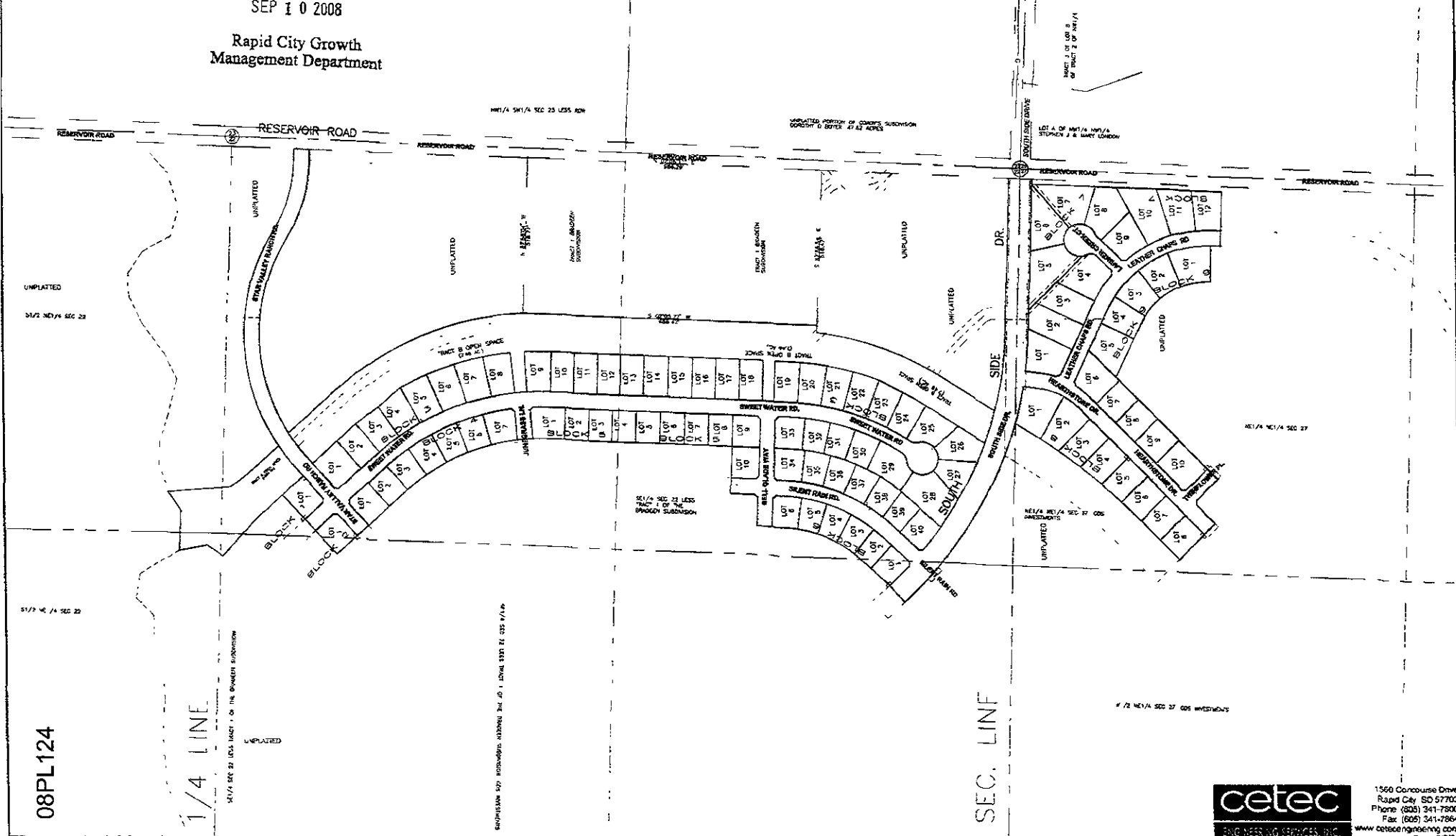


RECEIVED

SEP 10 2008
Rapid City Growth
Management Department

INDEX SHEET FOR PLAT OF MORNINGSTAR SUBDIVISION
LOT 1 OF BLOCK 1; LOT 1 OF BLOCK 2; LOTS 1-40 OF BLOCK 3; LOTS 1-7 OF BLOCK 4; LOTS 1-10
OF BLOCK 5; LOTS 1-8 OF BLOCK 6; LOTS 1-12 OF BLOCK 7; LOTS 1-8 OF BLOCK 8; LOTS 1-10 OF
BLOCK 9; TRACTS A, AND B; AND DEDICATED PUBLIC RIGHT-OF-WAY.
LOCATED IN THE SW1/4 NE1/4, SE1/4 NE1/4, SW1/4 NE1/4 OF SECTION 22 AND NE1/4 NE1/4,
SE1/4 NE1/4, SW1/4 NE1/4 OF SECTION 27
T1N, R9E, S24E
RAPID CITY, PENNINGTON COUNTY, SOUTH DAKOTA



