DEVELOPMENT, LLC

Project Developer THE STONERIDGE DEVELOPMENT, LLC 2127 INNERBELT BUSINESS CENTER DR. SUITE 200 / ST. LOUIS, MO. 63114

Project Developer THE STONERIDGE DEVELOPMENT, LLC 2127 INNERBELT BUSINESS CENTER DR. SUITE 200 / ST. LOUIS, MO. 63114

ENGINEER- Wolverton & Associates Consulting Engineers + Land Surveyors

6745 Sugarloaf Parkway • Suite 100 • Duluth, Georgia 30097 Phone: (770) 447-8999 • Fax: (770) 447-9070 www.wolverton-assoc.com CONTACT: MR. KELLY J. WAGONER

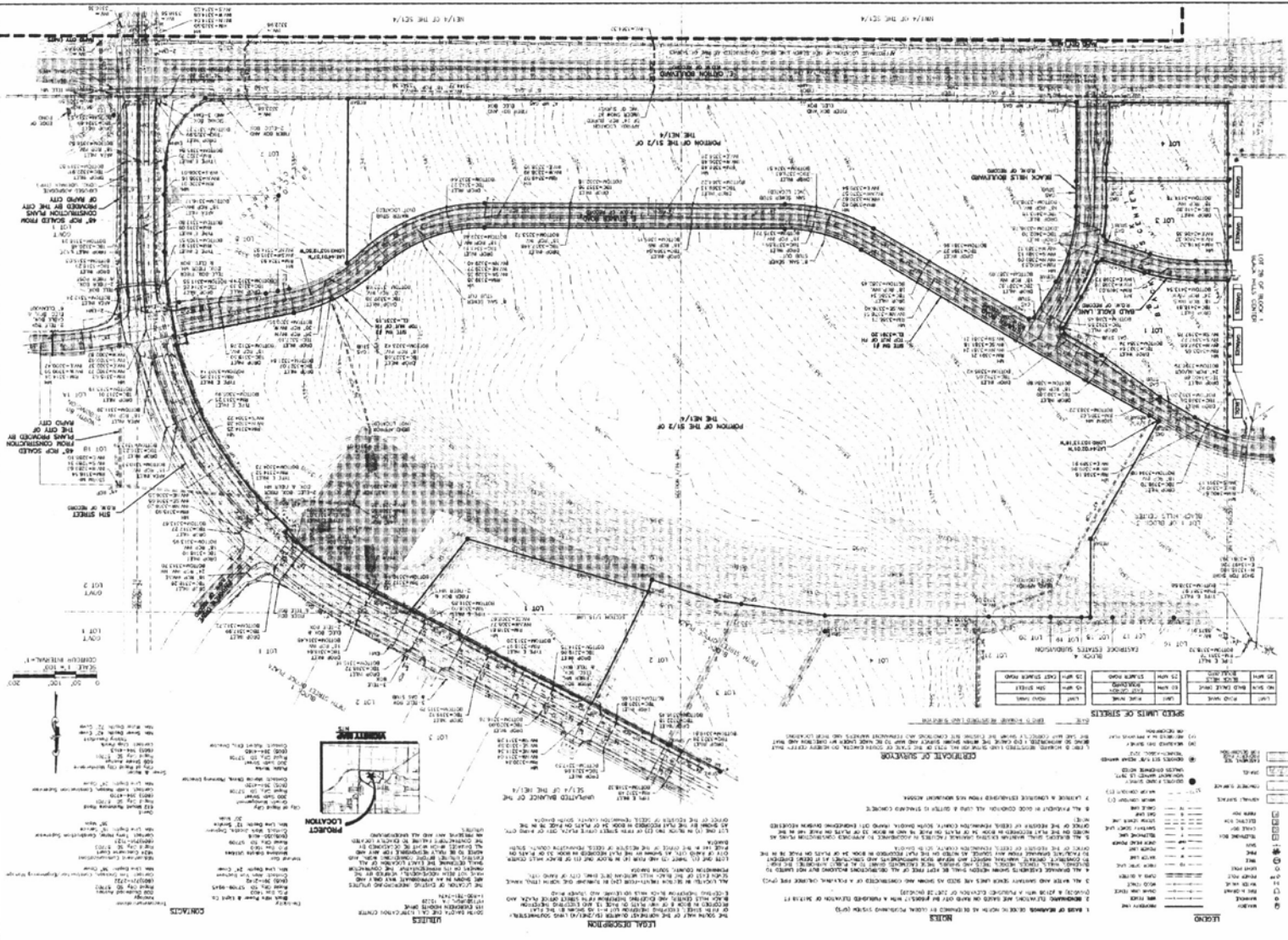
OWNER / DEVELOPER- THF STONERIDGE DEVELOPMENT, LLC 2127 INNERBELT BUSINESS CENTER DR. SUITE 200 / ST. LOUIS, MO. 63114 PHONE: (314) 429-0900 FAX: (314) 429-0999

1 of 2
TOPOGRAPHIC
MAP
DETAILED

DETAILED TOPOGRAPHIC MAP

Scale: 1" = 100'

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 10000 W. 10th Street, Suite 100
 Denver, Colorado 80231
 Phone: (303) 751-1000
 Fax: (303) 751-1001
 www.renner.com



SYMBOLS OF SURFACE

Symbol	Symbol	Symbol	Symbol	Symbol	Symbol
...

- LEGEND**
1. BOUNDARY BETWEEN THE NORTH AND SOUTH OF THE PROJECT
 2. BOUNDARY BETWEEN THE EAST AND WEST OF THE PROJECT
 3. BOUNDARY BETWEEN THE NORTH AND SOUTH OF THE PROJECT
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 19. BOUNDARY BETWEEN THE NORTH AND SOUTH OF THE PROJECT
 20. BOUNDARY BETWEEN THE EAST AND WEST OF THE PROJECT

NOTES

1. THE SHOWN MAP IS THE PROPERTY OF THE ENGINEER AND SHALL BE KEPT IN THE OFFICE OF THE ENGINEER.
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LEGAL DESCRIPTION

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UTILITIES

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CONTACTS

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2 of 2
 DETAILED PROPERTY MAP
 2024

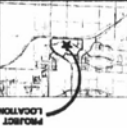
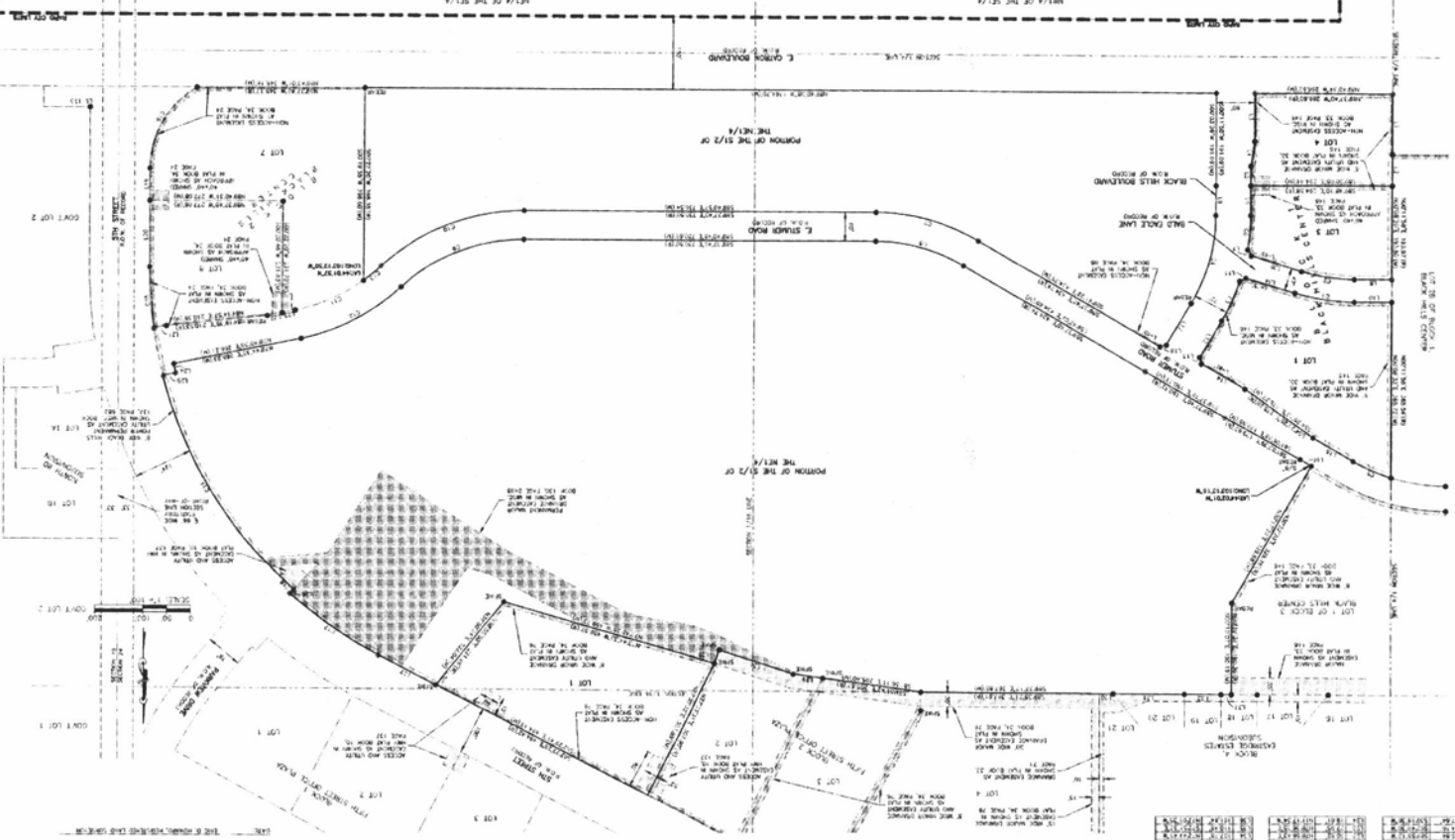
DETAILED PROPERTY MAP

Legend

1. Existing Lot Lines
 2. Proposed Lot Lines
 3. Easement
 4. Right of Way
 5. Utility Right of Way
 6. Other Right of Way
 7. Other
 8. Other



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GENERAL NOTES

1. ALL DIMENSIONS ARE TO CENTER OF LOT LINE UNLESS OTHERWISE NOTED.

2. ALL CORNER MARKERS ARE TO BE SET AND MAINTAINED AT ALL TIMES.

3. THIS MAP IS BASED ON THE RECORD PLAT FOR THE PROJECT, 10PL096.

4. THE BOUNDARIES OF THE LOTS ARE AS SHOWN ON THIS MAP.

5. THE EASEMENTS ARE AS SHOWN ON THIS MAP.

6. THE RIGHTS OF WAY ARE AS SHOWN ON THIS MAP.

7. THE UTILITIES ARE AS SHOWN ON THIS MAP.

8. THE OTHER RIGHTS OF WAY ARE AS SHOWN ON THIS MAP.

9. THE OTHER AREAS ARE AS SHOWN ON THIS MAP.

LOCAL DESCRIPTION

1. THE LOTS ARE DESCRIBED AS FOLLOWS:

LOT 1: [Description]

LOT 2: [Description]

LOT 3: [Description]

LOT 4: [Description]

LOT 5: [Description]

LOT 6: [Description]

LOT 7: [Description]

LOT 8: [Description]

LOT 9: [Description]

LOT 10: [Description]

LOT 11: [Description]

LOT 12: [Description]

LOT 13: [Description]

LOT 14: [Description]

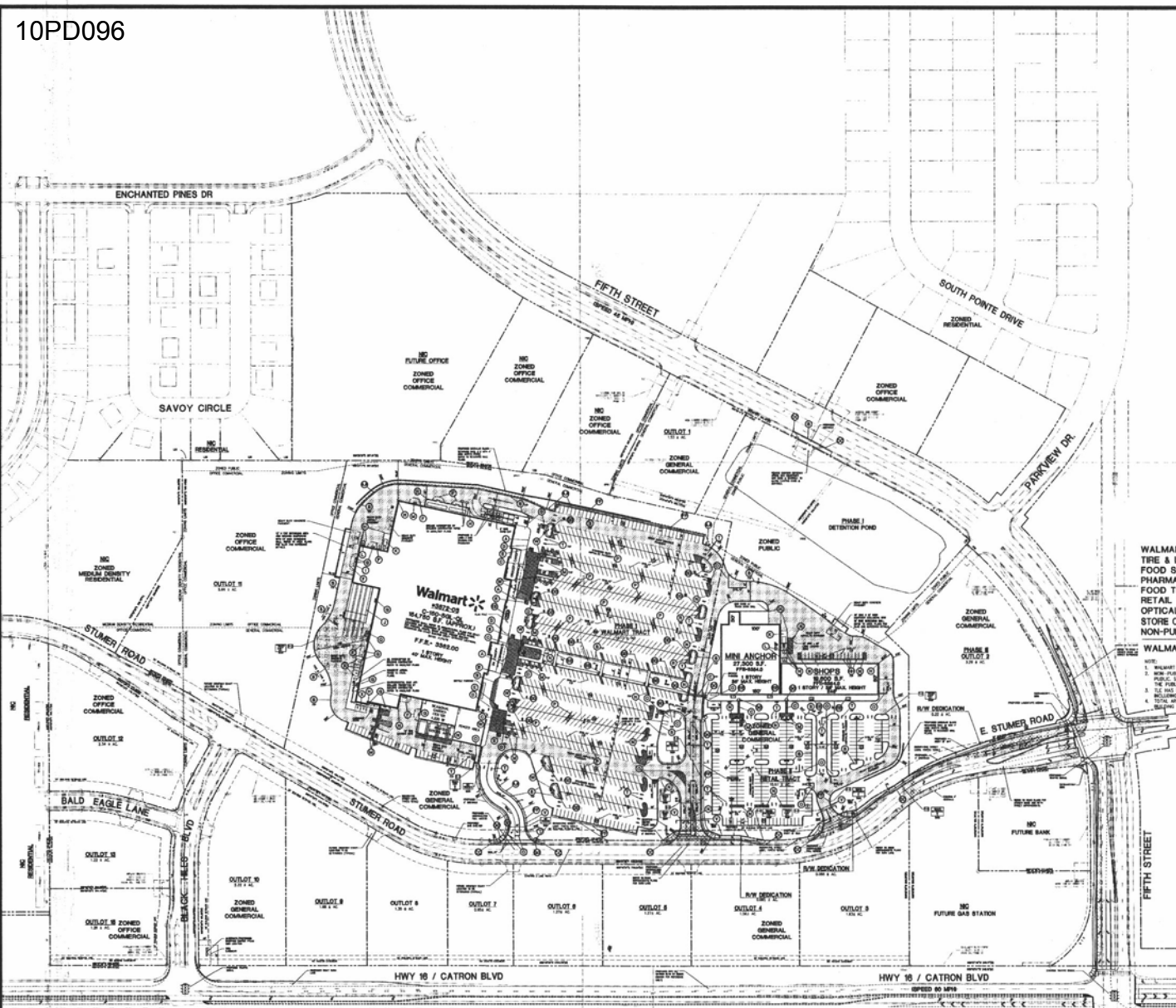
LOT 15: [Description]

LOT 16: [Description]

LEGEND

1. Existing Lot Lines
 2. Proposed Lot Lines
 3. Easement
 4. Right of Way
 5. Utility Right of Way
 6. Other Right of Way
 7. Other
 8. Other

SCALE: AS SHOWN ON THIS MAP



LOCATION MAP
 100' TO SCALE
 THE SITE IS LOCATED IN THE 1/22 OF THE NW/4 OF THE NW/4 OF THE SW/4 OF THE SECTION 34, T4N, R18E, S14W, RANGE 01N, TOWNSHIP 04N, RANGE 18E, COUNTY, SOUTHWEST MO.

WALMART RETAIL	154,750 S.F.
48,900 S.F.	
TOTAL GROSS AREA	201,650 S.F.
TOTAL PARKING	1,007 SPACES
PROPOSED RATIO	4.89/1,000 S.F.

WALMART	154,750 S.F.
STANDARD SPACES	74 SPACES
ACCESSIBLE SPACES	22 SPACES
CART CORRALS	28 SPACES
TOTAL PARKING	736 SPACES
RATIO	4.75/1,000 S.F.

RETAIL	48,900 S.F.
TOTAL PARKING	271 SPACES
RATIO	5.78/1,000 S.F.

WALMART	16.17 ± AC.
RETAIL	10.87 ± AC.
R/W DEDICATION	0.40 ± AC.
OUTLOTS 1 TO 14	27.97 ± AC.
SITE AREA	68.51 ± AC.

WALMART MAIN SALES	126,978 S.F.	• 5.0/1,000 S.F.	= 629.9 SP
TIRE & LUBE EXPRESS (TLE)	1,278 S.F.	• 10.0/1,000 S.F.	= 12.8 SP
FOOD SERVICE	802 S.F.	• 10.0/1,000 S.F.	= 8.0 SP
PHARMACY	771 S.F.	• 5.0/1,000 S.F.	= 3.9 SP
FOOD TENANT	710 S.F.	• 10.0/1,000 S.F.	= 7.8 SP
RETAIL TENANT	670 S.F.	• 5.0/1,000 S.F.	= 3.3 SP
OPTICAL SALES	775 S.F.	• 5.0/1,000 S.F.	= 3.9 SP
STORE OFFICE & PREPARATION AREAS	10,791 S.F.	• 5.0/1,000 S.F.	= 54.0 SP
NON-PUBLIC ACCESSIBLE AREAS	21,436 S.F.	• 0.25/1,000 S.F.	= 5.4 SP
WALMART GROSS AREA	163,212 S.F.		729.8 SP

1. WALMART BUILDING AREAS BASED ON AREAS PROVIDED BY ARCHITECTURAL FLOOR PLAN DATE: 04/25/2009
2. MINIMUM ACCESSIBLE AREAS INDICATED THROUGHOUT THE PLAN: EQUALS ACCESSIBLE AREAS. SEE 911 CODE FOR DETAILS ON HOW TO USE THE PUBLIC SPACE OFFICE AND PREPARATION AREAS. OUTLET AREAS, DRIVEWAYS, SIDEWALKS, TRAILWAYS, RAMPWAYS, ETC. ARE NOT OPEN TO THE PUBLIC.
3. THE ROAD & PAVEMENT DEDICATION INDICATED IN THE PLAN IS FOR THE DRIVEWAY, SIDEWALKS, TRAILWAYS, RAMPWAYS, ETC. AND DOES NOT OPEN TO THE PUBLIC.
4. TOTAL AREA SHOWN IS FOR TOTAL GROSS AREA AND STORMWATER AREAS NOT REPRESENTED IN THE OVERALL SITE ANALYSIS TABLE. OVERALL GROSS AREA PER SITE: 729.8 SPACES.

- ### SITE PLAN NOTES
1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/STATE REGULATIONS AND CODES AND S.D.A. STANDARDS.
 2. CONTRACTOR SHALL REVIEW THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ALL BUILDING FOOTPRINTS, DRIVEWAYS, SIDEWALKS, TRAILWAYS, RAMPWAYS, ETC. AND EXACT BUILDING STREET DRIVEWAY LOCATIONS.
 3. ALL DRIVEWAY AREAS ARE TO BE GRADED AND FINISHED WITH TOPSOIL, SEED MATTING AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
 4. ALL SIDEWALK AREAS ARE TO BE GRADED AND FINISHED WITH TOPSOIL, SEED MATTING AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
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 10. THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE WASHINGTON STATE SPECIFICATIONS.
 11. SHADING CENTER SIGN SHALL BE COMPLETED BY DEVELOPER'S END CONTRACTOR.
 12. REFER TO ARCHITECTURAL PLANS FOR THE LIGHTING ELECTRICAL PLAN.
 13. THE CURRENT ZONING OF ALL PROPERTY SHOWN FOR DEVELOPMENT IS "GENERAL COMMERCIAL", "OFFICE COMMERCIAL" AND "RETAIL". ALIENATED PROPERTY SHOWN AS SHOWN.
 14. ACCESS ACROSS WALMART AND RETAIL AREAS ARE PROVIDED PER PRIVATE AGREEMENT BETWEEN THE PROPERTY OWNERS.

OVERALL MASTER PLAN

GRAPHIC SCALE

(IN FEET)
 1" = 100' FT.
 1" = 200' FT.

Wolvoort & Associates
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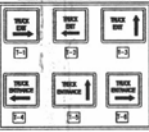
NOT FOR CONSTRUCTION / PERMIT REVIEW ONLY
 PROPOSED BLACK HILLS CENTER
 Walmart # 3872-03
 RAPID CITY, PENNINGTON COUNTY, S.D.
 BY: THF, STONERIDGE DEVELOPMENT, LLC
 ST. LOUIS, MO

REVISIONS	BY

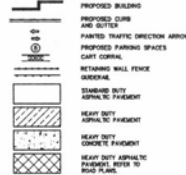
DRAWN BY: DMN/CRP
 CHECKED BY: KJW
 DATE: 12/09/2010
 SCALE: 1" = 100'
 JOB NO: 08-140
 SHEET NUMBER: C-1
 OF SHEETS: 08-140 V12.00

TRUCK ROUTE LEGEND

10PL096



LEGEND FOR PROPOSED IMPROVEMENTS



NC FUTURE OFFICE
ZONED OFFICE COMMERCIAL
NC ZONED OFFICE COMMERCIAL



OVERALL SITE ANALYSIS

WALMART	154,750 S.F.
RETAL	48,900 S.F.
TOTAL GROSS AREA	203,650 S.F.
TOTAL PARKING	1,007 SPACES
PROPOSED RATIO	4.99/1,000 S.F.

WALMART SITE ANALYSIS

WALMART	154,750 S.F.
STANDARD SPACES	714 SPACES
ACCESSIBLE SPACES	22 SPACES
CART CORRAL	29 SPACES
TOTAL PARKING	736 SPACES
RATIO	4.76/1,000 S.F.

RETAIL SITE ANALYSIS

RETAL	48,900 S.F.
TOTAL PARKING	271 SPACES
RATIO	5.78/1,000 S.F.

SITE AREA ANALYSIS

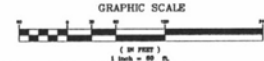
WALMART	10.17 ± AC.
RETAL	10.97 ± AC.
R/W DEDICATION	27.91 ± AC.
OUTLOTS 7 TO 14	27.91 ± AC.
SITE AREA	58.51 ± AC.

SITE LEGEND

- ① 6" WIDE FIRE LANE STRIPING PAVED WITH 2" WIDE "NO PARKING" FIRE LANE. PAVED WITH 4" HIGH WHITE STRIPES AT 20' INTERVALS.
- ② HATCH STRIPING WITH 2" WIDE 4" HIGH WHITE STRIPES PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. AND 10'-0" WIDE STRIPS AT EACH SIDE UNLESS NOTED OTHERWISE. SEE DETAIL SHEET FOR DETAILS.
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SITE PLAN



NOTE: SEE DETAIL SHEETS FOR MORE INFORMATION ON THIS



Know what's below
Call before you dig
(800)762-4614 Outside MO

Wolverton & Associates
Consulting Engineers & Land Surveyors
4146 Bartlett Parkway, Suite 100, Omaha, Nebraska 68128
www.wolverton-associates.com



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PROPOSED BLACK HILLS CENTER
Walmart # 3872-03
RAPID CITY, PENNINGTON COUNTY, S.D.
BY: **THF STONERIDGE DEVELOPMENT, LLC**
ST. LOUIS, MO

REVISIONS BY

DRAWN BY OMR/CRP
CHECKED BY K/JW
DATE 12/09/2010
SCALE 1" = 60'
JOB NO. 08-140
SHEET NUMBER
C-1A
OF 08/275
38-147 10/2010



THE SITE IS LOCATED IN THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER OF SECTION 36, T4N, R10E, S4M, DEWITT COUNTY, MISSOURI.

SITE GRADING NOTES

- 1. CONTRACTOR IS RESPONSIBLE FOR REVISIONS OF EXISTING STRUCTURES INCLUDING REVISIONS OF ALL EXISTING UTILITIES BEFORE THE STRUCTURES UTILITIES ARE TO BE REMOVED TO THE STREET.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF ALL EXISTING UTILITIES SHALL BE CORRECTED AS NECESSARY TO ACCOMMODATE THE PROPOSED STRUCTURES AND MORE LOCATED BASED ON OTHER SURVEY OBSERVATIONS AT THE SITE. EXISTING UTILITIES AND MORE LOCATED BASED ON OTHER SURVEY OBSERVATIONS AT THE SITE. EXISTING UTILITIES AND MORE LOCATED BASED ON OTHER SURVEY OBSERVATIONS AT THE SITE.
3. ALL CUT OF PILE SLICES SHALL BE 3' OR FLATTER UNLESS OTHERWISE NOTED.
4. ALL CUT OF PILE SLICES SHALL BE 3' OR FLATTER UNLESS OTHERWISE NOTED.
5. ALL CUT OF PILE SLICES SHALL BE 3' OR FLATTER UNLESS OTHERWISE NOTED.

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STRUCTURE TYPE

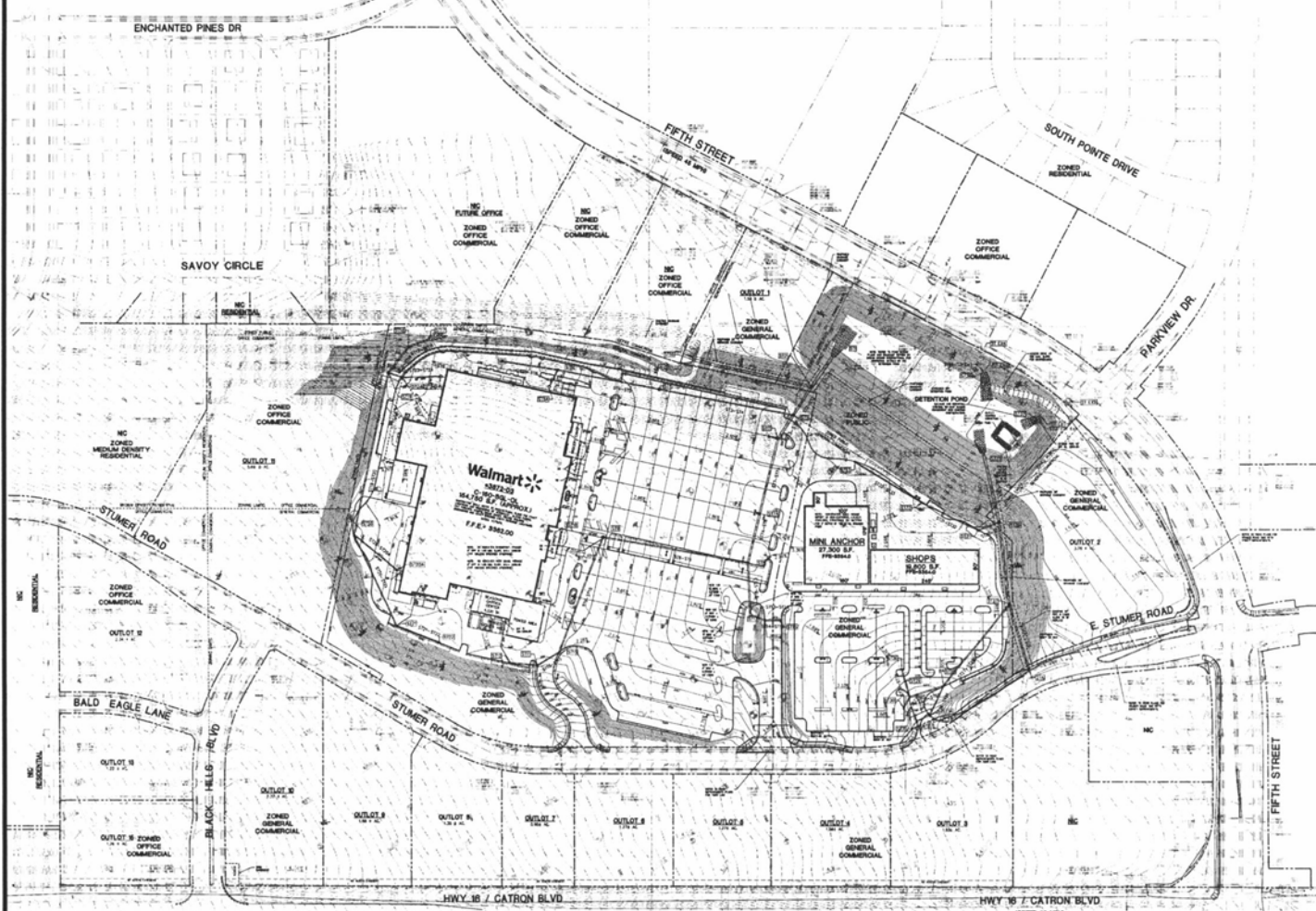
- CONCRETE WALL WITH INTERIOR FINISHES
CONCRETE WALL WITH INTERIOR FINISHES
CONCRETE WALL WITH INTERIOR FINISHES
CONCRETE WALL WITH INTERIOR FINISHES

PIPE TYPE

- 12" DIA. 12' SPAN POLYETHYLENE GLASS REINFORCED FIBER REINFORCED PLASTIC (FRP) PIPE
12" DIA. 12' SPAN POLYETHYLENE GLASS REINFORCED FIBER REINFORCED PLASTIC (FRP) PIPE

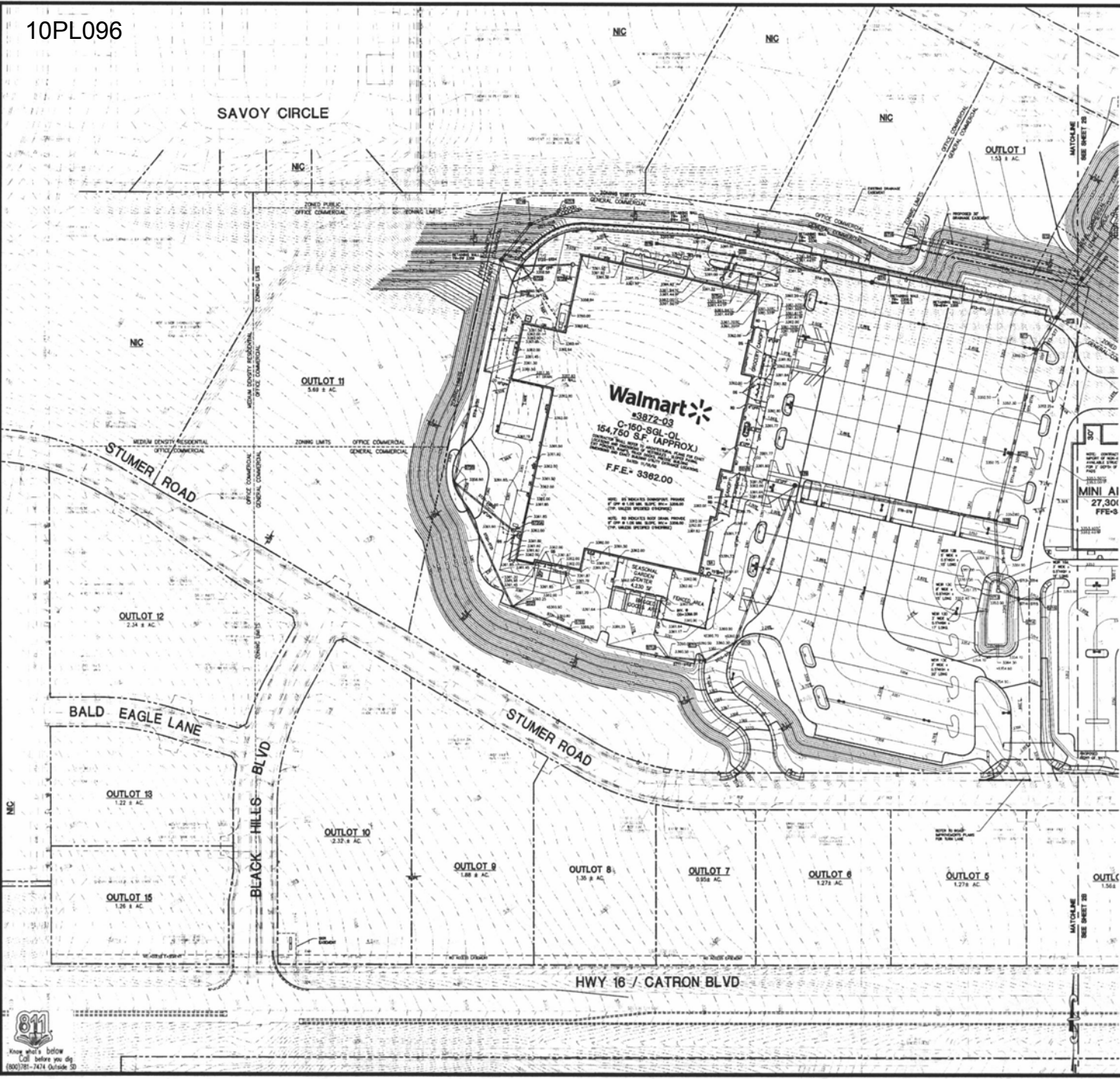
GRADING/DRAINAGE PLAN LEGEND

- STORM SEWER MAIN
JUNCTION BOX/STORM MANHOLE
SEWERAGE MANHOLE
SEWERAGE STRUCTURE INDICATION
HOUSE WIND CATCH BASIN
SMALL WIND CATCH BASIN
SLOPE ARROW
CONCRETE FLUME
BIP-BAP ARROW
PRECAST/CONCRETE STRUCTURE
DOME BASED OR NON-DRAINABLE HOOD OR DRAIN
SMALL DRAINAGE BASIN
DOUBLE GRADE MEET
AREA MEET
OUTLET CONTROL STRUCTURE
FLAMED END SECTION
TOP OF CURB
TOP OF PAVEMENT



Wolverton & Associates Consulting Engineers & Land Surveyors
PROPOSED BLACK HILLS CENTER Walmart # 3872-03
REVISIONS BY
NOT FOR CONSTRUCTION / PERMIT REVIEW ONLY
DRAWN BY DMV/CRP
CHECKED BY KJW
DATE 12/09/2010
SCALE 1" = 100'
JOB NO. 08-140
SHEET NUMBER C-2
OF SHEETS 08-140-1202





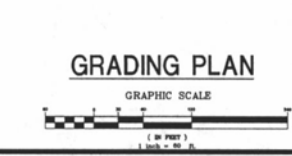
SITE GRADING NOTES

- CONTRACTOR IS RESPONSIBLE FOR DETERMINATION OF EXISTING STRUCTURES INCLUDING FOUNDATION OF ALL EXISTING UTILITIES (UNDER OR BELOW GRADE) AS SHOWN ON THESE PLANS AND OTHERWISE BY FIELD SURVEY. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES (UNDER OR BELOW GRADE) AS SHOWN ON THESE PLANS AND OTHERWISE BY FIELD SURVEY. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES (UNDER OR BELOW GRADE) AS SHOWN ON THESE PLANS AND OTHERWISE BY FIELD SURVEY.
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- ALL EXISTING UTILITIES (UNDER OR BELOW GRADE) SHALL BE PROTECTED BY A MINIMUM OF 2 FEET OF COVER. IF ANY EXISTING UTILITIES (UNDER OR BELOW GRADE) SHALL BE DISRUPTED BY CONSTRUCTION, CONTRACTOR SHALL REPAIR OR REPLACE SAME AT HIS OWN EXPENSE.
- CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES (UNDER OR BELOW GRADE) AND SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ALL EXISTING UTILITIES (UNDER OR BELOW GRADE).
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- CONTRACTOR SHALL MAINTAIN A RECORD OF ALL UTILITIES (UNDER OR ABOVE GRADE) INSTALLED ON THIS SITE AND SHALL SUBMIT SAME TO THE CITY OF ST. LOUIS, MISSOURI UPON COMPLETION OF PROJECT.
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- STRUCTURE TYPE**
- CONCRETE SLAB
 - CONCRETE WALL
 - CONCRETE COLUMN
 - CONCRETE FOUNDATION
 - STEEL FRAMING
 - WOOD FRAMING
 - ASBESTOS CEMENT ROOF
- PIPE TYPE**
- 12" DIA. CAST IRON
 - 18" DIA. CAST IRON
 - 24" DIA. CAST IRON
 - 30" DIA. CAST IRON
 - 36" DIA. CAST IRON
 - 42" DIA. CAST IRON
 - 48" DIA. CAST IRON
 - 54" DIA. CAST IRON
 - 60" DIA. CAST IRON



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PROPOSED BLACK HILLS CENTER
Walmart # 3872-03
RAPID CITY, PENNINGTON COUNTY, S.D.
BY: THE STONERIDGE DEVELOPMENT, L.L.C.
ST. LOUIS, MO

REVISIONS BY

NO.	DATE	REVISION	BY

DRAWN BY DMN/CRP
CHECKED BY K/JW
DATE 12/08/2010
SCALE 1" = 80'
JOB NO. 08-140
SHEET NUMBER
C-2A
OF SHEETS

Wolverton & Associates
Consulting Engineers & Land Surveyors
816 Ridgely Park Dr., Suite 100, Oakville, Georgia 30067
Phone: 404.326.1500
Fax: 404.326.1501
www.wolvertonandassociates.com



10PL096



LOCATION MAP
NOT TO SCALE

THE SITE IS LOCATED IN THE SW/4 OF THE NE/4 OF THE NE/4 OF THE SW/4 OF THE NE/4 AND IN THE SE/4 OF THE NE/4, SECTION 24, T14N, R12E, SW/4, RABBIT CITY, PENNINGTON COUNTY, SOUTH DAKOTA