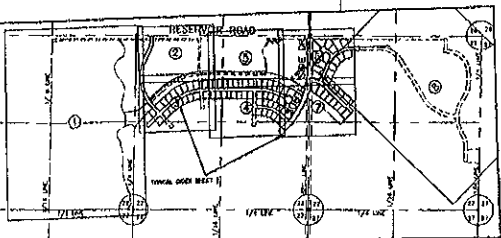
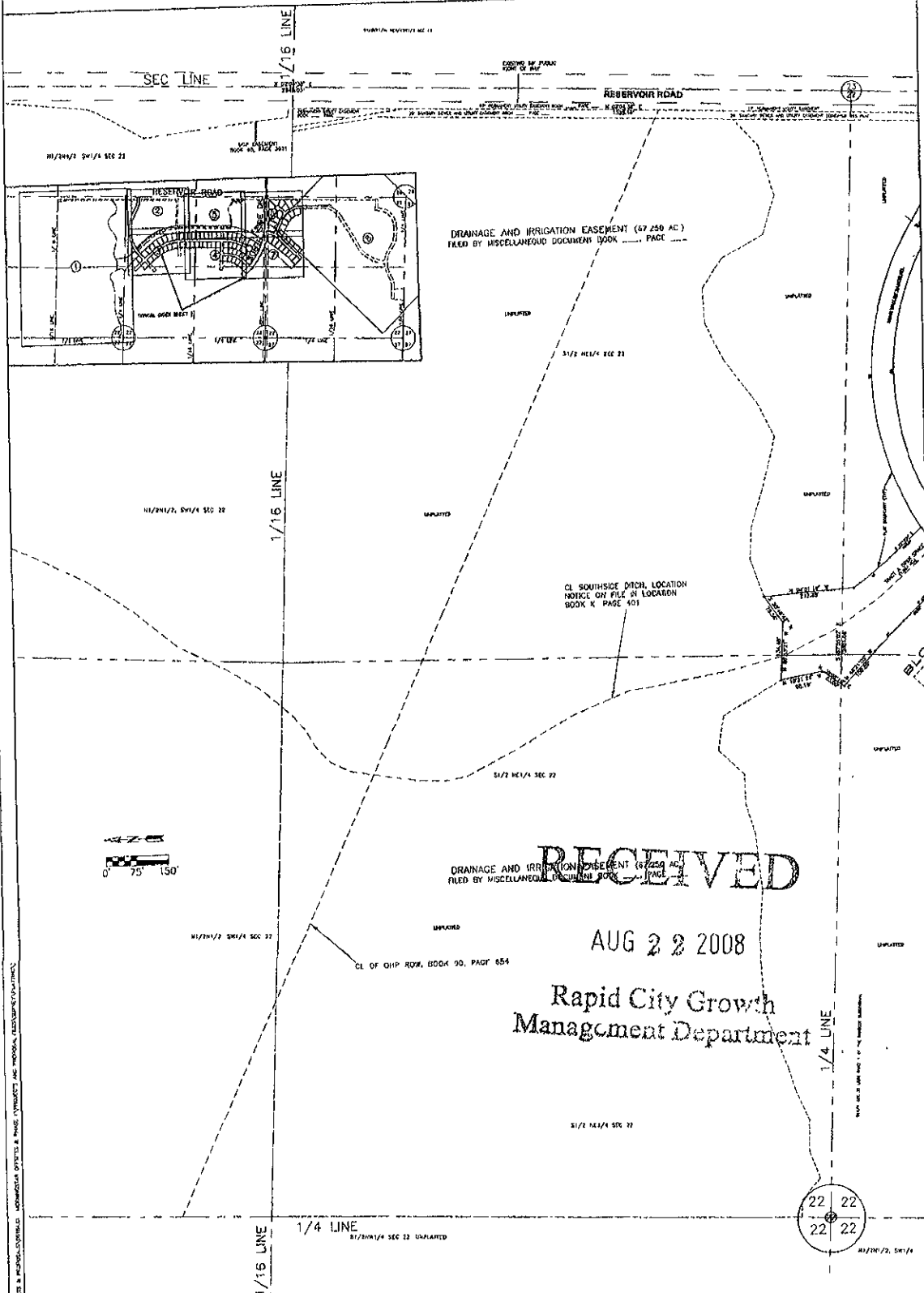
08PL124

1/4 LINE

SEC. LINE

PLAT OF MORNINGSTAR SUBDIVISION
LOT 1 OF BLOCK 1; LOT 1 OF BLOCK 2; LOTS 1-40 OF BLOCK 3; LOTS 1-7 OF BLOCK 4; LOTS 1-10 OF BLOCK 5; LOTS 1-6 OF BLOCK 6; LOTS 1-12 OF BLOCK 7; LOTS 1-8 OF BLOCK 8; LOTS 1-10 OF BLOCK 9; TRACTS A, AND B; AND DEDICATED PUBLIC RIGHT-OF-WAY.

LOCATED IN THE SW1/4 NE1/4, SE1/4 NE1/4, SE1/4 OF SECTION 27 AND NE1/4 NE1/4, SE1/4 NE1/4, SW1/4 NE1/4 OF SECTION 27
T1N, R8E, B1H.M.
RAPID CITY, PENNINGTON COUNTY, SOUTH DAKOTA



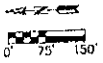
DRAINAGE AND IRRIGATION EASEMENT (67.250 AC)
FILED BY MISCELLANEOUS DOCUMENT BOOK _____ PAGE _____

CL SOUTHSIDE DITCH LOCATION
NOTICE ON FILE IN LOCATION
BOOK _____ PAGE 401

RECEIVED
DRAINAGE AND IRRIGATION EASEMENT (67.250 AC)
FILED BY MISCELLANEOUS DOCUMENT BOOK _____ PAGE _____

AUG 22 2008

Rapid City Growth
Management Department



NOTES

- All major drainage easements shown herein shall be kept free of all obstructions including but not limited to buildings, walls, fences, hedges, trees and shrubs. These easements grant to all public authorities the right to construct, operate, maintain, inspect and repair such improvements and structures as it deems expedient to facilitate drainage from any source.
- Building Setback requirements are as stated in the zoning and/or platting regulations.
- Utility and Minor Drainage Easements - B on the interior side of all front, side and rear lot lines.
- Total right-of-way dedicated by this plat is 11,012 acres.
- Pursuant to SDCL §§ 3-3-8.1 and 3-3-2, The Developer of the property described within the Plat shall be responsible for protecting any waters of the State, including groundwater, located adjacent to or within such platted area from pollution from sewage from such subdivision and shall in prosecution of such protection conform to and follow all regulations of the State of South Dakota Department of Environment and Natural Resources relating to the same.
- All platted Roadways shall be dedicated Public Right-of-Way.
- All easements outside of platted boundary will be filed by miscellaneous documents.

- LEGEND
- SET 5/8" REBAR W/ CAP MARKED CETEC LS 4725
 - FOUND SURVEY MONUMENT
 - ▨ NON ACCESS EASEMENT

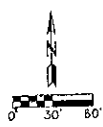
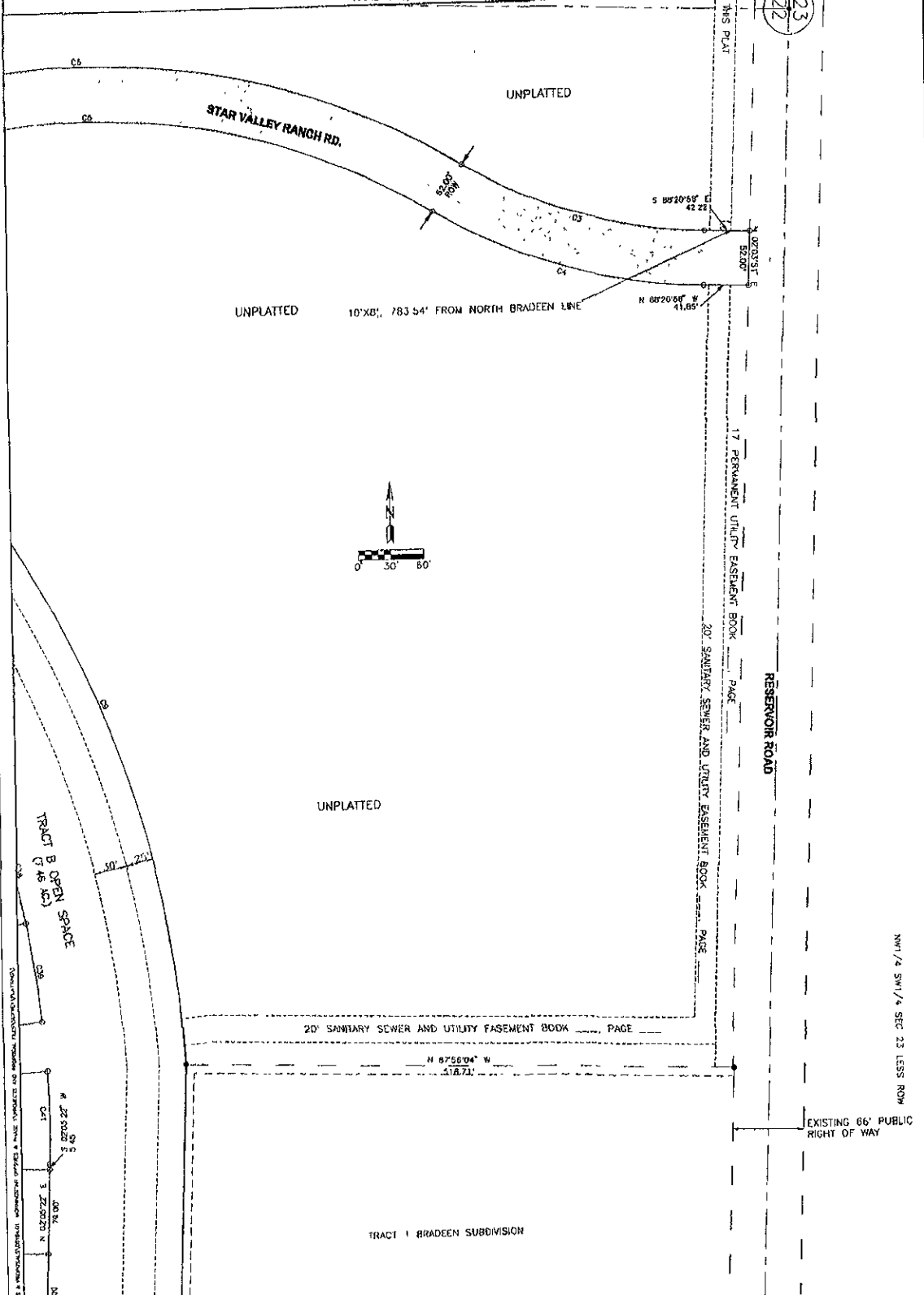
cetec

480 S. Broadway Blvd
Rapid City, SD 57701
Phone (605) 341-1800
Fax (605) 341-1868
www.cetec-engineers.com
DUP 8/2008

PLAT OF MORNINGSTAR SUBDIVISION

LOT 1 OF BLOCK 1; LOT 1 OF BLOCK 2; LOTS 1-40 OF BLOCK 3; LOTS 1-7 OF BLOCK 4; LOTS 1-10 OF BLOCK 5; LOTS 1-6 OF BLOCK 6; LOTS 1-12 OF BLOCK 7; LOTS 1-8 OF BLOCK 8; LOTS 1-10 OF BLOCK 9; TRACTS A, AND B; AND DEDICATED PUBLIC RIGHT-OF-WAY.