SITE GRADING NOTES

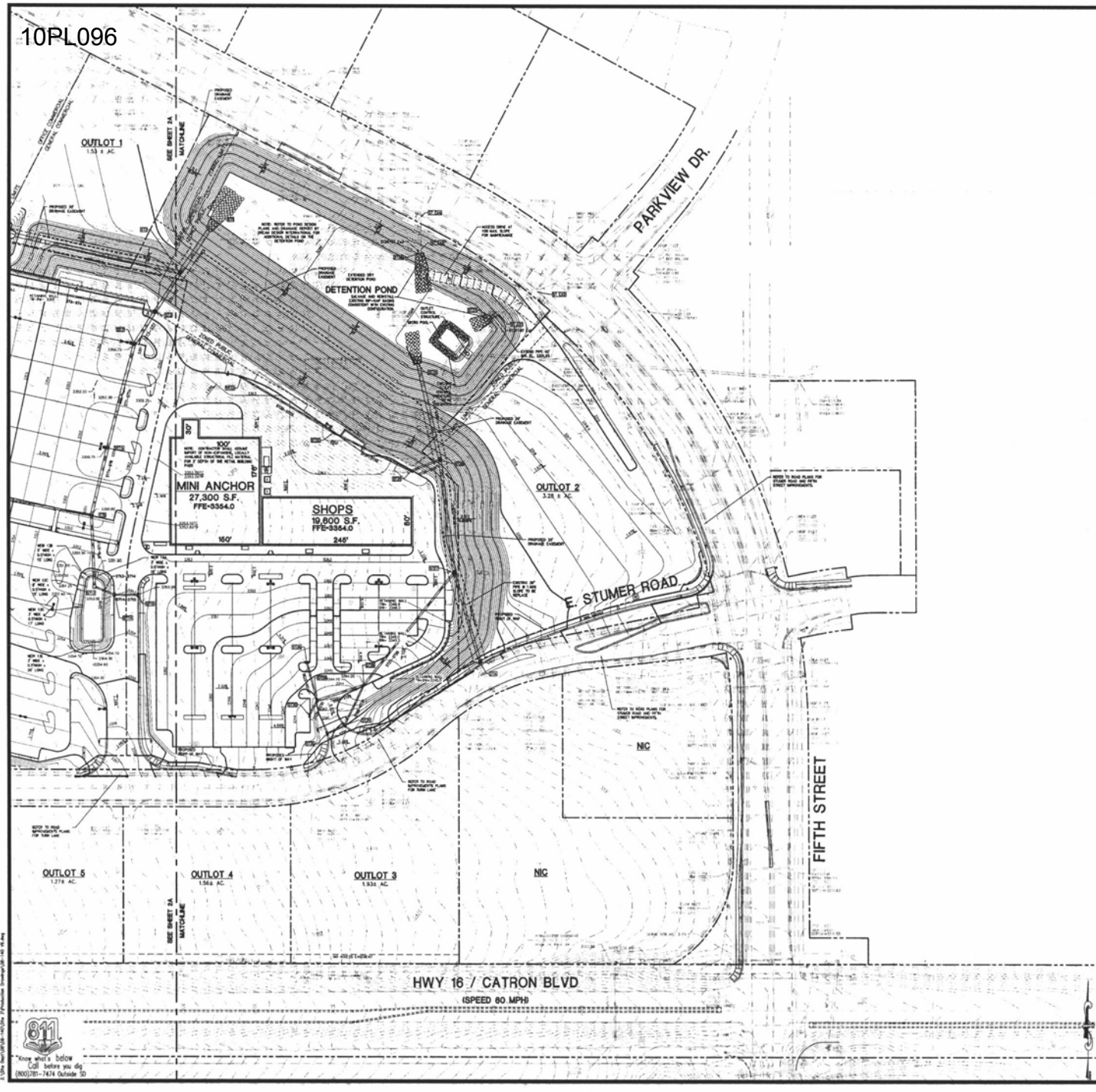
- 1. CONTRACTOR IS RESPONSIBLE FOR SOLUTION OF EXISTING STRUCTURES INCLUDING SIGNALS OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE PROPOSED GRADE.
2. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING THE EXISTING AND/OR REMOVED ALL EXISTING UTILITIES SERVING OF BELOW GRADE AS SHOWN ON THESE PLANS ARE APPROXIMATE AND THE LOCATIONS SHOWN ARE FOR INFORMATION ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXACTLY LOCATING UTILITIES AND VERIFYING THE EXISTING UTILITIES LOCATIONS SHOWN ARE EXACTLY AS SHOWN BY THE RESPONSIBILITY OF THE CONTRACTOR TO EXTRACT THE EXACT LOCATION OF EXISTING UTILITIES (GRADE OR BELOW GRADE) BY DRILLING AND/OR OTHER MEANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE EXACT LOCATION OF EXISTING UTILITIES (GRADE OR BELOW GRADE) BY DRILLING AND/OR OTHER MEANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE EXACT LOCATION OF EXISTING UTILITIES (GRADE OR BELOW GRADE) BY DRILLING AND/OR OTHER MEANS.
3. ALL CUT OR FILL SLOPES SHALL BE 3:1 UNLESS UNLESS OTHERWISE NOTED. PRECAST STRUCTURES ARE NOT ALLOWED IN ANY FORM OF GRADINGS.
4. STORM PIPES SHALL BE ALL FLOWING UNLESS OTHERWISE NOTED. TYPE A, TYPE B, OR TYPE C PIPE SHALL BE USED UNLESS OTHERWISE SPECIFIED. ALL PIPES SHALL BE PERFORMED ACCORDING TO THE CITY OF RABBIT CITY SPECIFICATIONS. ALL PIPES SHALL BE 12" UNLESS OTHERWISE SPECIFIED. ALL PIPES SHALL BE 12" UNLESS OTHERWISE SPECIFIED. ALL PIPES SHALL BE 12" UNLESS OTHERWISE SPECIFIED.
5. EXISTING GRADE CONTROL SHALL BE 1' FOOT INTERVALS.
6. EXISTING GRADE CONTROL SHALL BE 1' FOOT INTERVALS.
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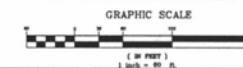
- STRUCTURE TYPE
CONCRETE PILING - SEE DETAIL SHEETS
CORR METAL - SEE DETAIL SHEETS
CORR METAL RAIL - SEE DETAIL SHEETS
CORR METAL RAIL - SEE DETAIL SHEETS
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CORR METAL RAIL - SEE DETAIL SHEETS

- PIPE TYPE
UNLTD. 4" TYPE B PIPE MATERIAL IS SPECIFIED IN THE GRADING SCHEDULE. THE CONTRACTOR MAY USE ANOTHER TYPE OF PIPE MATERIAL UNLESS APPROVED BY THE CITY OF RABBIT CITY. ALL APPROVED STORM PIPE MATERIALS IN THE SITE GRADING NOTES.

GRADING/DRAINAGE PLAN LEGEND



GRADING PLAN



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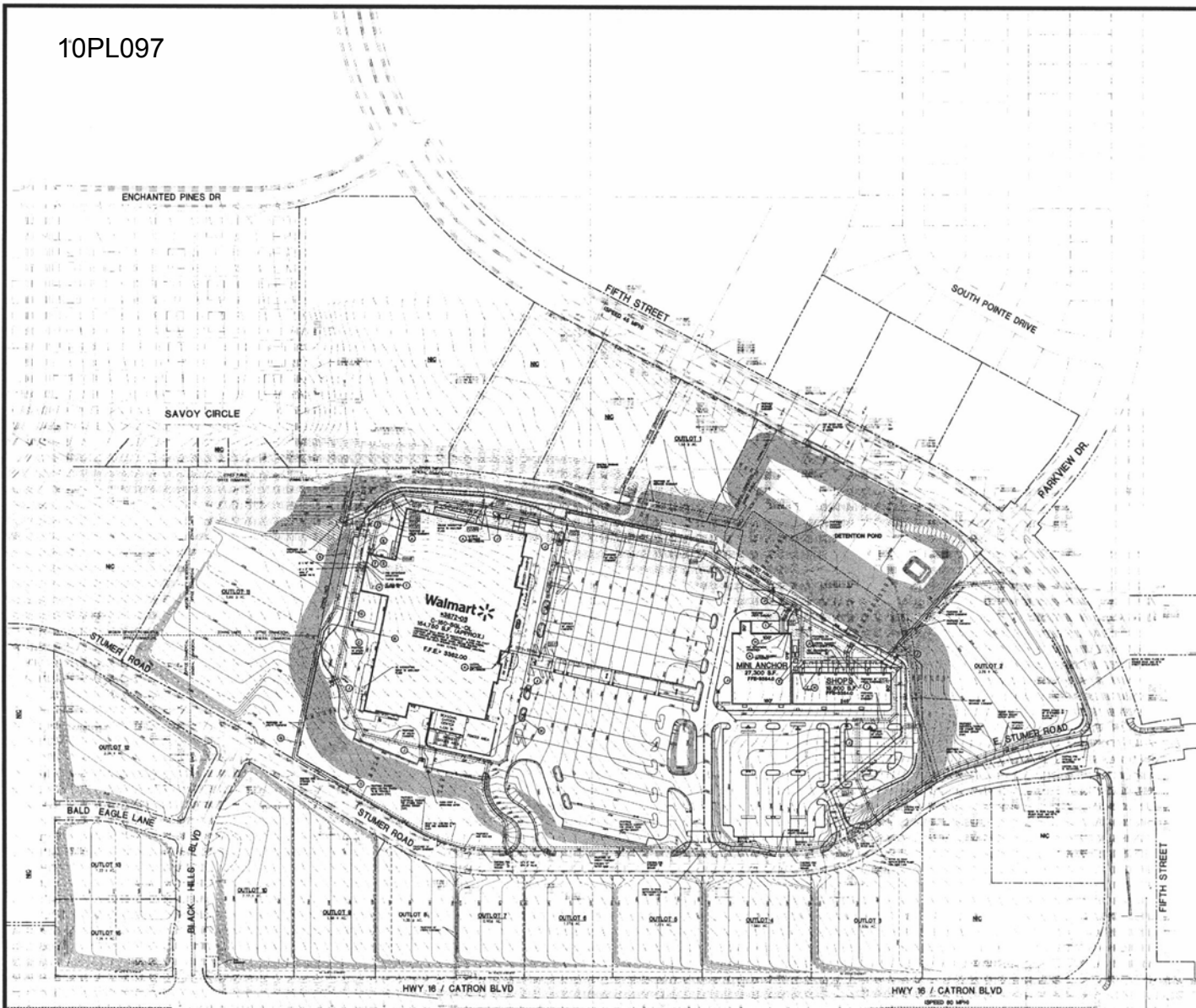
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Wal-Mart # 3872-03
RAPID CITY, PENNINGTON COUNTY, S.D.
BY: THF, STONERIDGE DEVELOPMENT, LLC
ST. LOUIS, MO

Table with columns for REVISIONS and BY.

DRAWN BY: DMU/CRP
CHECKED BY: K/JW
DATE: 12/09/2010
SCALE: 1"= 80'
JOB NO.: 08-140
SHEET NUMBER: C-2B
OF SHEETS

Wolverton & Associates
Consulting Engineers & Land Surveyors
1001 W. 10th St. Suite 200
Rapid City, SD 57701
Phone: 605.342.2020
Fax: 605.342.2021
www.wolverton-associates.com





THE SITE IS LOCATED IN THE SE1/4 OF THE NE1/4 OF THE SW1/4 OF THE SE1/4 OF THE NW1/4 AND IN THE SE1/4 OF THE NW1/4 AND IN THE SE1/4 OF THE NW1/4 OF SECTION 34, T41N, R10E, S14W, WARD CITY, PENNINGTON COUNTY, SOUTH CAROLINA.

SITE UTILITY NOTES

1. ALL UTILITY LINES TO BE IN PLACE AND COMPRISED BEFORE INSTALLATION OF PROPOSED UTILITIES.
2. CONTRACTOR SHALL VERIFY THE EXISTING UTILITIES INFORMATION TO VERIFY BEFORE COMMENCING ANY EXISTING LINE.
3. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES.
4. IF ANY UTILITIES ARE FOUND TO BE IN THE WAY OF THE PROPOSED UTILITIES, THE CONTRACTOR SHALL REMOVE THEM TO THE DEPTH OF THE PROPOSED UTILITIES.
5. NEW LINES SHALL BE AS FOLLOWS:
 - A. NEW 20" DIA. TRUNK LINES SHALL BE INSTALLED WITHIN GRADE AND COVERED WITHIN 18" DIA. CONCRETE RINGS AT A DEPTH OF 36" BELOW GRADE.
 - B. 18" DIA. TRUNK LINES SHALL BE INSTALLED WITHIN GRADE AND COVERED WITHIN 18" DIA. CONCRETE RINGS AT A DEPTH OF 36" BELOW GRADE.
 - C. 12" DIA. TRUNK LINES SHALL BE INSTALLED WITHIN GRADE AND COVERED WITHIN 18" DIA. CONCRETE RINGS AT A DEPTH OF 36" BELOW GRADE.
 - D. 6" DIA. TRUNK LINES SHALL BE INSTALLED WITHIN GRADE AND COVERED WITHIN 18" DIA. CONCRETE RINGS AT A DEPTH OF 36" BELOW GRADE.
6. NEW LINES SHALL BE INSTALLED WITHIN GRADE AND COVERED WITHIN 18" DIA. CONCRETE RINGS AT A DEPTH OF 36" BELOW GRADE.
7. ALL UTILITY JOINTS ARE TO BE MECHANICAL JOINTS WITH TIGHT BLOCKING AS CALLED OUT IN MANUFACTURER'S INSTALLATION INSTRUCTIONS.
8. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 4'-0" CLEARANCE FROM ALL UTILITIES.
9. IN THE EVENT OF A UTILITY CROSSING BETWEEN UTILITIES, THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF 4'-0" CLEARANCE FROM ALL UTILITIES.
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23. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 4'-0" CLEARANCE FROM ALL UTILITIES.
24. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 4'-0" CLEARANCE FROM ALL UTILITIES.

UTILITY PLAN LEGEND

---	UTILITY CONDUIT
---	TELEPHONE CONDUIT
---	SEWER CONDUIT
---	WATER MAIN PIPE
---	DOMESTIC WATER PIPING
---	CAN PIPE
---	TRUNK SWITCH CONDUIT
---	UTILITY RELATED POWER
---	TAPPING SLEEVE & VALVE
---	WATER VALVE
---	TRUNK CONDUIT
---	TRUNK BLOCK
---	UTILITY TO BE MAINTAINED
---	TRUNK & PUMP
---	CONCRETE

Wolverton & Associates
 Consulting Engineers • Land Surveyors
 1000 N. 10th Street, Suite 100
 St. Louis, MO 63101
 Phone: 314.433.1100
 Fax: 314.433.1101
 www.wolverton-associates.com



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 PROPOSED BLACK HILLS CENTER
 Walmart # 3872-03
 RAPID CITY, PENNINGTON COUNTY, S.D.
 BY: THF, STONERIDGE DEVELOPMENT, LLC
 ST. LOUIS, MO

REVISIONS	BY

DRAWN BY: DMN/CRP
 CHECKED BY: KJW
 DATE: 12/09/2010
 SCALE: 1" = 100'
 JOB NO: 08-140
 SHEET NUMBER: C-3
 OF SHEETS: 3

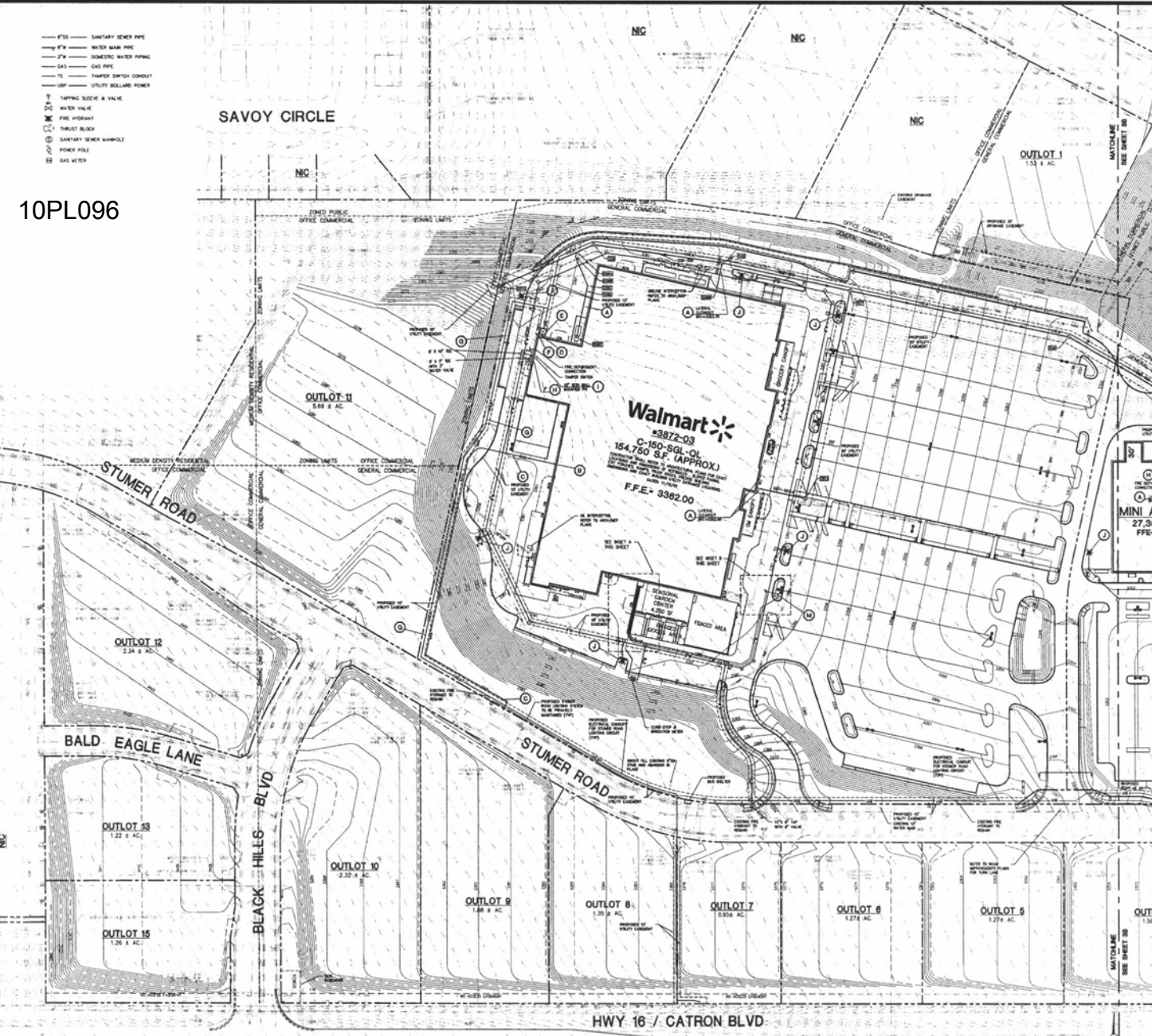
OVERALL UTILITY PLAN
 GRAPHIC SCALE
 1" = 100'
 0 10 20 30 40 50 60 70 80 90 100
 FEET



--- 6" S.S. SANITARY SEWER PIPE
 --- 6" W.W. WATER MAIN PIPE
 --- 4" W.W. DOMESTIC WATER PIPING
 --- GAS GAS PIPE
 --- TANKER SWITCH CONDUIT
 --- UTILITY BOLLARD POWER
 T TAPPING SLEEVE & VALVE
 W WATER VALVE
 H FIRE HYDRANT
 C CONCRETE BLOCK
 S SANITARY SEWER MANHOLE
 P POWER POLE
 G GAS METER

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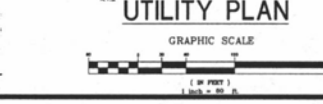
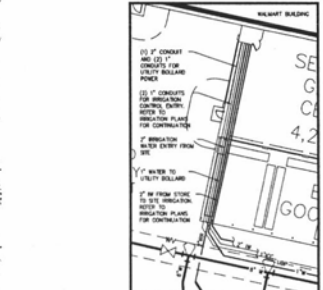
SAVOY CIRCLE



LOCATION MAP
NOT TO SCALE
THE SITE IS LOCATED IN THE S1/2 OF THE NE1/4, OR NE1/4 IN THE SW1/4 OF THE NE1/4, AND IN THE S1/4 OF THE NE1/4, SECTION 24, T4N, R12E, S4M, PLAT 011, TOWNSHIP 04N, COUNTY 02N.