LOCATED IN THE SW1/4 NE1/4, SE1/4 NE1/4, SE1/4 OF SECTION 22 AND NE1/4 NE1/4, SE1/4 NE1/4, SW1/4 NE1/4 OF SECTION 27 T1N, R9E, B11M, RAPID CITY, PENNINGTON COUNTY, SOUTH DAKOTA



TRACT B OPEN SPACE
(7.45 AC)

UNPLATED

20' SANITARY SEWER AND UTILITY EASEMENT BOOK ... PAGE ...

TRACT 1 BRADEEN SUBDIVISION

RESERVOIR ROAD

EXISTING 66' PUBLIC RIGHT OF WAY

- NOTES:**
- All major drainage easements shown herein shall be kept free of all obstructions including but not limited to buildings, walls, fences, hedgcs, trees and shrubs. These easements grant to all public authorities the right to construct, operate, maintain, inspect and repair such improvements and structures as it deems expedient to facilitate drainage from any source.
 - Building Setback requirements are as stated in the zoning and/or platting regulations.
 - Utility and Minor Drainage Easements - 3' on the interior side of all front, side and rear lot lines.
 - Total right-of-way dedicated by this plat 11,012 acres.
 - Pursuant to SDCL 10-3-3.1 and 10-3-3.2, The Developer of the property described within this Plat shall be responsible for protecting any waters of the State, including groundwater, located adjacent to or within such plotted area from pollution from sewage from such subdivision and shall in prosecution of such protection conform to and follow all regulations of the state of South Dakota Department of Environment and Natural Resources relating to the same.
 - All platted Roadways shall be dedicated Public Right-of-Way.
 - All easements outside of platted boundary will be filed by miscellaneous documents.

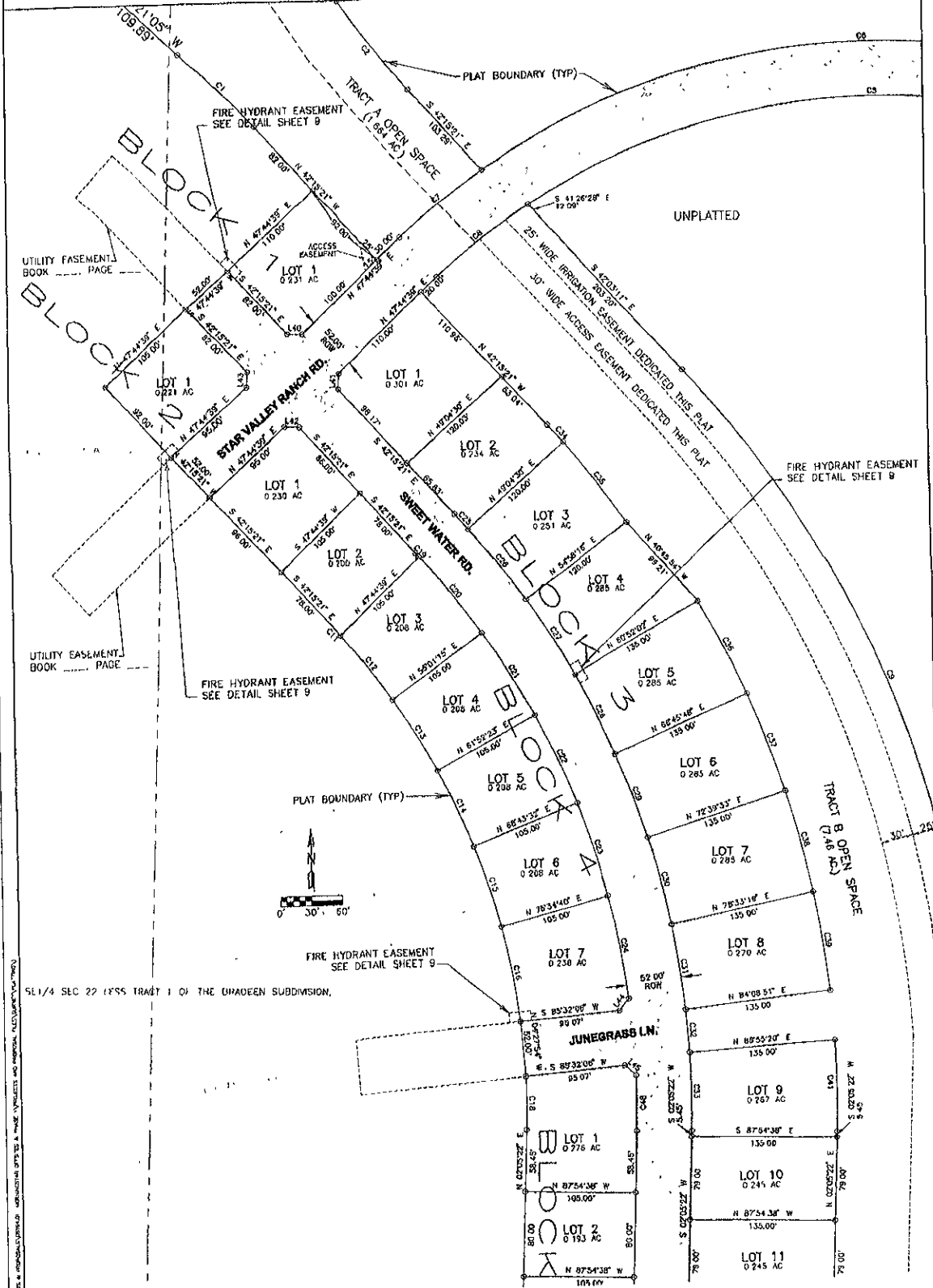
- LEGEND**
- SET 5/8" REBAR W/ CAP MARKED CETEC IS 4725
 - FOUND SURVEY MONUMENT
 - ▭ NON-ACCESS EASEMENT

cetec

1303 S. Governors Blvd.
Rapid City, SD 57702
Phone: 605-341-7500
Fax: 605-341-7444
www.cetecengineering.com
Date: 08/08/08

PLAT OF MORNINGSTAR SUBDIVISION
LOT 1 OF BLOCK 1; LOT 1 OF BLOCK 2; LOTS 1-40 OF BLOCK 3; LOTS 1-7 OF BLOCK 4; LOTS 1-10 OF BLOCK 5; LOTS 1-6 OF BLOCK 6; LOTS 1-12 OF BLOCK 7; LOTS 1-8 OF BLOCK 8; LOTS 1-10 OF BLOCK 9; TRACTS A, AND B; AND DEDICATED PUBLIC RIGHT-OF-WAY.