UTILITY LEGEND

- 1 SANITARY SEWER LAYOUT AT BUILDING OR SITE COORDINATE WITH PROFESSIONAL PLANS.
- 2 USE EXISTING GAS METER AT BUILDING. CONTRACTOR RESPONSIBLE FOR INSTALLING AND PROTECTING GAS METER. CONTRACTOR SHALL COORDINATE WITH GAS COMPANY FOR FILING OF RECORDING PLANS.
- 3 CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH GAS COMPANY REGARDING THE SIZE AND INSTALLATION OF GAS SERVICE LINE.
- 4 PROFESSIONAL ELECTRICAL SERVICE FROM POLE TO BUILDING. CONTRACTOR RESPONSIBLE FOR ALL WIRING, BEARING, CONDUIT, PANELS, AND WIRE. RECORDING CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH POWER COMPANY. THE CONTRACTOR IN COORDINATION WITH THE UTILITY COMPANIES SHALL BE RESPONSIBLE FOR PROVIDING EXACT LOCATION AND SIZE WITH POWER COMPANY PRIOR TO INSTALLATION. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION OF CONDUIT, PANEL, AND WIRE. CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANIES REGARDING THE LOCATION OF UTILITY LINES HE IS TO PROVIDE OUTSIDE THE UTILITY COMPANIES' ALLOWANCE.
- 5 PROPOSED LOCATION OF UNDERGROUND PANEL CONTRACTOR TO VERIFY EXACT LOCATION AND SIZE WITH POWER COMPANY PRIOR TO INSTALLATION. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION OF CONDUIT, PANEL, AND WIRE. CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANIES REGARDING THE LOCATION OF UTILITY LINES HE IS TO PROVIDE OUTSIDE THE UTILITY COMPANIES' ALLOWANCE.
- 6 PROFESSIONAL TELEPHONE FROM POLE TO BUILDING TO BE EXTENDED BY TELEPHONE COMPANY. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY RECORDING, SIGNAL, CABLE, AND TELEPHONE LINES TO BUILDING. CONTRACTOR SHALL COORDINATE WITH TELEPHONE COMPANY FOR THE WORK. RECORD CONDUIT AS SHOWN.
- 7 CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE UTILITY COMPANIES FOR THE INSTALLATION OF OVERHEAD CONDUITS, SIGNAL, AND TELEPHONE LINES TO BUILDING. CONTRACTOR SHALL COORDINATE WITH TELEPHONE COMPANY FOR THE WORK. RECORD CONDUIT AS SHOWN.
- 8 DOMESTIC WATERLINE ENTRY WITH METER FOR LOCAL WATER COMPANY REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING AND APPROVED OF THE DOMESTIC LINE IN THE BUILDING. SUCH AS BACKFLOW PREVENTER CHECK VALVE, VALVES, ETC. METER MAY BE REQUIRED TO COORDINATE WITH WATER COMPANY.
- 9 APPROVED EXISTING METER SHALL BE USED TO INSTALL AND APPROVED OF THE DOMESTIC LINE IN THE BUILDING. SUCH AS BACKFLOW PREVENTER CHECK VALVE, VALVES, ETC. METER MAY BE REQUIRED TO COORDINATE WITH WATER COMPANY.
- 10 PROPOSED FIRE HYDRANT AND ATTACHED TYPICAL AS SHOWN. CONTRACTOR TO VERIFY THE BOLLARD POSITION WHEN THE HYDRANT IS LOCATED IN PAVED AREA OR WARE SYSTEM.
- 11 VERIFY BOLLARD. SEE DETAIL SHEET.



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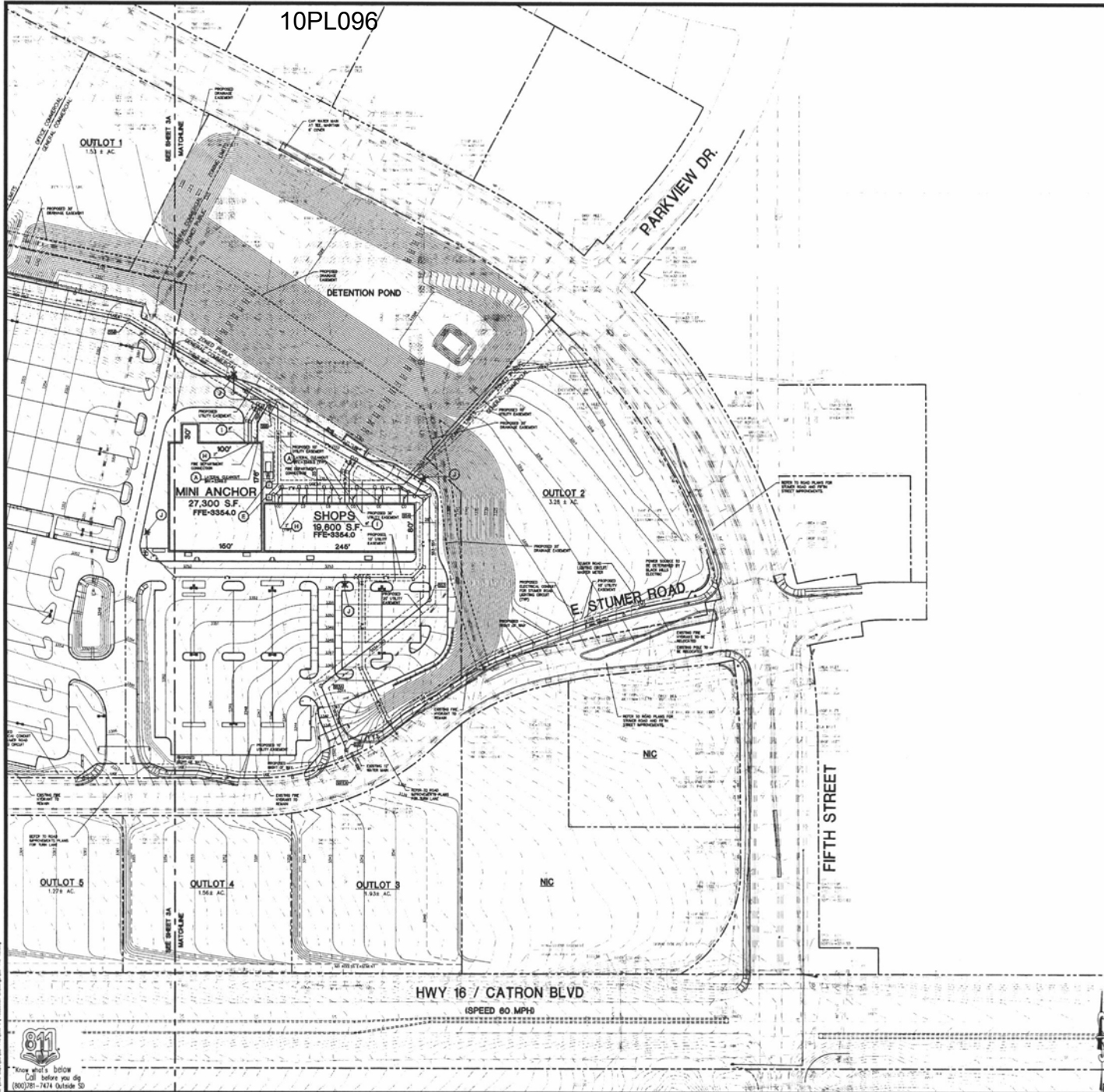
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 BY: THE STONERIDGE DEVELOPMENT, L.L.C.
 ST. LOUIS, MO

REVISIONS BY	

DRAWN BY: DMV/CRP
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 OF SHEETS: 08

811
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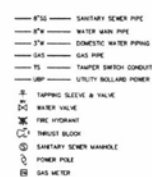


LOCATION MAP

THE SITE IS LOCATED IN THE SW/4 OF THE NW/4 OR IN THE SW/4 OF THE NW/4 AND IN THE SE/4 OF THE NW/4 SECTION 24, T4N, R16E, SWAN COUNTY, PENNINGTON COUNTY, SOUTH DAKOTA.

UTILITY LEGEND

- ① SANITARY SEWER LATERAL AT MINIMUM 1.0% SLOPE, CONFORMS WITH ARCHITECTURAL PLANS.
- ② GAS ENTRY WITH GAS METER AT BUILDING CONTRACTOR RESPONSIBLE FOR INSTALLING PER SLOTTED PROTECTION METERS CONTRACTOR SHALL COORDINATE WITH GAS COMPANY FOR TIME OF INSTALLATION.
- ③ CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH GAS COMPANY REGARDING THE JOB AND INSTALLATION OF GAS SERVICE.
- ④ IMPROVING ELECTRIC SERVICE FROM POLE TO BUILDING CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS, REPAIRS, CONDUIT SHALL BE INSTALLED WITH ELECTRIC COMPANY, CONTRACTOR SHALL COORDINATE TIME WORK WITH POWER COMPANY, THE CONTRACTOR IN COORDINATION WITH THE UTILITY COMPANIES SHALL DETERMINE THE AMOUNT OF UTILITY LINE TO BE PROVIDED OUTSIDE THE UTILITY COMPANIES ALLOWANCE.
- ⑤ PROVIDE LOCATION OF TRANSFORMER POLE CONTRACTOR TO VERIFY EXACT LOCATION AND SIZE WITH POWER COMPANY PRIOR TO INSTALLATION CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION OF CONDUIT FROM POLE AND PIPE WELDED AS REQUIRED BY THE UTILITIES COMPANY CONTRACTOR SHALL COORDINATE WORK WITH THE ELECTRIC COMPANY CONTRACTOR SHALL COORDINATE WITH TELEPHONE COMPANY FOR WORK.
- ⑥ UNDERPASSING TELEPHONE FROM POLE TO BUILDING TO BE EXTENDED BY TELEPHONE COMPANY CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REQUIRED MATERIALS CONTRACTOR SHALL MAKE SURE TAP, BENCH, ETC. WHICH MAY BE REQUIRED BY TELEPHONE COMPANY CONTRACTOR SHALL COORDINATE WITH TELEPHONE COMPANY FOR WORK PRIOR TO CONSTRUCTION OF SHOPPING.
- ⑦ CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE UTILITY COMPANIES FOR THE INSTALLATION OF UNDERPASSING TELEPHONE AND TELEPHONE LINES CONTRACTOR SHALL COORDINATE THE TIME OF INSTALLATION WITH THE TELEPHONE COMPANIES SEE NOTE 5 & 6 FOR ADDITIONAL NOTES PERTAINING TO ELECTRIC AND TELEPHONE LINES.
- ⑧ CONDUIT IN-TRENCH ENTRY WITH METER PER LOCAL WATER COMPANY REQUIREMENTS CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ANY UNIFORMITIES ON THE CONDUIT LINE TO BE USED WITH A REPAIRABLE PROTECTION COVER, GAS VALVES, ETC. WHICH MAY BE REQUIRED TO COORDINATE WITH WATER COMPANY.
- ⑨ SLOTTED PROTECTION COVER SHALL BE REQUIRED TO INSTALL AND SUBMITTANCE AS PER APPROVAL OF THE CITY OF RAPID CITY, S.D. CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANIES REGARDING THE INSTALLATION OF SLOTTED PROTECTION COVER IN ORDER WITH A CHECK VALVE, GAS VALVES, ETC. CONTACT THE UTILITY COMPANIES CONTRACTOR SHALL COORDINATE WITH ARCHITECTURAL PLANS.
- ⑩ PROVIDE THE HORIZONTAL AND VERTICAL ALIGNMENT CONTRACTOR TO VERIFY PIPE WELDED PROTECTION WHEN THE PROJECT IS LOCATED IN PAVED AREA OR WHERE WORK.
- ⑪ NOT USED
- ⑫ CONDUIT FOR PIPES WITH MINIMUM SCHEDULE 40.
- ⑬ 2" PIPES SHALL BE COORDINATE WITH THE UTILITY COMPANIES AS CLOSE TO THE BUILDING AS POSSIBLE THE CONDUIT FROM THE BUILDING TO THE FIRST PULL BOX SHALL BE 3" MINIMUM CONDUIT OVER THE ROOF. THE MINIMUM BURIED PIPE SHALL BE 3" MINIMUM UNLESS OTHERWISE SHOWN ON DRAWING PROPOSED 4" CONDUIT SHALL BE 4" MINIMUM UNLESS OTHERWISE SHOWN ON DRAWING. CONDUIT SHALL BE 3" MINIMUM UNLESS OTHERWISE SHOWN ON DRAWING. CONDUIT SHALL BE 2" MINIMUM UNLESS OTHERWISE SHOWN ON DRAWING. CONDUIT SHALL BE 1" MINIMUM UNLESS OTHERWISE SHOWN ON DRAWING. CONDUIT SHALL BE 1/2" MINIMUM UNLESS OTHERWISE SHOWN ON DRAWING. CONDUIT SHALL BE 1/4" MINIMUM UNLESS OTHERWISE SHOWN ON DRAWING. CONDUIT SHALL BE 1/8" MINIMUM UNLESS OTHERWISE SHOWN ON DRAWING.
- ⑭ ALL CHANGES IN DIRECTION OF THE CONDUIT SHALL UTILIZE STANDARDS MEETS WITH A MINIMUM BENDING RADIUS LISTED IN THE M.I.L. NO. MORE THAN (2) 90-DEGREE BENDS SHALL BE ALLOWED BETWEEN PULLING POINTS OF A TIE-IN. 90-DEGREE CORNERS ON CONDUIT SHALL BE MADE BY USING TAPPING SLICES AND SHALL BE INSTALLED USING THE CORRECTED ALIGNMENT.
- ⑮ ALL PIPES SHALL BE LOCATED IN PAVED AREAS SUBJECT TO MINOR TRAFFIC SHALL BE PROTECTED BY SLOTTED PROTECTION METERS WHICH SHALL BE 3" MINIMUM UNLESS OTHERWISE SHOWN ON DRAWING. SLOTTED PROTECTION METERS SHALL BE 3" MINIMUM UNLESS OTHERWISE SHOWN ON DRAWING. SLOTTED PROTECTION METERS SHALL BE 2" MINIMUM UNLESS OTHERWISE SHOWN ON DRAWING. SLOTTED PROTECTION METERS SHALL BE 1 1/2" MINIMUM UNLESS OTHERWISE SHOWN ON DRAWING. SLOTTED PROTECTION METERS SHALL BE 1" MINIMUM UNLESS OTHERWISE SHOWN ON DRAWING. SLOTTED PROTECTION METERS SHALL BE 1/2" MINIMUM UNLESS OTHERWISE SHOWN ON DRAWING. SLOTTED PROTECTION METERS SHALL BE 1/4" MINIMUM UNLESS OTHERWISE SHOWN ON DRAWING. SLOTTED PROTECTION METERS SHALL BE 1/8" MINIMUM UNLESS OTHERWISE SHOWN ON DRAWING.
- ⑯ UTILITY WELLS: SEE DETAIL SHEET.



UTILITY PLAN

GRAPHIC SCALE



Wolverton & Associates
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 Rapid City, SD 57701-4276
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 Fax: 605-342-6800
 www.wolverton-88856.com

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ST. LOUIS, MO

REVISIONS	BY

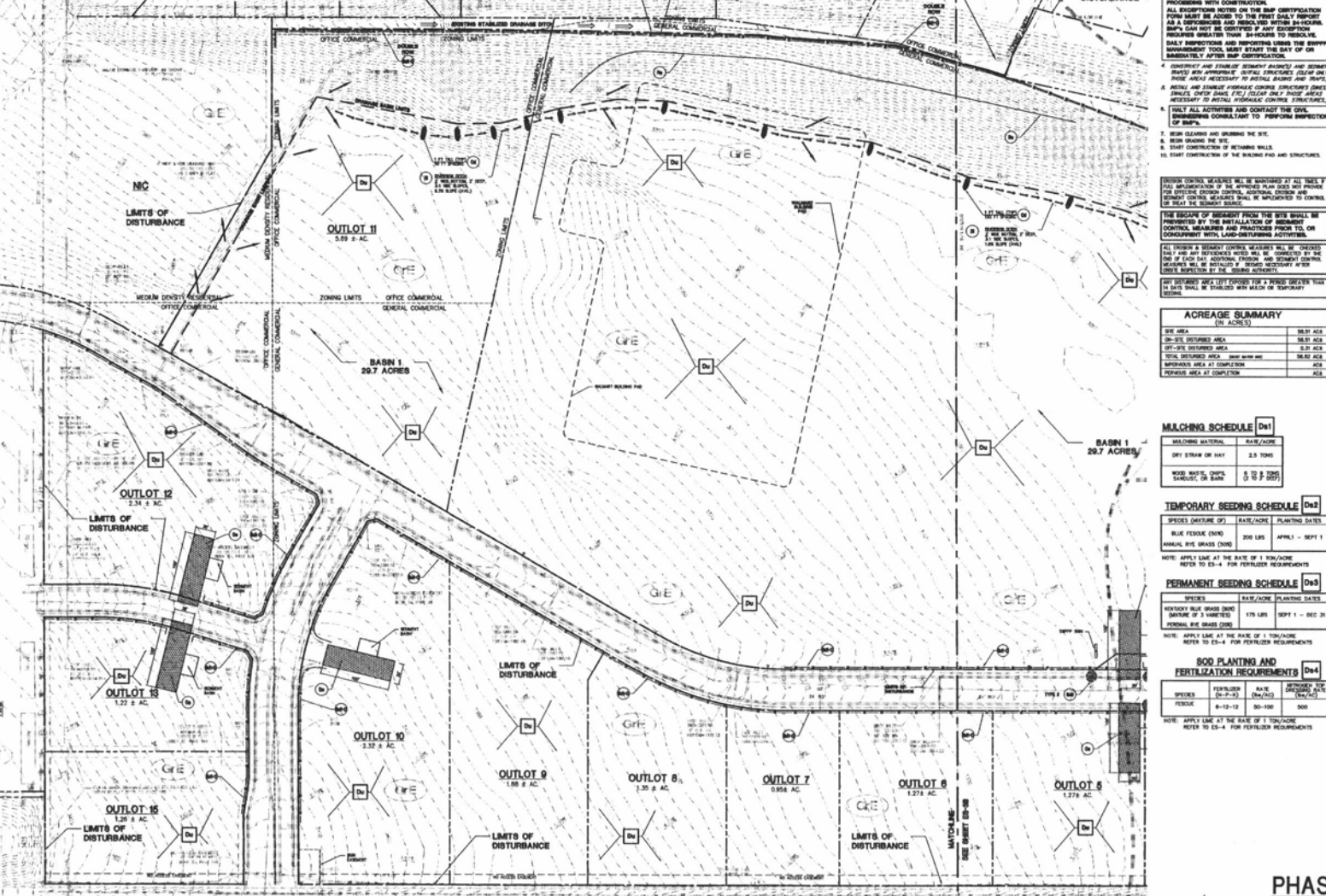
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 CHECKED BY: K/JW
 DATE: 12/08/2010
 SCALE: 1" = 80'
 JOB NO: 08-140
 SHEET NUMBER: **C-3B**
 OF SHEETS



SOIL EROSION/SEDIMENTATION CONTROL OPERATION TIME SCHEDULE	
NOTE: GENERAL CONTRACTOR TO COMPLETE TABLE WITH THEIR SPECIFIC PROJECT SCHEDULE.	
CONTRACTOR'S SCHEDULE	LOW FEB MAR APR MAY JUN JUL AUG SEP OCT NOV DEC
COMPLETION DATE	LOW FEB MAR APR MAY JUN JUL AUG SEP OCT NOV DEC
TEMPORARY CONTROL MEASURES	LOW FEB MAR APR MAY JUN JUL AUG SEP OCT NOV DEC
PERMANENT CONTROL MEASURES	LOW FEB MAR APR MAY JUN JUL AUG SEP OCT NOV DEC
STORM WATER MANAGEMENT	LOW FEB MAR APR MAY JUN JUL AUG SEP OCT NOV DEC
STORM WATER STORAGE	LOW FEB MAR APR MAY JUN JUL AUG SEP OCT NOV DEC
STORM FACILITIES	LOW FEB MAR APR MAY JUN JUL AUG SEP OCT NOV DEC
CONSTRUCTION	LOW FEB MAR APR MAY JUN JUL AUG SEP OCT NOV DEC
PERMANENT STRUCTURES	LOW FEB MAR APR MAY JUN JUL AUG SEP OCT NOV DEC
TERMINATION / WEEDING CONSTRUCTION	LOW FEB MAR APR MAY JUN JUL AUG SEP OCT NOV DEC
FINAL GRADING	LOW FEB MAR APR MAY JUN JUL AUG SEP OCT NOV DEC
LANDSCAPING/VEGETATION STABILIZATION	LOW FEB MAR APR MAY JUN JUL AUG SEP OCT NOV DEC

1) CONTRACTOR SHALL UPDATE THE TABLE BY SHADING OR DATING THE APPLICABLE ACTIVITIES AS PROJECT PROGRESSES.
 2) THE SCHEDULE MUST CONFORM WITH SEQUENCE OF CONSTRUCTION.

OFF-SITE RUN-ON
 APPROXIMATELY 48 ACRES OF OFF-SITE WETLAND DRAINAGE ON-SITE VIA SLOTTED FLOW AND CONCENTRATED FLOW TO EXISTING DETENTION POND.



LOCATION MAP

NOTE: THE SITE IS LOCATED IN THE EAST 1/2 OF THE NE 1/4 OF SECTION 34, T16 N, R16 E, S4, RANGE 07E, PENNINGTON COUNTY, SOUTH DAKOTA.

STRUCTURAL PRACTICES

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
CA	CHAIN SAW	[Symbol]	[Symbol]	USE TO REMOVE VEGETATION AND CLEAR AN AREA FOR CONSTRUCTION.
CC	CONCRETE	[Symbol]	[Symbol]	USE FOR PERMANENT STRUCTURES AND FOUNDATIONS.
CD	CONCRETE DETENTION POND	[Symbol]	[Symbol]	USE FOR DETENTION OF STORMWATER.
CE	CORROSION RESISTANT	[Symbol]	[Symbol]	USE FOR STRUCTURES IN CONTACT WITH SOILS.
CF	FOUNDATION	[Symbol]	[Symbol]	USE FOR FOUNDATIONS OF STRUCTURES.
CG	GRASSING	[Symbol]	[Symbol]	USE TO STABILIZE SOILS AND PREVENT EROSION.
CH	CHAIN LINK FENCE	[Symbol]	[Symbol]	USE TO SECURE CONSTRUCTION AREAS.
CI	CONCRETE CURB	[Symbol]	[Symbol]	USE TO STABILIZE CURBS AND DRIVEWAYS.
CJ	CONCRETE DETENTION BASIN	[Symbol]	[Symbol]	USE FOR DETENTION OF STORMWATER.
CK	CONCRETE DETENTION STRUCTURE	[Symbol]	[Symbol]	USE FOR DETENTION OF STORMWATER.
CL	CONCRETE DETENTION WALL	[Symbol]	[Symbol]	USE FOR DETENTION OF STORMWATER.
CM	CONCRETE DETENTION CURB	[Symbol]	[Symbol]	USE TO STABILIZE CURBS AND DRIVEWAYS.
CN	CONCRETE DETENTION WALL	[Symbol]	[Symbol]	USE FOR DETENTION OF STORMWATER.
CO	CONCRETE DETENTION CURB	[Symbol]	[Symbol]	USE TO STABILIZE CURBS AND DRIVEWAYS.
CP	CONCRETE DETENTION WALL	[Symbol]	[Symbol]	USE FOR DETENTION OF STORMWATER.
CQ	CONCRETE DETENTION CURB	[Symbol]	[Symbol]	USE TO STABILIZE CURBS AND DRIVEWAYS.
CR	CONCRETE DETENTION WALL	[Symbol]	[Symbol]	USE FOR DETENTION OF STORMWATER.
CS	CONCRETE DETENTION CURB	[Symbol]	[Symbol]	USE TO STABILIZE CURBS AND DRIVEWAYS.
CT	CONCRETE DETENTION WALL	[Symbol]	[Symbol]	USE FOR DETENTION OF STORMWATER.
CU	CONCRETE DETENTION CURB	[Symbol]	[Symbol]	USE TO STABILIZE CURBS AND DRIVEWAYS.
CV	CONCRETE DETENTION WALL	[Symbol]	[Symbol]	USE FOR DETENTION OF STORMWATER.
CW	CONCRETE DETENTION CURB	[Symbol]	[Symbol]	USE TO STABILIZE CURBS AND DRIVEWAYS.
CX	CONCRETE DETENTION WALL	[Symbol]	[Symbol]	USE FOR DETENTION OF STORMWATER.
CY	CONCRETE DETENTION CURB	[Symbol]	[Symbol]	USE TO STABILIZE CURBS AND DRIVEWAYS.
CZ	CONCRETE DETENTION WALL	[Symbol]	[Symbol]	USE FOR DETENTION OF STORMWATER.

VEGETATIVE PRACTICES

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Ds1	SOFTWOOD	[Symbol]	[Symbol]	USE TO STABILIZE SOILS AND PREVENT EROSION.
Ds2	SOFTWOOD	[Symbol]	[Symbol]	USE TO STABILIZE SOILS AND PREVENT EROSION.
Ds3	SOFTWOOD	[Symbol]	[Symbol]	USE TO STABILIZE SOILS AND PREVENT EROSION.
Ds4	SOFTWOOD	[Symbol]	[Symbol]	USE TO STABILIZE SOILS AND PREVENT EROSION.
Ms	GRASS	[Symbol]	[Symbol]	USE TO STABILIZE SOILS AND PREVENT EROSION.
Ds	SOFTWOOD	[Symbol]	[Symbol]	USE TO STABILIZE SOILS AND PREVENT EROSION.

REFER TO PLAN SHEET ES-4 FOR GENERAL NOTES, MAINTENANCE NOTES, SITE DATA & QUAD MAP

EROSION CONTROL LEGEND

PROPERTY LINE	
---	LIMITS OF DISTURBANCE
---	CONTOUR ELEVATIONS
---	EXISTING DRAIN
---	SECTION OF CHAIN LINK FENCE
---	SOIL SERIES BOUNDARY
---	BILT FENCE
---	STUMP INFORMATION SIGN
---	OFF-SITE MATERIAL WEARER
---	ACCESS DRIVE

SOIL SERIES LEGEND

[Symbol]	CLAYTON-SOIL OUTCROP	[Symbol]	NEWM LON, 2 TO 8 PERCENT SLOPE
[Symbol]	CLAYTON-SOIL	[Symbol]	PERCENT SLOPE
[Symbol]	CLAYTON-SOIL	[Symbol]	PERCENT SLOPE
[Symbol]	CLAYTON-SOIL	[Symbol]	PERCENT SLOPE
[Symbol]	CLAYTON-SOIL	[Symbol]	PERCENT SLOPE
[Symbol]	CLAYTON-SOIL	[Symbol]	PERCENT SLOPE
[Symbol]	CLAYTON-SOIL	[Symbol]	PERCENT SLOPE
[Symbol]	CLAYTON-SOIL	[Symbol]	PERCENT SLOPE
[Symbol]	CLAYTON-SOIL	[Symbol]	PERCENT SLOPE
[Symbol]	CLAYTON-SOIL	[Symbol]	PERCENT SLOPE

BEST MANAGEMENT PRACTICES SEQUENCE

NOTE: UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING BEST MANAGEMENT PRACTICES (BMPs), THE CONTRACTOR SHALL MAINTAIN AN OFF-SITE EROSION CONTROL LOG. THE LOG SHALL BE DATED DAILY AND CONTAIN THE FOLLOWING INFORMATION:

- DATE
- WEATHER
- WIND
- TEMPERATURE
- PRECIPITATION
- SOIL TYPE
- VEGETATION TYPE
- CONSTRUCTION ACTIVITY
- TIME OF DAY
- LOCATION
- PERSONNEL
- EQUIPMENT
- PROBLEMS
- SOLUTIONS
- COMMENTS

PHASE I

1. INITIAL STABILIZED CONSTRUCTION AREAS AND SWPPP
2. INITIAL DUMP PILES ON THE SITE (CLEAR ONLY OF THOSE AREAS NECESSARY TO MAINTAIN SITE FUNCTION)
3. INITIAL STABILIZED CONSTRUCTION AREAS AND SWPPP
4. CONTRACTOR AND SUBMITTER SHALL CONTACT THE CIVIL ENGINEER CONSULTANT TO PREPARE INSPECTION AND CORRECTION OF SWPPP. GENERAL CONTRACTOR SHALL SCHEDULE AND CONDUCT STORM WATER CONSTRUCTION MEETINGS WITH THE CIVIL ENGINEER CONSULTANT AND SUBMITTER BEFORE PROCEEDING WITH CONSTRUCTION.
5. ALL PROGRESS REPORTS ON THE SWPPP CERTIFICATION FORM MUST BE ADDED TO THE SWPPP DAILY REPORT.
6. CONTRACTOR SHALL MAINTAIN A SWPPP LOG AND REPORT TO THE CIVIL ENGINEER CONSULTANT TO PREPARE INSPECTION AND CORRECTION OF SWPPP. GENERAL CONTRACTOR SHALL SCHEDULE AND CONDUCT STORM WATER CONSTRUCTION MEETINGS WITH THE CIVIL ENGINEER CONSULTANT AND SUBMITTER BEFORE PROCEEDING WITH CONSTRUCTION.
7. SOIL GRADING AND GRADING THE SITE
8. SOIL GRADING THE SITE
9. START CONSTRUCTION OF REMAINING WALLS
10. START CONSTRUCTION OF THE BUILDING PAD AND STRUCTURES

STORM CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. ALL BEST MANAGEMENT PRACTICES (BMPs) SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. MEASURES SHALL BE MAINTAINED TO CONTROL SOIL EROSION AND SEDIMENTATION THROUGHOUT CONSTRUCTION. THE SLOPE OF BROADWAY FROM THE SITE SHALL BE PROVIDED BY THE INSTALLATION OF SEDIMENT CONTROL MEASURES AND PRACTICES FROM T/O OR OCCURRENT WITH LAND-USE CHANGING ACTIVITIES.

ALL BROADWAY SEDIMENT CONTROL MEASURES SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER AND SHALL BE CONSTRUCTED BY A LICENSED CONTRACTOR. THE MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.

ALL SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.

ALL SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.

ACREAGE SUMMARY

SITE AREA	(IN ACRES)
ON-SITE DISTURBED AREA	58.31 ACRES
OFF-SITE DISTURBED AREA	0.31 ACRES
TOTAL DISTURBED AREA	58.62 ACRES
PENDING AREA AT COMPLETION	48.31 ACRES
PENDING AREA AT COMPLETION	48.31 ACRES

MULCHING SCHEDULE Ds1

MULCHING MATERIAL	RATE/ACRE
DRY STRAW OR HAY	2.0 TONS
WOOD WASTE, CHIPS, SAWDUST, OR BARK	0 TO 1 TONS

TEMPORARY SEEDING SCHEDULE Ds2

SPECIES/GENUS/TYPE	RATE/ACRE	PLANTING DATES
BLUE FESCUE (SODS)	200 LBS	APRIL - SEPT 1
ANNUAL, PERENNIAL, OR BROAD LEAF		

PERMANENT SEEDING SCHEDULE Ds3

SPECIES	RATE/ACRE	PLANTING DATES
PERENNIAL BUDDED GRASS (SODS)	175 LBS	SEPT 1 - DEC 31
PERENNIAL BUDDED GRASS (SODS)		

SOil PLANTING AND FERTILIZATION REQUIREMENTS Ds4

SPECIES	FERTILIZER	RATE	APPLY DATE
FESCUE	10-20-0	50-100	NOV
FESCUE	10-20-0	50-100	NOV

NOTE: APPLY LIQUID AT THE RATE OF 1 TON/ACRE. REFER TO ES-4 FOR FERTILIZER REQUIREMENTS.

OFF-SITE RUN-ON ACREAGE SUMMARY

OFF-SITE DRAINAGE AREA	ACREAGE	AVERAGE SLOPE	MAXIMUM SLOPE	COVER TYPE
AREA 1	48.31	0.1	0.8	GRASS

1) SLOPE OF 0.1% IS ASSUMED UNLESS OTHERWISE NOTED. 2) COVER TYPE IS ASSUMED UNLESS OTHERWISE NOTED. 3) COVER TYPE IS ASSUMED UNLESS OTHERWISE NOTED.

TEMPORARY SEDIMENT BASIN 1 CALCULATIONS

DRAINAGE AREA	20.7 ACRES
RUNOFF COEFFICIENT	0.5
PEAK FLOW (CFS)	117.5
DESIGN FLOW (CFS)	117.5
DESIGN VELOCITY (FPS)	1.49
DESIGN CHANNEL WIDTH (FEET)	1.49
DESIGN CHANNEL DEPTH (FEET)	1.49
DESIGN CHANNEL LENGTH (FEET)	1.49
DESIGN CHANNEL SLOPE	1.49
DESIGN CHANNEL WIDTH (FEET)	1.49
DESIGN CHANNEL DEPTH (FEET)	1.49

OFF-SITE MATERIAL AREAS INFORMATION

BORROW SITE NAME	DEPOSIT SITE NAME
BORROW SITE ADDRESS	DEPOSIT SITE ADDRESS
BORROW SITE PHONE NUMBER	DEPOSIT SITE PHONE NUMBER
BORROW SITE PERMIT NO.	DEPOSIT SITE PERMIT NO.
BORROW SITE PERMITTING AGENCY	DEPOSIT SITE PERMITTING AGENCY

24 HR LOCAL EMERGENCY CONTACT

ROBERT GREEN (504)443-0000
 TRF, STONERIDGE DEVELOPMENT LLC
 (CONTRACTOR'S NAME) (PHONE NUMBER)
 NOTE: CONTRACTOR TO PROVIDE UNLIMATED INFORMATION TO LOCAL EMERGENCY SERVICES.

PHASE I - SITE MAP

EROSION, SEDIMENTATION & POLLUTION CONTROL PLAN

DEVELOPER/OWNER: TRF, STONERIDGE DEVELOPMENT LLC
 PENNINGTON COUNTY, SOUTH DAKOTA
 SUITE 200 ST. LOUIS MO 63114
 314-428-0900
 SITE OPERATOR/GENERAL CONTRACTOR:
 SUPERVISOR:

GRAPHIC SCALE
 1" = 50'

Wolverine & Associates
 Consulting Engineers & Land Surveyors
 4501 13th Ave SW, Suite 100, Grand Rapids, MI 49508
 Phone: 616.989.1000
 Fax: 616.989.1001
 Website: WWW.WOLVERINE-ASSOCIATES.COM

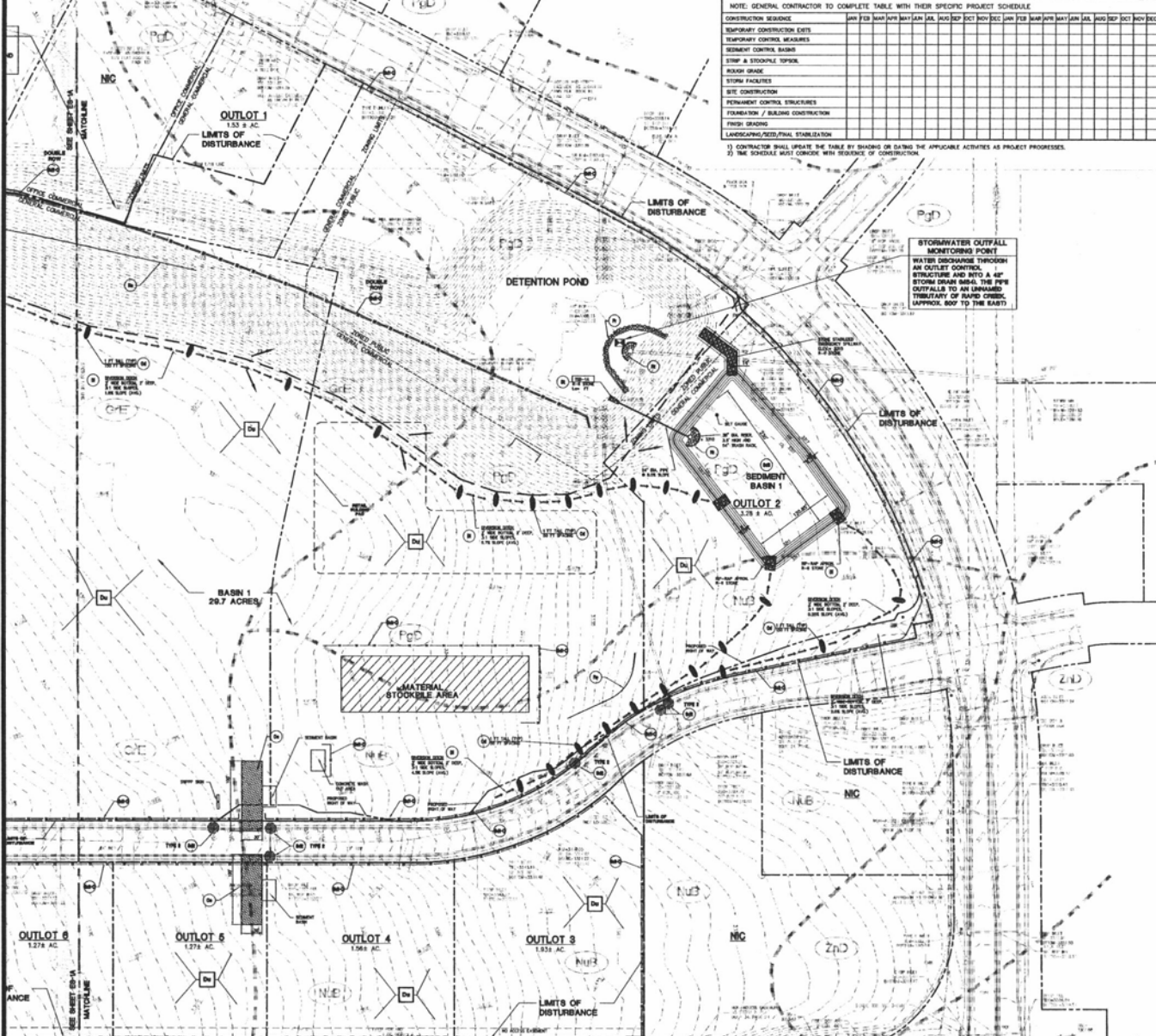
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 # 3672-03
 WALMARK
 RAPID CITY, PENNINGTON COUNTY, S.D.
 BY: TRF, STONERIDGE DEVELOPMENT, LLC
 ST. LOUIS, MO

REVISIONS	BY

DRAWN BY: DMN/CRP
 CHECKED BY: K/JW
 DATE: 12/06/2010
 SCALE: 1" = 60'
 JOB NO: 08-1640
 SHEET NO: ES-1A
 OF 3 SHEETS

98-10-1000



SOIL EROSION/SEDIMENTATION CONTROL OPERATION TIME SCHEDULE. NOTE: GENERAL CONTRACTOR TO COMPLETE TABLE WITH THEIR SPECIFIC PROJECT SCHEDULE.