LOCATED IN THE SW1/4 NE1/4, SE1/4 NE1/4, SE1/4 OF SECTION 22 AND NE1/4 NE1/4, SE1/4 NE1/4, SW1/4 NE1/4 OF SECTION 27
T11N, R08E, B11M,
RAPID CITY, PENNINGTON COUNTY, SOUTH DAKOTA



SE1/4 SEC 22 (FSS TRACT 1) OF THE UNADEEN SUBDIVISION,

NOTES

- 1 All major drainage easements shown hereon shall be kept free of obstructions including but not limited to buildings, walls, fences, hedges, trees and shrubs. These easements grant to all public authorities the right to construct, operate, maintain, inspect and repair such improvements and structures as it deems expedient to facilitate drainage from any source.
- 2 Building Setback requirements are as stated in the zoning and/or platting regulations.
- 3 Utility and Minor Drainage Easements - 'U' on the interior side of all front, side and rear lot lines.
- 4 Total right-of-way dedicated by this plat 11012 acres.
- 5 Pursuant to SDCL 11-3-1 and 11-3-2, the Developer of the property described within this Plat shall be responsible for protecting any waters of the State, including groundwater, located adjacent to or within such platted area from pollution from sewage from such subdivision and shall in prosecution of such protection conform to and follow all regulations of the state of South Dakota Department of Environment and Natural Resources relating to the same.
- 6 All platted Roadways shall be Dedicated Public Right-of-Way.
- 7 All easements outside of platted boundary will be filed by miscellaneous documents.

LEGEND

- SET 5/8" REBAR W/ CAP MARKED CETER LS 4725
- FOUND SURVEY MONUMENT
- ▨ NON-ACCESS EASEMENT

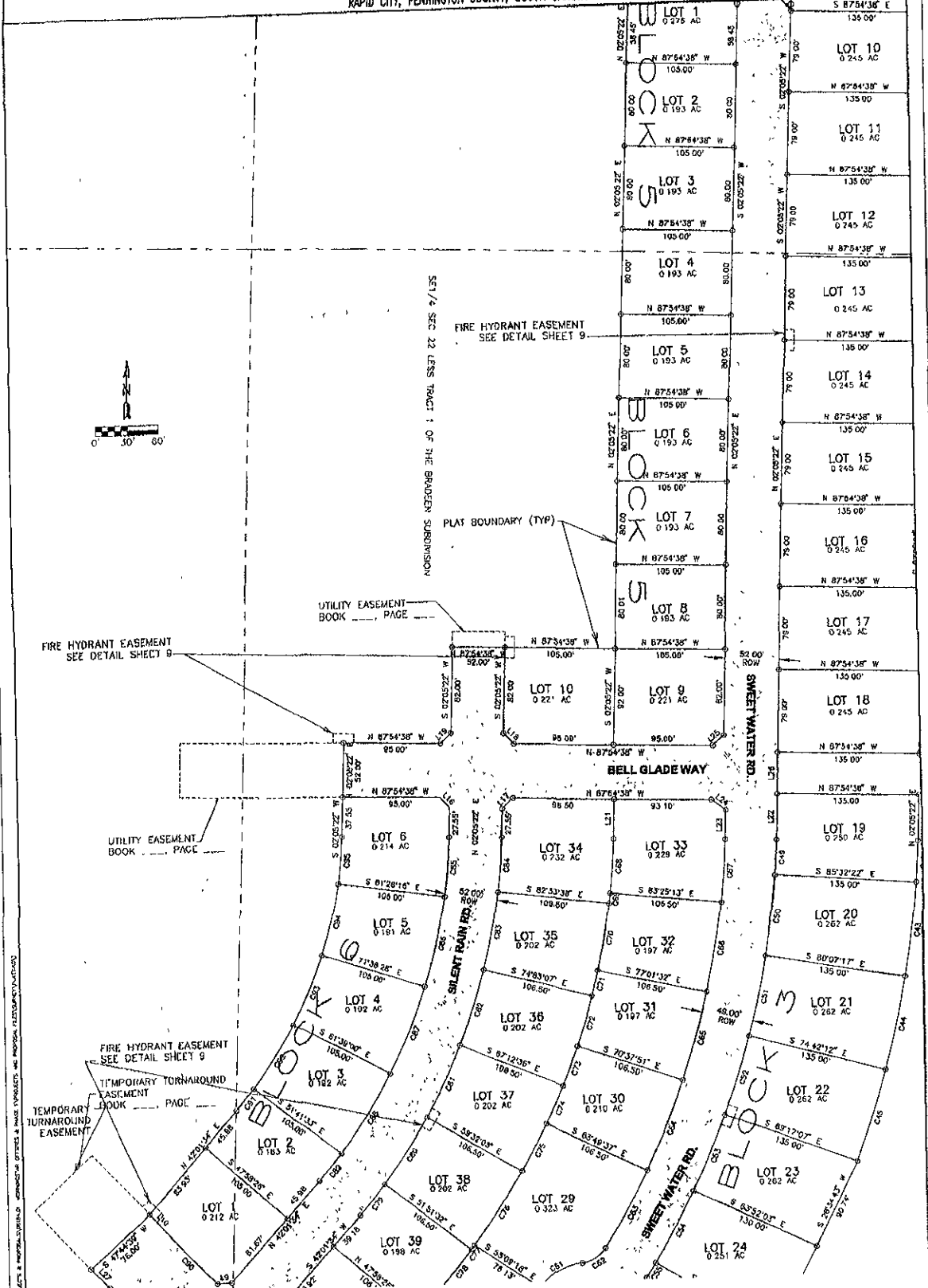
cetec
 1550 Delaware Drive
 Rapid City, SD 57703
 Phone: (605) 341-1800
 Fax: (605) 341-3304
 www.cetec-surveying.com
 Date: 8/16/08