BEST MANAGEMENT PRACTICES SEQUENCE. NOTE: UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREA...



LOCATION MAP. THE SITE IS LOCATED IN THE SW 1/4 OF THE NW 1/4 OF SECTION 24, T1N, R12E, S14W, MISSOURI COUNTY, MISSOURI.

STRUCTURAL PRACTICES. TABLE with columns: CODE, PRACTICE, DETAIL, MAP SYMBOL, DESCRIPTION.

CONTRACTOR AND ENGINEER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ALL STRUCTURAL PRACTICES...

ACREAGE SUMMARY (IN ACRES). TABLE with columns: SITE AREA, ON-SITE DISTURBED AREA, OFF-SITE DISTURBED AREA, TOTAL DISTURBED AREA, IMPROVED AREA AT COMPLETION, FORECAST AREA AT COMPLETION.

MULCHING SCHEDULE (Dm). TABLE with columns: MULCHING MATERIAL, RATE/ACRE, DRY STRAW OR HAY, WOOD WASTE, CHIPS, STRAW, MULCH.

TEMPORARY SEEDING SCHEDULE (Ds1). TABLE with columns: SPECIES, RATE/ACRE, PLANTING DATES.

PERMANENT SEEDING SCHEDULE (Ds3). TABLE with columns: SPECIES, RATE/ACRE, PLANTING DATES.

SOB PLANTING AND FERTILIZATION REQUIREMENTS (Ds4). TABLE with columns: SPECIES, FERTILIZER (LBS/AC), RATE (LBS/AC).

VEGETATIVE PRACTICES. TABLE with columns: CODE, PRACTICE, DETAIL, MAP SYMBOL, DESCRIPTION.

EROSION CONTROL LEGEND. LIST of symbols and their corresponding erosion control features.

SOB SERIES LEGEND. LIST of symbols and their corresponding soil series.

OFF-SITE RUN-ON ACREAGE SUMMARY. TABLE with columns: OFF-SITE DRAINAGE AREA, AVERAGE SLOPE, MAXIMUM SLOPE, COVER.

TEMPORARY SEDIMENT BASIN 1 CALCULATIONS. TABLE with columns: DRAINAGE AREA, DESIGN FLOW, DESIGN VELOCITY, DESIGN STORAGE, DESIGN VOLUME.

OFF-SITE MATERIAL AREA(S) INFORMATION. TABLE with columns: DRAINAGE AREA, DESIGN FLOW, DESIGN VELOCITY, DESIGN STORAGE, DESIGN VOLUME.

24 HR LOCAL EMERGENCY CONTACT. TABLE with columns: NAME, PHONE NUMBER, ADDRESS.

DEVELOPER/OWNER: THE STONERIDGE DEVELOPMENT LLC. SITE OPERATOR/GENERAL CONTRACTOR: SUPERINTENDENT.

PHASE I - SITE MAP. EROSION, SEDIMENTATION & POLLUTION CONTROL PLAN.



NOT FOR CONSTRUCTION / PERMIT REVIEW ONLY.

PROPOSED BLACK HILLS CENTER. Walmark # 3972-03. RAPID CITY, PENNINGTON COUNTY, S.D. BY: THF, STONERIDGE DEVELOPMENT, LLC. ST. LOUIS, MO.

REVISIONS BY. TABLE with columns: NO., DATE, BY, DESCRIPTION.

Wolverton & Associates. Consulting Engineers & Land Surveyors.



Know what's below. Call before you dig. (800)761-7474 Outside SD

MULCHING SCHEDULE D#1

TEMPORARY SEEDING SCHEDULE D#2

PERMANENT SEEDING SCHEDULE D#3

SOD PLANTING AND FERTILIZATION REQUIREMENTS D#4

SOIL EROSION/SEDIMENTATION CONTROL OPERATION TIME SCHEDULE

BEST MANAGEMENT PRACTICES SEQUENCE



LOCATION MAP

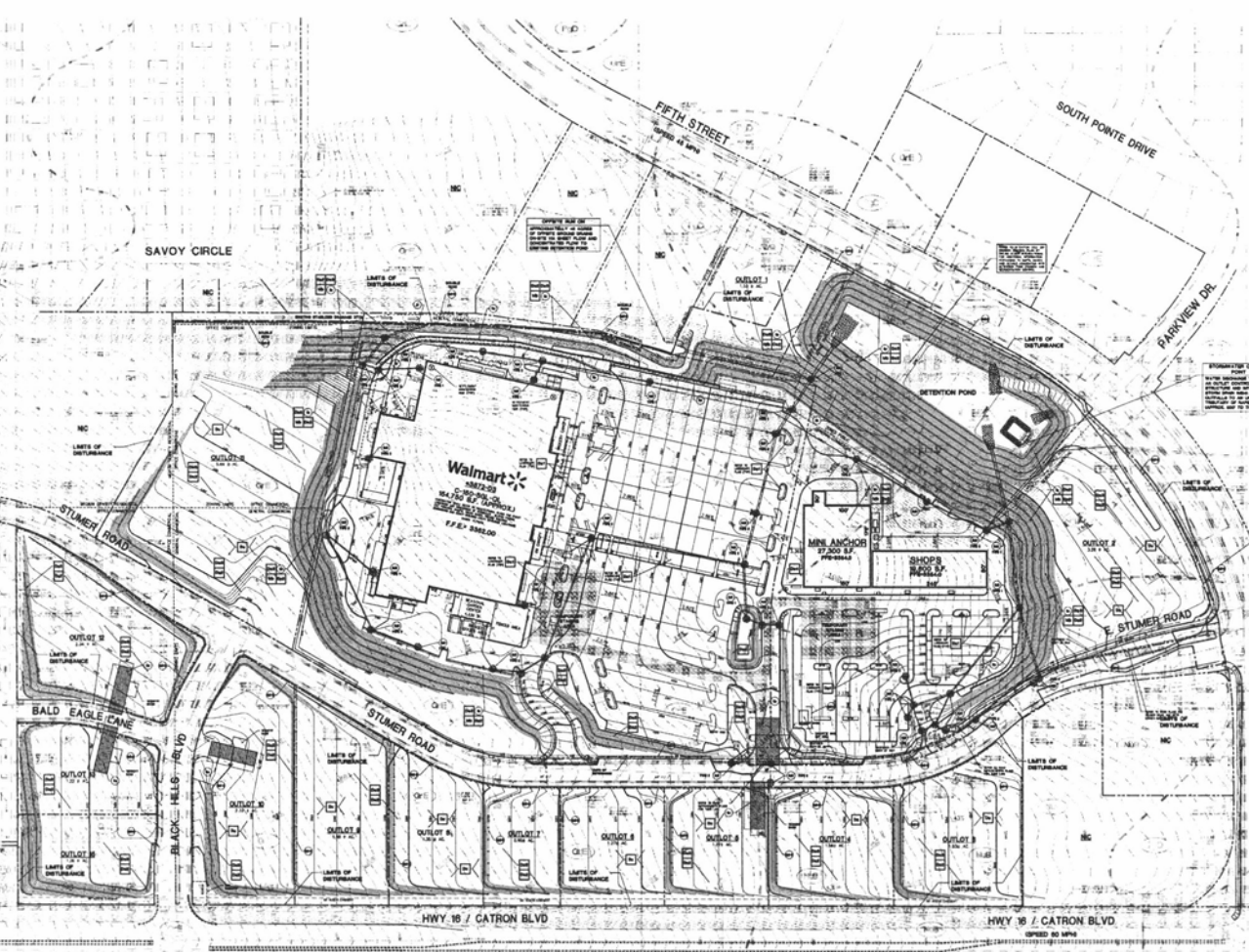
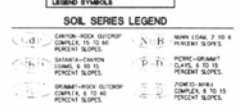
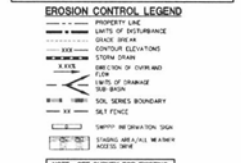
STRUCTURAL PRACTICES

Table with 4 columns: CODE, PRACTICE, DETAIL, MAP SYMBOL, DESCRIPTION

VEGETATIVE PRACTICES

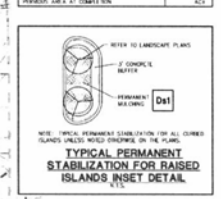
Table with 4 columns: CODE, PRACTICE, DETAIL, MAP SYMBOL, DESCRIPTION

REFER TO PLAN SHEET ES-4 FOR GENERAL NOTES, MAINTENANCE NOTES, SITE DATA & QUAD MAP



NOTE: GENERAL CONTRACTOR TO COMPLETE TABLE WITH THEIR SPECIFIC PROJECT SCHEDULE

ACREAGE SUMMARY (IN ACRES)



OFF-SITE RUN-ON ACREAGE SUMMARY

OFF-SITE MATERIAL AREA(S) INFORMATION

24 HR LOCAL EMERGENCY CONTACT

DEVELOPER/OWNER: THF. STONERIDGE DEVELOPMENT LLC

PHASE II - SITE MAP EROSION, SEDIMENTATION & POLLUTION CONTROL PLAN

NOT FOR CONSTRUCTION / PERMIT REVIEW ONLY

PROPOSED BLACK HILLS CENTER Walmart # 3872-03

Wolverton & Associates Consulting Engineers & Land Surveyors



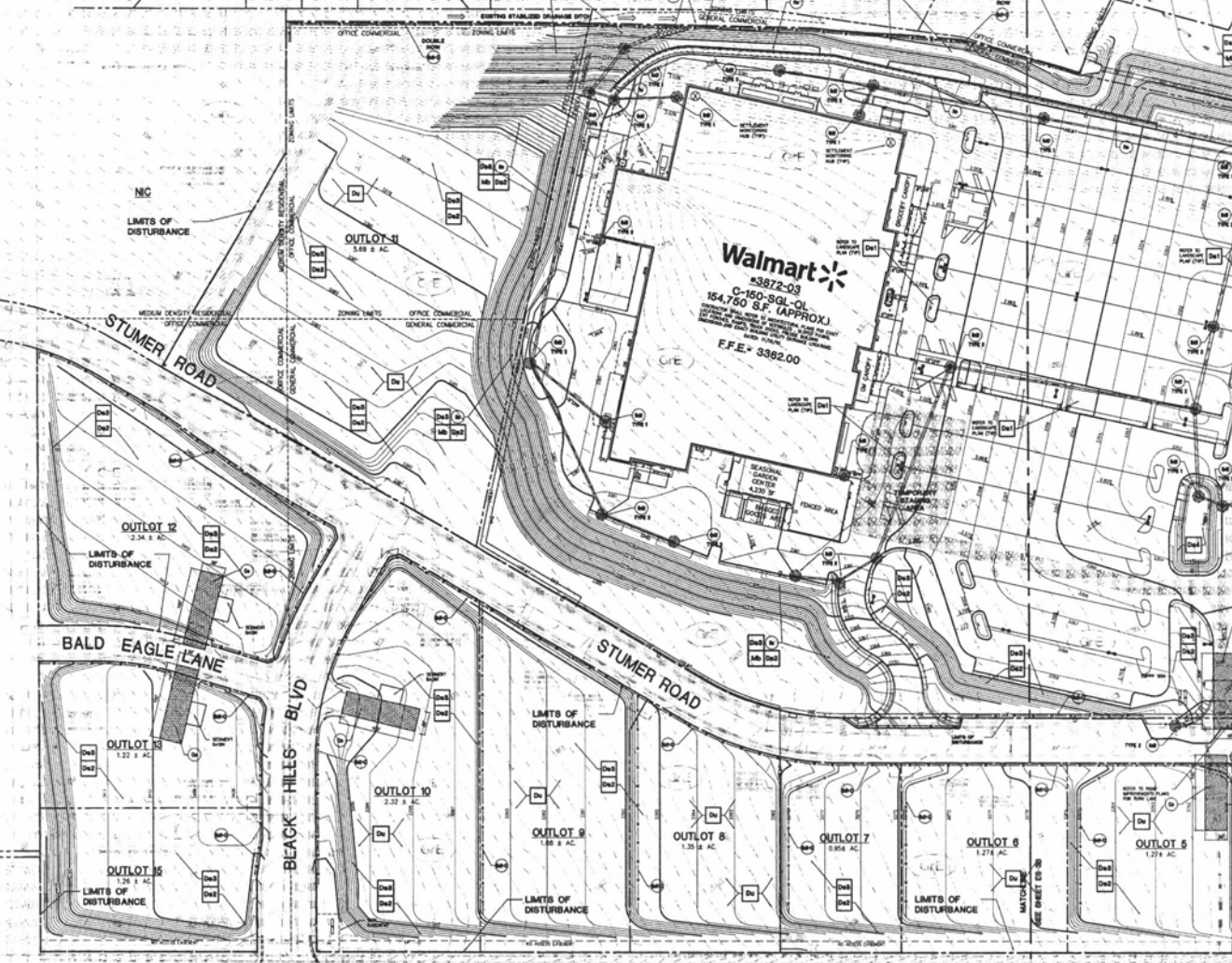
REVISIONS BY

DATE: 12/09/2010 SCALE: 1" = 100' SHEET NUMBER: ES-2

SOIL EROSION/SEDIMENTATION CONTROL OPERATION TIME SCHEDULE

NOTE: GENERAL CONTRACTOR TO COMPLETE TABLE WITH THEIR SPECIFIC PROJECT SCHEDULE. TABLE with columns for construction sequence, temporary construction exits, temporary control measures, sediment control, storm water management, site construction, permanent control structures, foundation/building construction, finish grading, and landscaping/seed/soil stabilization.

- 1) CONTRACTOR SHALL UPDATE THE TABLE BY DASHING OR SAYING THE APPLICABLE ACTIVITIES AS PROJECT PROGRESSES.
2) THE SCHEDULE MUST CONFORM WITH SEQUENCE OF CONSTRUCTION.



BEST MANAGEMENT PRACTICES SEQUENCE

- 1. TEMPORARY SEED THROUGHOUT CONSTRUCTION BARRICADE AREAS...
2. METAL STRIPES...
3. METAL REEF-UP AROUND OUTLET STRUCTURES...
4. METAL REEF PROTECTION AT ALL STORM SEWER STRUCTURES...

PHASE II

- 1. TEMPORARY SEED THROUGHOUT CONSTRUCTION BARRICADE AREAS...
2. COMPLETE GRADING AND METALLATION OF PAVEMENT...
3. COMPLETE GRADING AND METALLATION OF PAVEMENT...
4. METAL REEF PROTECTION AT ALL STORM SEWER STRUCTURES...

ACREAGE SUMMARY

Table with 2 columns: AREA TYPE and ACREAGE. Includes rows for On-Site Disturbed Area, Off-Site Disturbed Area, Total Disturbed Area, and Impervious Area at Completion.

TEMPORARY SEEDING SCHEDULE

Table with 2 columns: SPECIES (Blue Fescue, Annual Ryegrass) and RATE/ACRE PLANTING DATES.

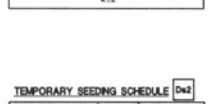
PERMANENT SEEDING SCHEDULE

Table with 2 columns: SPECIES (Kentucky Bluegrass, Perennial Ryegrass) and RATE/ACRE PLANTING DATES.

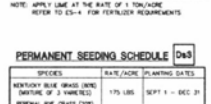
SOD PLANTING AND FERTILIZATION REQUIREMENTS

Table with 4 columns: SPECIES, FERTILIZER RATE (lb/1000 sq ft), and SOD LENGTH (ft).

EROSION CONTROL LEGEND



SOIL SERIES LEGEND



VEGETATIVE PRACTICES

Table with 4 columns: CODE, PRACTICE, DETAIL, and DESCRIPTION. Lists various vegetative practices like sod installation, mulch, and seeding.

STRUCTURAL PRACTICES

Table with 4 columns: CODE, PRACTICE, DETAIL, and DESCRIPTION. Lists structural practices like concrete curbs, metal strip, and sediment basins.



THE SITE IS LOCATED IN THE CITY OF ST. LOUIS, MO. IN THE DISTRICT OF... (Detailed location information)

EROSION CONTROL LEGEND



SOIL SERIES LEGEND



VEGETATIVE PRACTICES

Table with 4 columns: CODE, PRACTICE, DETAIL, and DESCRIPTION. Lists various vegetative practices like sod installation, mulch, and seeding.

STRUCTURAL PRACTICES

Table with 4 columns: CODE, PRACTICE, DETAIL, and DESCRIPTION. Lists structural practices like concrete curbs, metal strip, and sediment basins.

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PERMANENT SEEDING SCHEDULE

Table with 2 columns: SPECIES (Kentucky Bluegrass, Perennial Ryegrass) and RATE/ACRE PLANTING DATES.

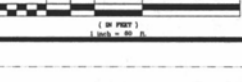
SOD PLANTING AND FERTILIZATION REQUIREMENTS

Table with 4 columns: SPECIES, FERTILIZER RATE (lb/1000 sq ft), and SOD LENGTH (ft).

EROSION CONTROL LEGEND



SOIL SERIES LEGEND



OFF-SITE RUN-ON ACREAGE SUMMARY table with columns for Off-Site Drainage Area, Acreage, Average Slope, Maximum Slope, and Cover Type.

MULCHING SCHEDULE table with columns for Mulching Material, Rate/Ton, and Application Method.