PLAT OF MORNINGSTAR SUBDIVISION

LOT 1 OF BLOCK 1; LOT 1 OF BLOCK 2; LOTS 1--40 OF BLOCK 3; LOTS 1--7 OF BLOCK 4; LOTS 1--10 OF BLOCK 5; LOTS 1--6 OF BLOCK 6; LOTS 1--12 OF BLOCK 7; LOTS 1--8 OF BLOCK 8; LOTS 1--10 OF BLOCK 9; TRACTS A, AND B; AND DEDICATED PUBLIC RIGHT-OF-WAY.

LOCATED IN THE SW1/4 NE1/4, SE1/4 NE1/4, SE1/4 OF SECTION 22 AND NE1/4 NE1/4, SE1/4 NE1/4, SW1/4 NE1/4 OF SECTION 27 T11N R3E S11W.

RAPID CITY, PENNINGTON COUNTY, SOUTH DAKOTA



FIRE HYDRANT EASEMENT SEE DETAIL SHEET 8

FIRE HYDRANT EASEMENT SEE DETAIL SHEET 9

SE1/4 SEC 22 LESS TRACT 1 OF THE BROOKEN SUBDIVISION

PLAT BOUNDARY (TYP)

UTILITY EASEMENT BOOK PAGE

UTILITY EASEMENT BOOK PAGE

FIRE HYDRANT EASEMENT SEE DETAIL SHEET 9

TEMPORARY TURNAROUND EASEMENT BOOK PAGE

TEMPORARY TURNAROUND EASEMENT

NOTES

- All major drainage easements shown hereon shall be kept free of all obstructions including but not limited to buildings, walls, fences, hedges, trees and shrubs. These easements grant to all public authorities the right to construct, operate, maintain, inspect and repair such improvements and structures as it deems expedient to facilitate drainage from any source.
- Building Setback requirements are as stated in the zoning and/or platting regulations.
- Utility and Minor Drainage Easements - 8' on the interior side of all front, side and rear lot lines.
- Total right-of-way dedicated by this plat 11012 acres.
- Pursuant to SDCL 11-3-6.1 and 11-3-2, The Developer of the property described within this Plat shall be responsible for protecting any waters of the State, including groundwater, located adjacent to or within such platted area from pollution from sewage from such subdivision and shall in prosecution of such protection conform to and follow all regulations of the state of South Dakota Department of Environment and Natural Resources relating to the same.
- All platted Roadways shall be dedicated Public Right-of-Way.
- All easements outside of platted boundary will be filed by miscellaneous documents.

LEGEND

- SET 5/8" REBAR W/ GAP MARKED CATEC LS 4725
- FOUND SURVEY MONUMENT
- ▨ NON-ACCESS EASEMENT

catec

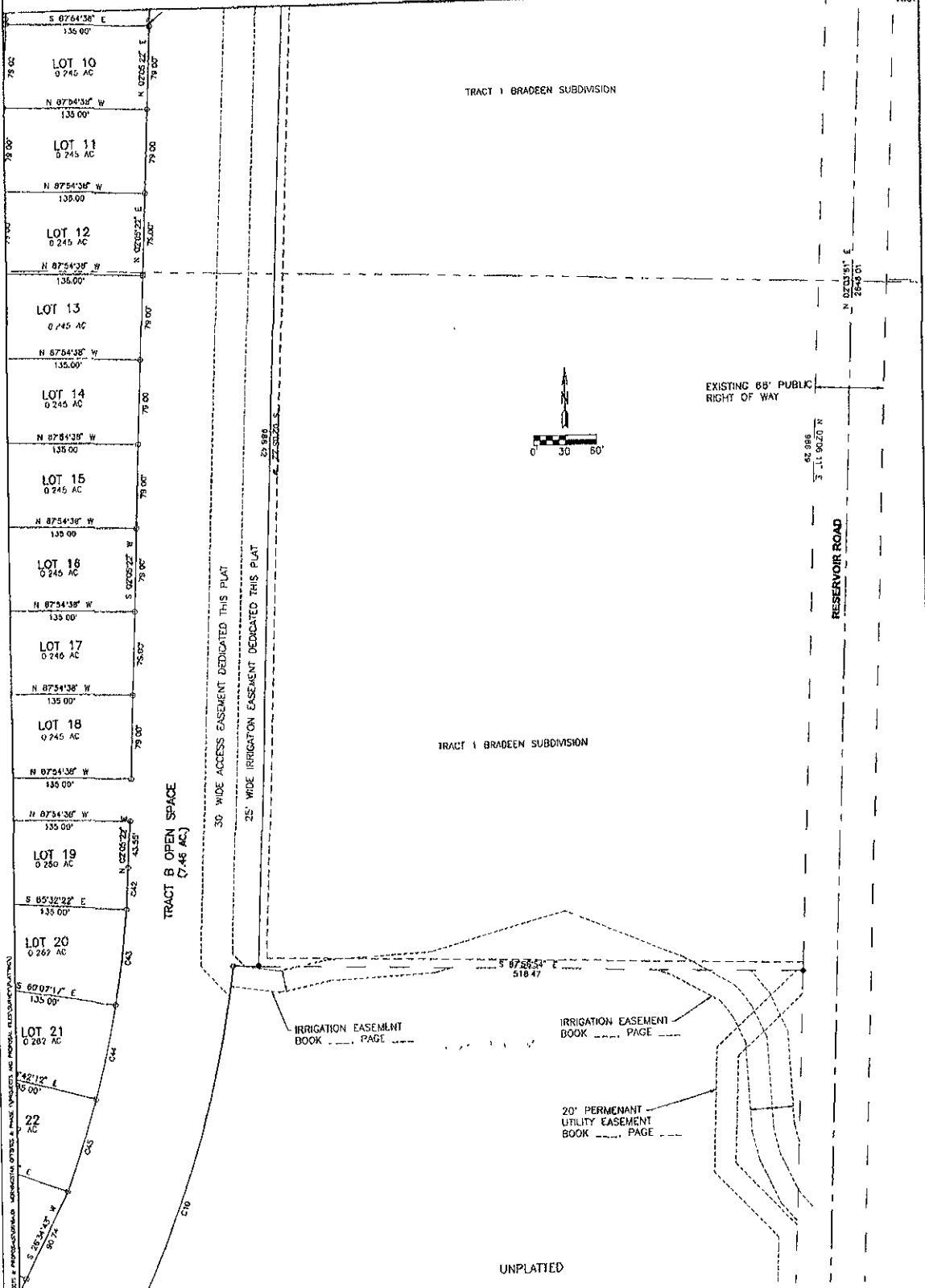
1888 Commercial Drive
Rapid City, SD 57702
Phone (605) 341-2285
Fax (605) 341-7004
www.catec-survey.com
Date: 08/08

PLAT OF MORNINGSTAR SUBDIVISION

LOT 1 OF BLOCK 1; LOT 1 OF BLOCK 2; LOTS 1-40 OF BLOCK 3; LOTS 1-7 OF BLOCK 4; LOTS 1-10 OF BLOCK 5; LOTS 1-6 OF BLOCK 6; LOTS 1-12 OF BLOCK 7; LOTS 1-8 OF BLOCK 8; LOTS 1-10 OF BLOCK 9; TRACTS A, AND B; AND DEDICATED PUBLIC RIGHT-OF-WAY.

LOCATED IN THE SW1/4 NE1/4, SE1/4 NE1/4, SE1/4 OF SECTION 22 AND NE1/4 NE1/4, SE1/4 NE1/4, SW1/4 NE1/4 OF SECTION 27 T11N, R06E, B11M.

RAPID CITY, PENNINGTON COUNTY, SOUTH DAKOTA



1. ALL DISTANCE MEASUREMENTS SHOWN HEREON SHALL BE KEPT FREE OF ALL OBSTRUCTIONS INCLUDING BUT NOT LIMITED TO BUILDINGS, WALLS, FENCES, HEDGES, TREES AND SHRUBS. THESE EASEMENTS GRANT TO ALL PUBLIC UTILITIES THE RIGHT TO CONSTRUCT, OPERATE, MAINTAIN, INSPECT AND REPAIR SUCH IMPROVEMENTS AND STRUCTURES AS IT DEEMS EXPEDIENT TO FACILITATE DRAINAGE FROM ANY SOURCE.
 2. BUILDING SETBACK REQUIREMENTS ARE AS STATED IN THE ZONING AND/OR PLATTING REGULATIONS.
 3. UTILITY AND MINOR DRAINAGE EASEMENTS - 8' ON THE INTERIOR SIDE OF ALL FRONT, SIDE AND REAR LOT LINES.
 4. TOTAL RIGHT-OF-WAY DEDICATED BY THIS PLAT 11.012 ACRES.
 5. PURSUANT TO SDCL §§ 3-3-1 AND 3-3-2, THE DEVELOPER OF THE PROPERTY DESCRIBED WITHIN THIS PLAT SHALL BE RESPONSIBLE FOR PROTECTING ANY WATERS OF THE STATE, INCLUDING GROUNDWATER, LOCATED ADJACENT TO OR WITHIN EACH PLOTTED AREA FROM POLLUTION FROM SEWAGE FROM SUCH SUBDIVISIONS AND SHALL IN PROTECTION OF SUCH PROTECTION CONFORM TO AND FOLLOW ALL REGULATIONS OF THE STATE OF SOUTH DAKOTA DEPARTMENT OF ENVIRONMENTAL AND NATURAL RESOURCES RELATING TO THE SAME.
 6. ALL PLOTTED ROADWAYS SHALL BE DEDICATED PUBLIC RIGHT-OF-WAY.
 7. ALL EASEMENTS OUTSIDE OF PLOTTED BOUNDARY WILL BE FILED BY MISCELLANEOUS DOCUMENTS.

- NOTES:**
- All major drainage easements shown hereon shall be kept free of all obstructions including but not limited to buildings, walls, fences, hedges, trees and shrubs. These easements grant to all public utilities the right to construct, operate, maintain, inspect and repair such improvements and structures as it deems expedient to facilitate drainage from any source.
 - Building Setback requirements are as stated in the zoning and/or plating regulations.
 - Utility and Minor Drainage Easements - 8' on the interior side of all front, side and rear lot lines.
 - Total right-of-way dedicated by this plat 11.012 acres.
 - Pursuant to SDCL §§ 3-3-1 and 3-3-2, The Developer of the property described within this Plat shall be responsible for protecting any waters of the State, including groundwater, located adjacent to or within each plotted area from pollution from sewage from such subdivisions and shall in protection of such protection conform to and follow all regulations of the state of South Dakota Department of Environmental and Natural Resources relating to the same.
 - All platted Roadways shall be dedicated Public Right-of-Way.
 - All easements outside of platted boundary will be filed by miscellaneous documents.