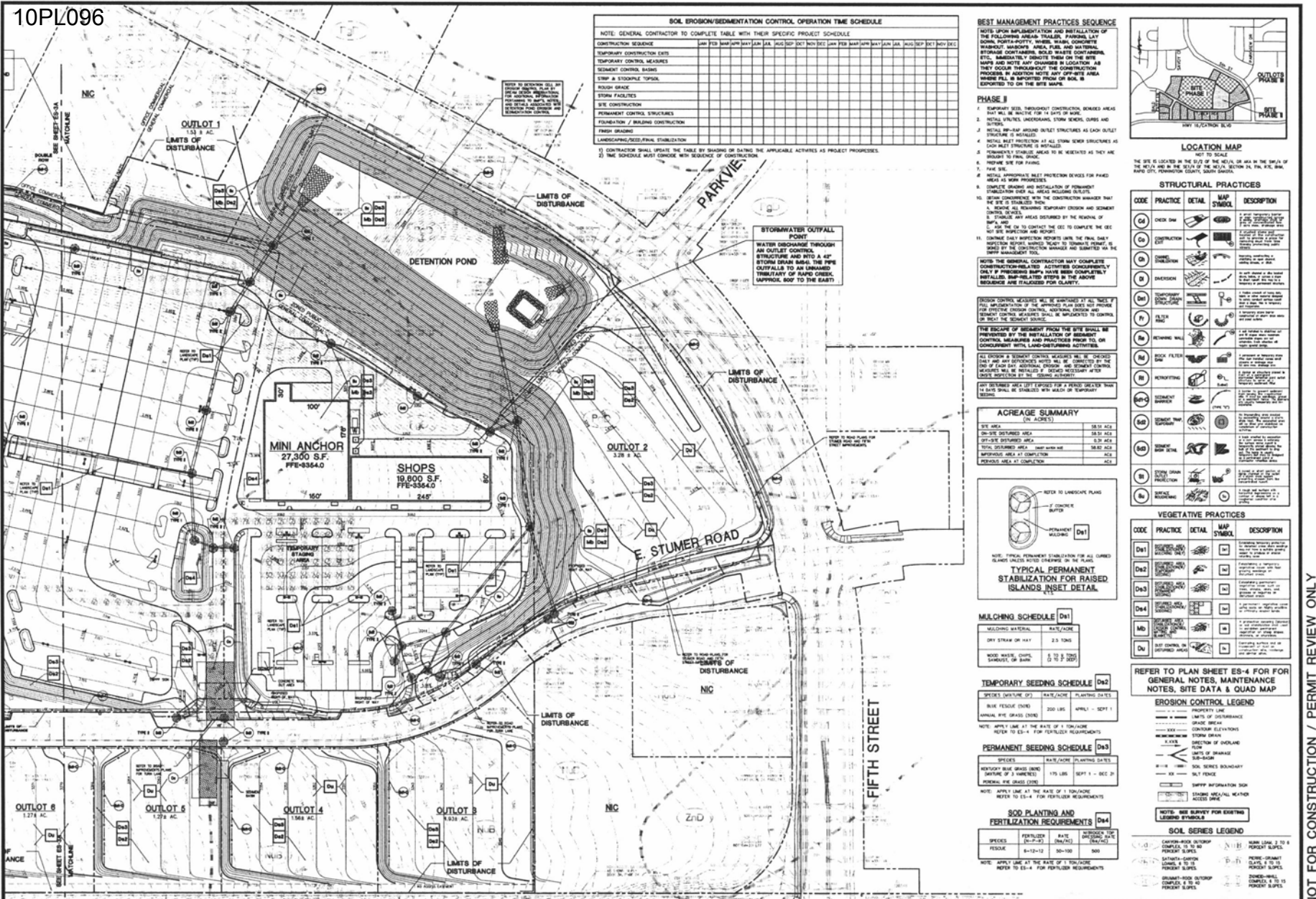
OFF-SITE MATERIAL AREAS INFORMATION table with columns for Runoff Name, Address, Point, and Permitted Agency.

24 HR LOCAL EMERGENCY CONTACT: ROBERT GREEN (314) 439-3660, ST. STONERIDGE DEVELOPMENT, LLC

DEVELOPER/OWNER: THF STONERIDGE DEVELOPMENT, LLC, 314-428-0900

PHASE II - SITE MAP EROSION, SEDIMENTATION & POLLUTION CONTROL PLAN. Includes graphic scale and sheet number ES-2A.

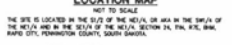
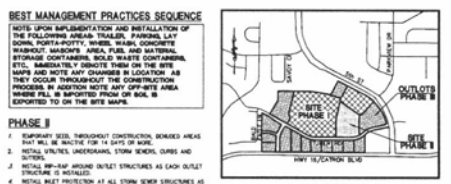
Vertical sidebar containing project name 'PROPOSED BLACK HILLS CENTER', company 'Wolverton & Associates', and sheet information 'ES-2A OF 2 SHEETS'.



SOIL EROSION/SEDIMENTATION CONTROL OPERATION TIME SCHEDULE
 NOTE: GENERAL CONTRACTOR TO COMPLETE TABLE WITH THEIR SPECIFIC PROJECT SCHEDULE

CONSTRUCTION SEQUENCE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
TEMPORARY CONSTRUCTION DITCHES												
TEMPORARY CONTROL MEASURES												
SEGMENT CONTROL BASINS												
STRIP & STOCKPILE TOPSOIL												
ROUGH GRADE												
STORE FACILITIES												
SITE CONSTRUCTION												
PERMANENT CONTROL STRUCTURES												
FOUNDATION / BUILDING CONSTRUCTION												
FINISH GRADING												
LANDSCAPING/VEGETAL STABILIZATION												

1) CONTRACTOR SHALL UPDATE THE TABLE BY SHADING OR DATING THE APPLICABLE ACTIVITIES AS PROJECT PROGRESSES.
 2) THE SCHEDULE MUST CORRELATE WITH SEQUENCE OF CONSTRUCTION.

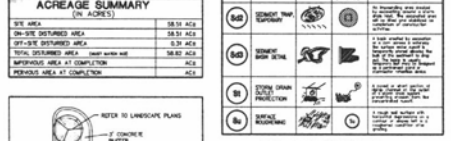


STRUCTURAL PRACTICES

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
C1	CHECK DAM			Check dam to reduce sediment transport in runoff channels.
C2	CONSTRUCTION			Construct erosion control structures as shown on drawings.
D	DISSECTION			Dissection to control runoff and prevent erosion on slopes.
D1	DISSECTION			Dissection to control runoff and prevent erosion on slopes.
F	FILTER BARRIERS			Filter barriers to catch sediment before it enters water bodies.
N	RETAINING WALL			Retaining wall to stabilize soil on steep slopes.
N1	ROCK FILTER WALL			Rock filter wall to stabilize soil on steep slopes.
R	ROCKING			Rocking to stabilize soil on steep slopes.
S1	SEEDING			Seeding to stabilize soil on steep slopes.
S2	SEEDING			Seeding to stabilize soil on steep slopes.
S3	SEEDING			Seeding to stabilize soil on steep slopes.
S4	SEEDING			Seeding to stabilize soil on steep slopes.
S5	SEEDING			Seeding to stabilize soil on steep slopes.
S6	SEEDING			Seeding to stabilize soil on steep slopes.
S7	SEEDING			Seeding to stabilize soil on steep slopes.
S8	SEEDING			Seeding to stabilize soil on steep slopes.
S9	SEEDING			Seeding to stabilize soil on steep slopes.
S10	SEEDING			Seeding to stabilize soil on steep slopes.
S11	SEEDING			Seeding to stabilize soil on steep slopes.
S12	SEEDING			Seeding to stabilize soil on steep slopes.
S13	SEEDING			Seeding to stabilize soil on steep slopes.
S14	SEEDING			Seeding to stabilize soil on steep slopes.
S15	SEEDING			Seeding to stabilize soil on steep slopes.
S16	SEEDING			Seeding to stabilize soil on steep slopes.
S17	SEEDING			Seeding to stabilize soil on steep slopes.
S18	SEEDING			Seeding to stabilize soil on steep slopes.
S19	SEEDING			Seeding to stabilize soil on steep slopes.
S20	SEEDING			Seeding to stabilize soil on steep slopes.

ACREAGE SUMMARY

ITEM	ACRES
TOTAL SITE AREA	58.31
ON-SITE DISTURBED AREA	28.31
OFF-SITE DISTURBED AREA	0.34
TOTAL DISTURBED AREA	28.65
IMPROVED AREA AT COMPLETION	29.66
REMAINDER AREA AT COMPLETION	28.65



TEMPORARY SEEDING SCHEDULE

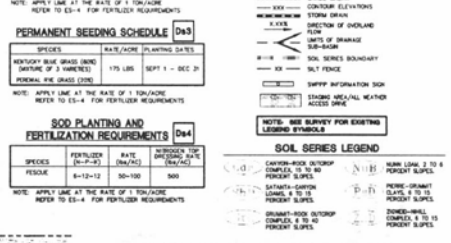
SPECIES	RATE/ACRE	PLANTING DATES
RYE GRASS (TALL)	200 LBS	APRIL - SEPT 1
ORANGE GRASS (TALL)	200 LBS	APRIL - SEPT 1

PERMANENT SEEDING SCHEDULE

SPECIES	RATE/ACRE	PLANTING DATES
HEALTHY BLUE GRASS (TALL)	175 LBS	SEPT 1 - DEC 31
ORANGE GRASS (TALL)	175 LBS	SEPT 1 - DEC 31

SOIL PLANTING AND FERTILIZATION REQUIREMENTS

FERTILIZER	RATE	APPLY DATE
N-P-K	10-10-10	10/1/10
N-P-K	10-10-10	10/1/10



OFF-SITE RUN-ON ACREAGE SUMMARY

OFF-SITE DRAINAGE AREA ACREAGE	AVERAGE SLOPE	MAXIMUM SLOPE	COVER TYPE
AREA 1	4% N	8%	30% GRASS

OFF-SITE MATERIAL AREAS INFORMATION

STORAGE SITE NAME	DISPERSAL SITE NAME
STORAGE SITE POINT NO. 1 <td>DISPERSAL SITE POINT NO. 1 </td>	DISPERSAL SITE POINT NO. 1
STORAGE SITE POINT NO. 2 <td>DISPERSAL SITE POINT NO. 2 </td>	DISPERSAL SITE POINT NO. 2

24 HR LOCAL EMERGENCY CONTACT

NAME	PHONE NUMBER
ROBERT GREEN	314-988-9000
THE STONERIDGE DEVELOPMENT LLC	

DEVELOPER/OWNER: THE STONERIDGE DEVELOPMENT LLC
 INNERBELLY BUSINESS CENTER DR, SUITE 200 ST. LOUIS MO 63114
 314-428-0900

SITE OPERATOR/GENERAL CONTRACTOR:
 SUPERINTENDENT:

PHASE II - SITE MAP
EROSION, SEDIMENTATION & POLLUTION CONTROL PLAN

GRAPHIC SCALE
 1" = 100'

NOT FOR CONSTRUCTION / PERMIT REVIEW ONLY

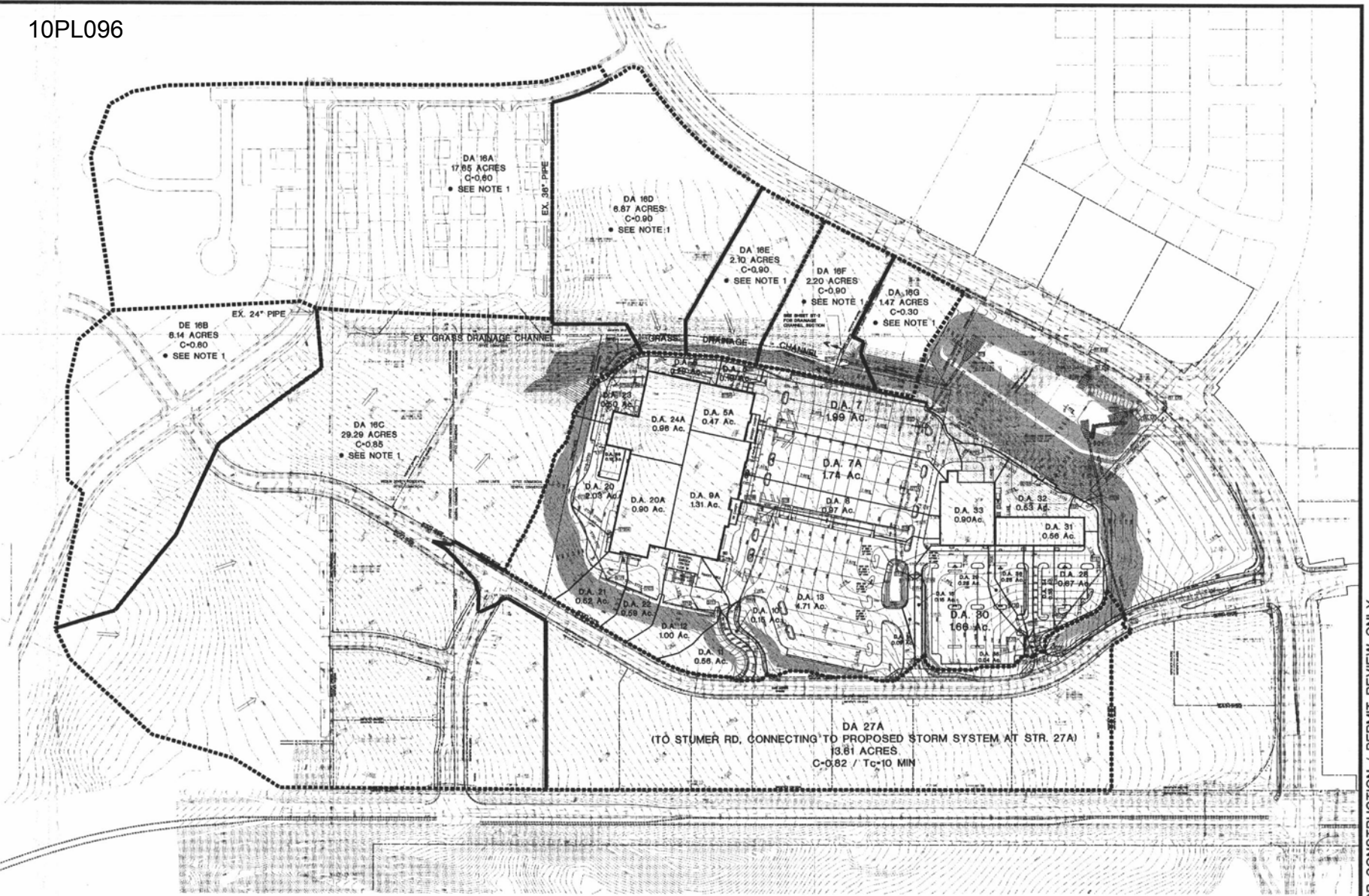
PROPOSED BLACK HILLS CENTER
 Walmark # 3872-03
 RAPID CITY, PENNINGTON COUNTY, S.D.
 BY: THF, STONERIDGE DEVELOPMENT, LLC
 ST. LOUIS, MO

REVISIONS BY

NO.	DATE	BY

DRAWN BY DMN/CRP
 CHECKED BY K/JW
 DATE: 12/09/2010
 SCALE: 1" = 80'
 JOB NO: 08-140
 SHEET NUMBER: ES-2B
 OF 2 SHEETS

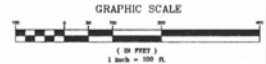
Volverson & Associates
 Consulting Engineers & Land Surveyors
 1001 N. BROADWAY, SUITE 100, ST. LOUIS, MO 63102
 TEL: 314.433.8800 FAX: 314.433.8801
 WWW.VOLVETSON-ASSOCIATES.COM



DA 27A
 (TO STUMER RD. CONNECTING TO PROPOSED STORM SYSTEM AT STR. 27A)
 3.61 ACRES
 C-0.82 / Tc=10 MIN

- NOTES:**
1. AREA NOT SHOWN CURRENTLY DRAINAGE TO THE GRASS DRAINAGE CHANNEL (ALONG THE NORTH PROPERTY LINE OF THE BALKEST PARK) OR WELL DRAIN TO THE CHANNEL, SINCE THE AREA IS BELT OUT (AND DRAINAGE APPEARED TO THE CHANNEL).
 2. DRAINAGE AREA NUMBERS CORRESPOND TO THE DRAINAGE STRUCTURE NUMBERS THAT THEY DRAIN TO THESE APPLICATIONS.
 3. TIME OF CONCENTRATION = 5 MINUTES FOR ALL DRAINAGE AREAS SHOWN (UNLESS OTHERWISE NOTED).

**INLET AREA
 DRAINAGE MAP**



NOT FOR CONSTRUCTION / PERMIT REVIEW ONLY

PROPOSED BLACK HILLS CENTER

Walmart # 3872-03

RAPID CITY, PENNINGTON COUNTY, S.D.

BY: THF, STONERIDGE DEVELOPMENT, LLC

ST. LOUIS, MO

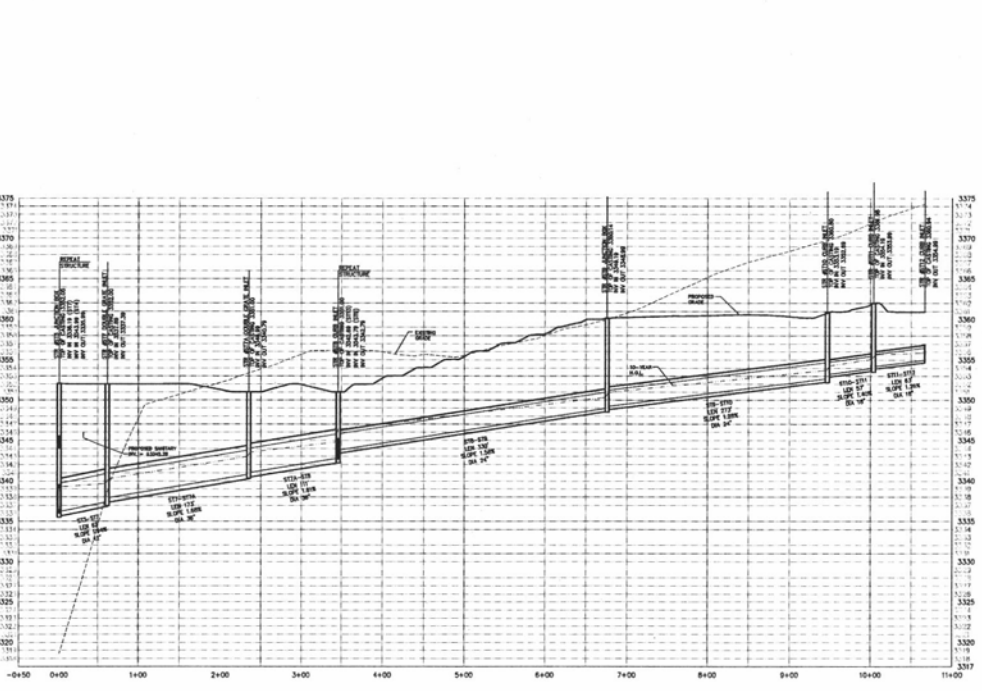
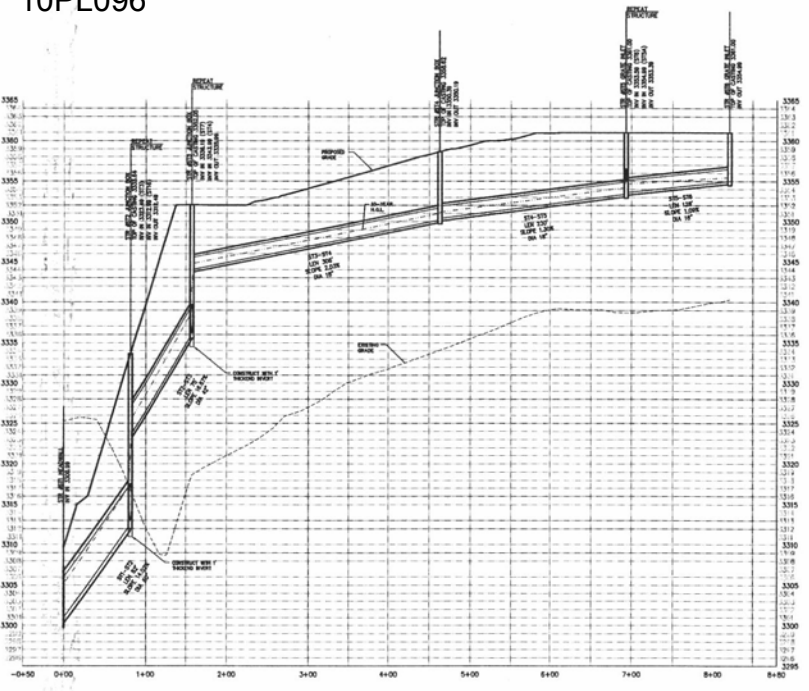
REVISIONS BY

DRAWN BY:	DMN/CRP
CHECKED BY:	K/JW
DATE:	12/08/2010
SCALE:	1" = 100'
JOB NO.:	08-140

SHEET NUMBER
IA-1

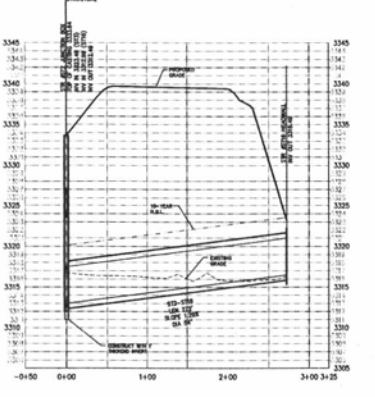
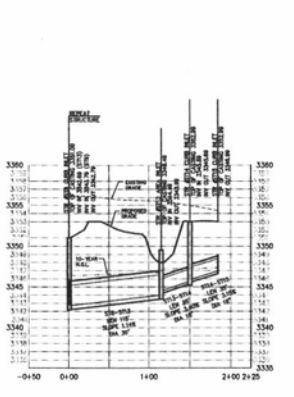
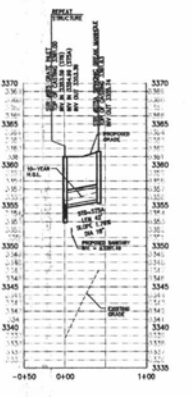
Wolvertson & Associates
 Consulting Engineers • Land Surveyors
 4742 Republic Avenue, Suite 100, Omaha, Nebraska 68107
 Phone: 402.426.5900
 Fax: 402.426.5901
 www.wolvertson-engineers.com





ST1 THRU ST6
scale: 1"=60' horizontal
1"=6' vertical

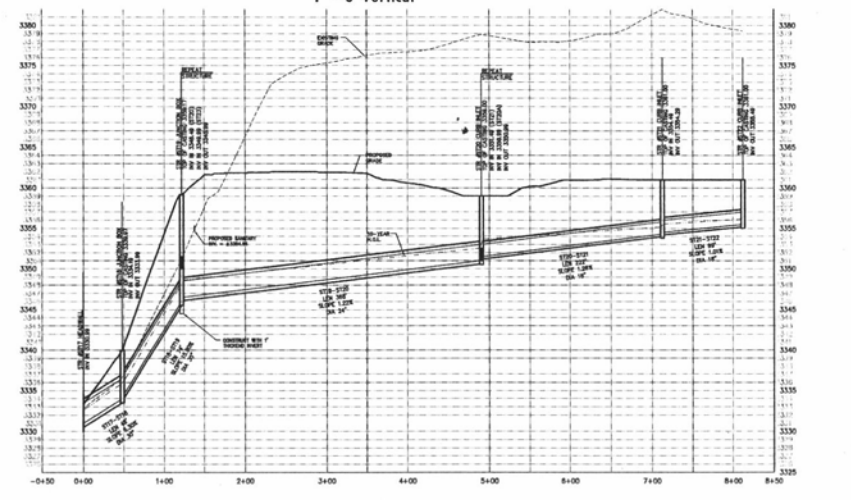
ST3 TO ST7 THRU ST12
scale: 1"=60' horizontal
1"=6' vertical



ST5 TO ST5A
scale: 1"=60' horizontal
1"=6' vertical

ST8 TO ST13 THRU ST15
scale: 1"=60' horizontal
1"=6' vertical

ST2 TO ST16
scale: 1"=60' horizontal
1"=6' vertical



ST17 THRU ST22
scale: 1"=60' horizontal
1"=6' vertical

STORM SEWER PROFILES



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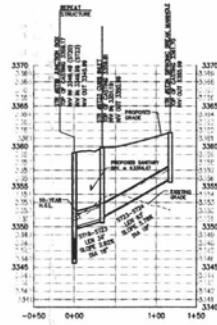
PROPOSED BLACK HILLS CENTER
Walmart # 3872-03
RAPID CITY, PENNINGTON COUNTY, S.D.
BY: THF, STONERIDGE DEVELOPMENT, LLC
ST. LOUIS, MO

REVISIONS	BY

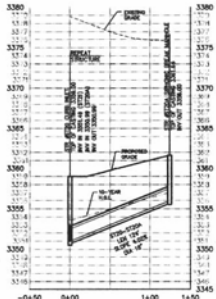
DRAWN BY DMN/CRP
CHECKED BY K,J,W
DATE 12/08/2010
SCALE AS NOTED
JOB NO. 08-140
SHEET NUMBER
ST-1
OF 08/078

W
Wolverton & Associates
Consulting Engineers & Land Surveyors
616 North Broadway, Suite 100, Rapid City, SD 57701
www.wolverton-associates.com

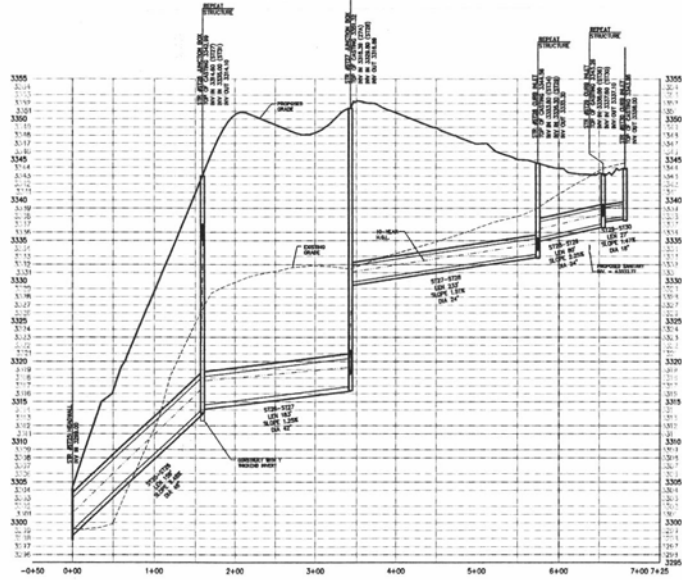




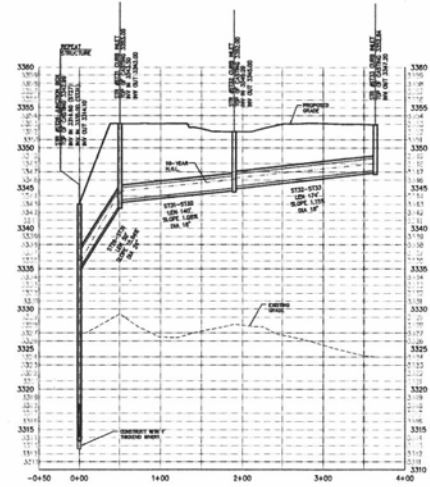
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scale: 1"=60' horizontal
1"=6' vertical



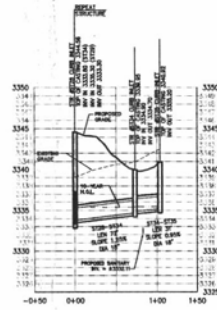
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1"=6' vertical



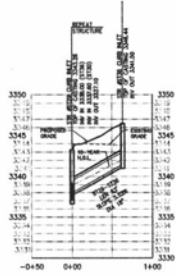
ST25 THRU ST30
scale: 1"=60' horizontal
1"=6' vertical



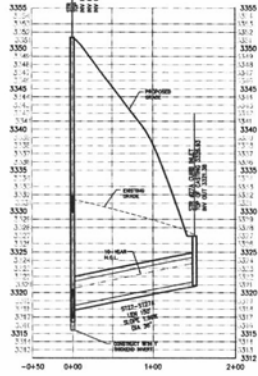
ST26 TO ST31 THRU ST33
scale: 1"=60' horizontal
1"=6' vertical



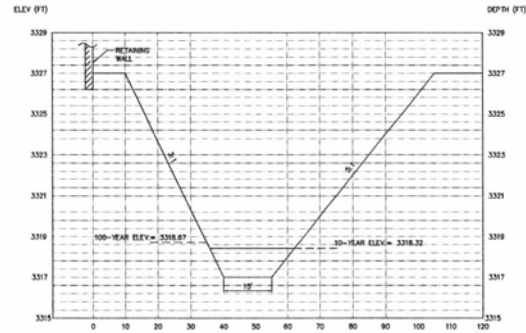
ST28 TO ST34 TO ST35
scale: 1"=60' horizontal
1"=6' vertical



ST29 TO ST36
scale: 1"=60' horizontal
1"=6' vertical



ST27 TO ST27A
scale: 1"=60' horizontal
1"=6' vertical



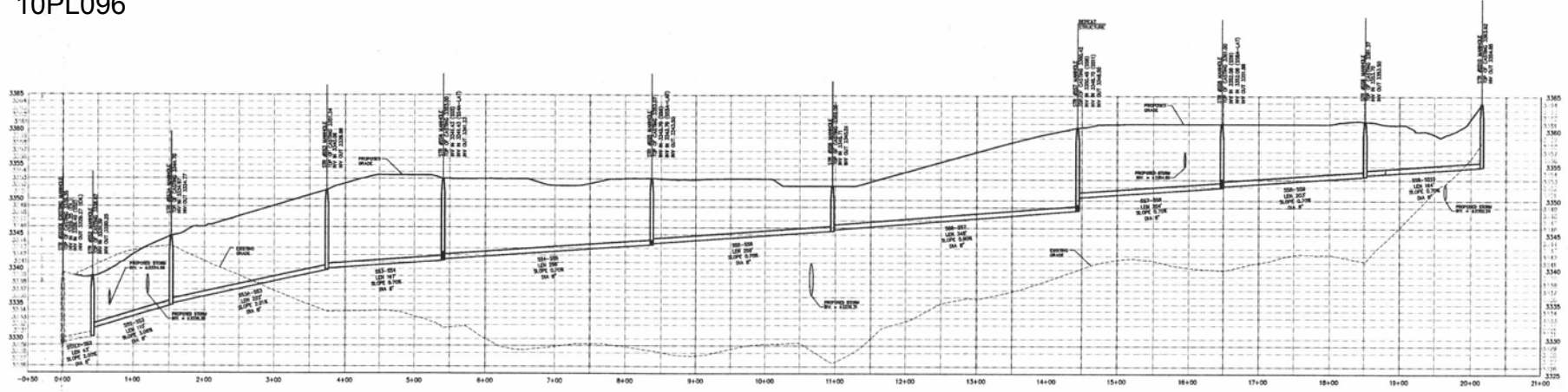
DRAINAGE CHANNEL SECTION A-A
N.T.S.



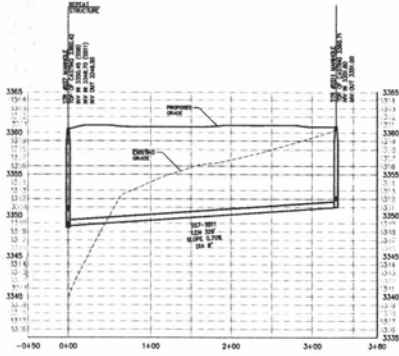
REVISIONS	BY

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DRAWN BY: DMN/CRP
CHECKED BY: KJW
DATE: 12/09/2010
SCALE: AS NOTED
JOB NO.: 08-140
SHEET NUMBER





SS1EX THRU SS10
 scale: 1"=60' horizontal
 1"=6' vertical



SS7 TO SS11
 scale: 1"=60' horizontal
 1"=6' vertical

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DRAWN BY DMU/CRP
 CHECKED BY K JW
 DATE 12/09/2010
 SCALE AS NOTED
 JOB NO. 08-140
 SHEET NUMBER

PROPOSED BLACK HILLS CENTER
 Walmart # 3872-03
 RAPID CITY, PENNINGTON COUNTY, S.D.
 BY: THE STONERIDGE DEVELOPMENT, LLC
 ST. LOUIS, MO

REVISIONS	BY

SS-1

08-140-102802



Woliverton & Associates
 Consulting Engineers & Land Surveyors
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**SANITARY SEWER
 PROFILES**

10PL096 SANITARY SEWER

STORM SEWER

STRUCTURE TABLE					PIPE TABLE		
STRUCTURE #	STRUCTURE TYPE	TOP OF COILING	HEIGHT	HEIGHT IN	PIPE SIZE	LENGTH	SIZE
980	MANHOLE	2294.20	2294.00	2293.00 (2940)	300	800	6.000
981	MANHOLE	2294.24	2294.00	2293.00 (2940)	300	800	6.000
982	MANHOLE	2304.76	2304.51	2303.51 (2940)	300	800	6.000
983	MANHOLE	2304.76	2304.51	2303.51 (2940)	300	800	6.000
984	MANHOLE	2305.04	2304.79	2303.79 (2940)	300	800	6.000
985	MANHOLE	2305.04	2304.79	2303.79 (2940)	300	800	6.000
986	MANHOLE	2305.04	2304.79	2303.79 (2940)	300	800	6.000
987	MANHOLE	2305.04	2304.79	2303.79 (2940)	300	800	6.000
988	MANHOLE	2305.04	2304.79	2303.79 (2940)	300	800	6.000
989	MANHOLE	2305.04	2304.79	2303.79 (2940)	300	800	6.000
990	MANHOLE	2305.04	2304.79	2303.79 (2940)	300	800	6.000
991	MANHOLE	2305.11	2304.86	2303.86 (2940)	300	800	6.000

STRUCTURE TABLE					PIPE TABLE		
STRUCTURE #	STRUCTURE TYPE	TOP OF COILING	HEIGHT	HEIGHT IN	PIPE SIZE	LENGTH	SIZE
971	HEADWALL	2307.24		2306.00 (2910)	675	450	6.000
972	JUNCTION BOX	2303.64	2303.40	2302.40 (2910)	675	450	6.000
973	JUNCTION BOX	2302.04	2301.80	2300.80 (2910)	675	450	6.000
974	JUNCTION BOX	2306.60	2306.36	2305.36 (2910)	675	450	6.000
975	JUNCTION BOX	2306.60	2306.36	2305.36 (2910)	675	450	6.000
976	MANHOLE	2305.04	2304.80	2303.80 (2910)	675	450	6.000
977	MANHOLE	2305.04	2304.80	2303.80 (2910)	675	450	6.000
978	MANHOLE	2305.04	2304.80	2303.80 (2910)	675	450	6.000
979	MANHOLE	2305.04	2304.80	2303.80 (2910)	675	450	6.000
980	MANHOLE	2305.04	2304.80	2303.80 (2910)	675	450	6.000
981	MANHOLE	2305.04	2304.80	2303.80 (2910)	675	450	6.000
982	MANHOLE	2305.04	2304.80	2303.80 (2910)	675	450	6.000
983	MANHOLE	2305.04	2304.80	2303.80 (2910)	675	450	6.000
984	MANHOLE	2305.04	2304.80	2303.80 (2910)	675	450	6.000
985	MANHOLE	2305.04	2304.80	2303.80 (2910)	675	450	6.000
986	MANHOLE	2305.04	2304.80	2303.80 (2910)	675	450	6.000
987	MANHOLE	2305.04	2304.80	2303.80 (2910)	675	450	6.000
988	MANHOLE	2305.04	2304.80	2303.80 (2910)	675	450	6.000
989	MANHOLE	2305.04	2304.80	2303.80 (2910)	675	450	6.000
990	MANHOLE	2305.04	2304.80	2303.80 (2910)	675	450	6.000
991	MANHOLE	2305.04	2304.80	2303.80 (2910)	675	450	6.000

STRUCTURE TABLE					PIPE TABLE		
STRUCTURE #	STRUCTURE TYPE	TOP OF COILING	HEIGHT	HEIGHT IN	PIPE SIZE	LENGTH	SIZE
974	HEADWALL	2304.84		2303.60 (2910)	675	450	6.000
975	JUNCTION BOX	2303.24	2303.00	2302.00 (2910)	675	450	6.000
976	JUNCTION BOX	2301.64	2301.40	2300.40 (2910)	675	450	6.000
977	JUNCTION BOX	2306.04	2305.80	2304.80 (2910)	675	450	6.000
978	JUNCTION BOX	2306.04	2305.80	2304.80 (2910)	675	450	6.000
979	JUNCTION BOX	2306.04	2305.80	2304.80 (2910)	675	450	6.000
980	JUNCTION BOX	2306.04	2305.80	2304.80 (2910)	675	450	6.000
981	JUNCTION BOX	2306.04	2305.80	2304.80 (2910)	675	450	6.000
982	JUNCTION BOX	2306.04	2305.80	2304.80 (2910)	675	450	6.000
983	JUNCTION BOX	2306.04	2305.80	2304.80 (2910)	675	450	6.000
984	JUNCTION BOX	2306.04	2305.80	2304.80 (2910)	675	450	6.000
985	JUNCTION BOX	2306.04	2305.80	2304.80 (2910)	675	450	6.000
986	JUNCTION BOX	2306.04	2305.80	2304.80 (2910)	675	450	6.000
987	JUNCTION BOX	2306.04	2305.80	2304.80 (2910)	675	450	6.000
988	JUNCTION BOX	2306.04	2305.80	2304.80 (2910)	675	450	6.000
989	JUNCTION BOX	2306.04	2305.80	2304.80 (2910)	675	450	6.000
990	JUNCTION BOX	2306.04	2305.80	2304.80 (2910)	675	450	6.000
991	JUNCTION BOX	2306.04	2305.80	2304.80 (2910)	675	450	6.000

STRUCTURE TABLE					PIPE TABLE		
STRUCTURE #	STRUCTURE TYPE	TOP OF COILING	HEIGHT	HEIGHT IN	PIPE SIZE	LENGTH	SIZE
980	SPRINKLER HEAD MANHOLE	2306.76	2306.50	2305.50 (2910)	675	450	6.000
978	HEADWALL	2304.84		2303.60 (2910)	675	450	6.000
979	JUNCTION BOX	2303.64	2303.40	2302.40 (2910)	675	450	6.000
976	JUNCTION BOX	2301.64	2301.40	2300.40 (2910)	675	450	6.000
975	HEADWALL	2304.84		2303.60 (2910)	675	450	6.000
974	HEADWALL	2304.84		2303.60 (2910)	675	450	6.000
973	HEADWALL	2304.84		2303.60 (2910)	675	450	6.000
972	HEADWALL	2304.84		2303.60 (2910)	675	450	6.000
971	HEADWALL	2304.84		2303.60 (2910)	675	450	6.000

NOT FOR CONSTRUCTION / PERMIT REVIEW ONLY

PROPOSED BLACK HILLS CENTER
 Wal-Mart # 3872-03
 RAPID CITY, PENNINGTON COUNTY, S.D.
 BY: THF, STONERIDGE DEVELOPMENT, LLC
 ST. LOUIS, MO

REVISIONS	BY

DRAWN BY: DMU/CRP
 CHECKED BY: KJW
 DATE: 12/08/2010
 SCALE: NO SCALE
 JOB NO: 08-140
 SHEET NUMBER:
C-T
 OF 88878

STRUCTURE AND PIPE TABLES



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