- LEGEND**
- SET 5/8" REBAR W/ CAP MARKED CETEC LS 4725
 - FOUND SURVEY MONUMENT
 - ▬ NON-ACCESS EASEMENT

cetec

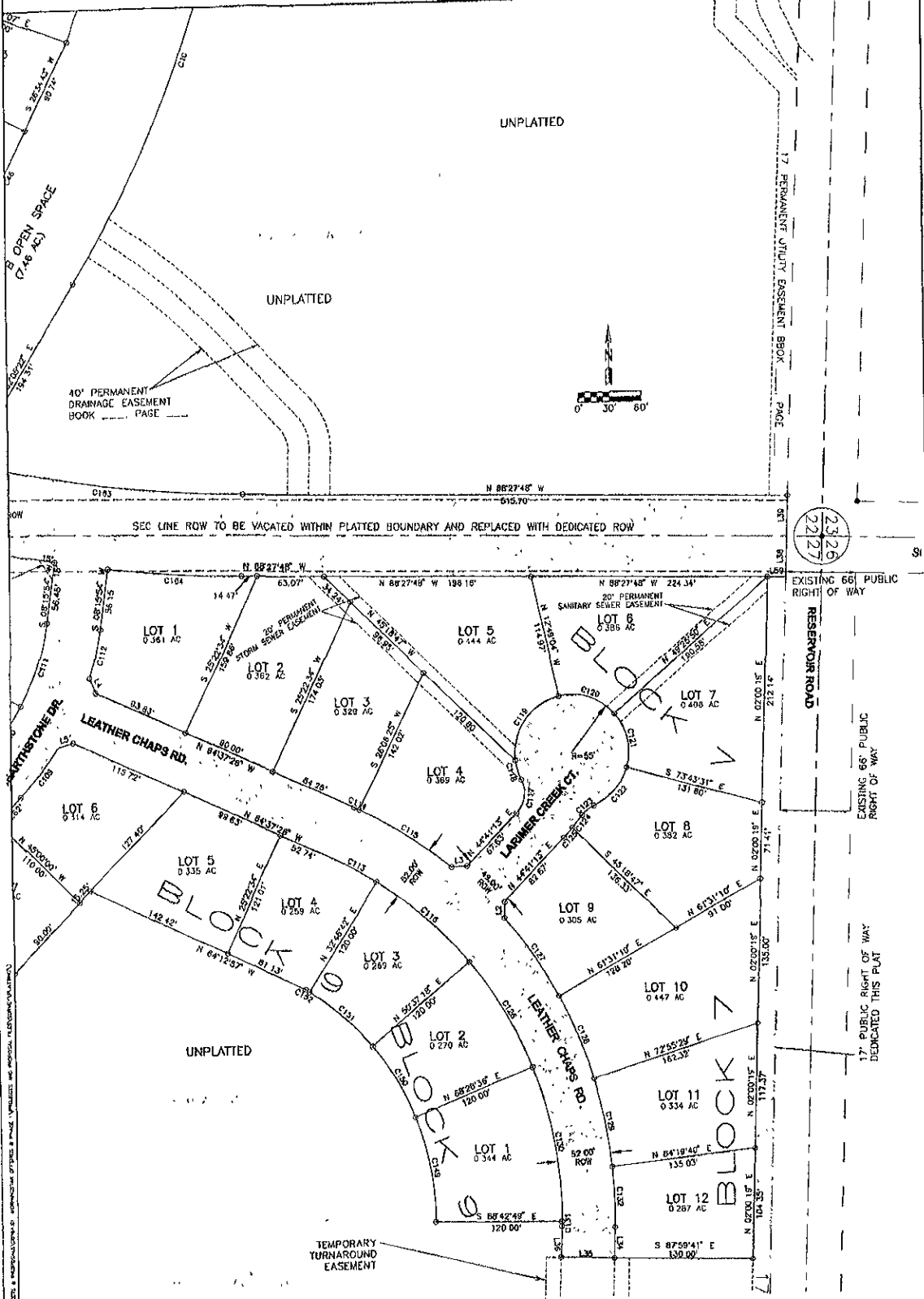
1650 Concord Drive
 Rapid City, SD 57702
 Phone: (605) 341-1300
 Fax: (605) 341-1304
 www.cetecsurvey.com
 Lic. # 4939

PLAT OF MORNINGSTAR SUBDIVISION

LOT 1 OF BLOCK 1; LOT 1 OF BLOCK 2; LOTS 1-40 OF BLOCK 3; LOTS 1-7 OF BLOCK 4; LOTS 1-10 OF BLOCK 5; LOTS 1-6 OF BLOCK 6; LOTS 1-12 OF BLOCK 7; LOTS 1-8 OF BLOCK 8; LOTS 1-10 OF BLOCK 9; TRACTS A, AND B; AND DEDICATED PUBLIC RIGHT-OF-WAY.

LOCATED IN THE SW1/4 NE1/4, SE1/4 NE1/4, SE1/4 OF SECTION 22 AND NE1/4 NE1/4, SE1/4 NE1/4, SW1/4 NE1/4 OF SECTION 27 T11N, R06E, S14M.

RAPID CITY, PENNINGTON COUNTY, SOUTH DAKOTA



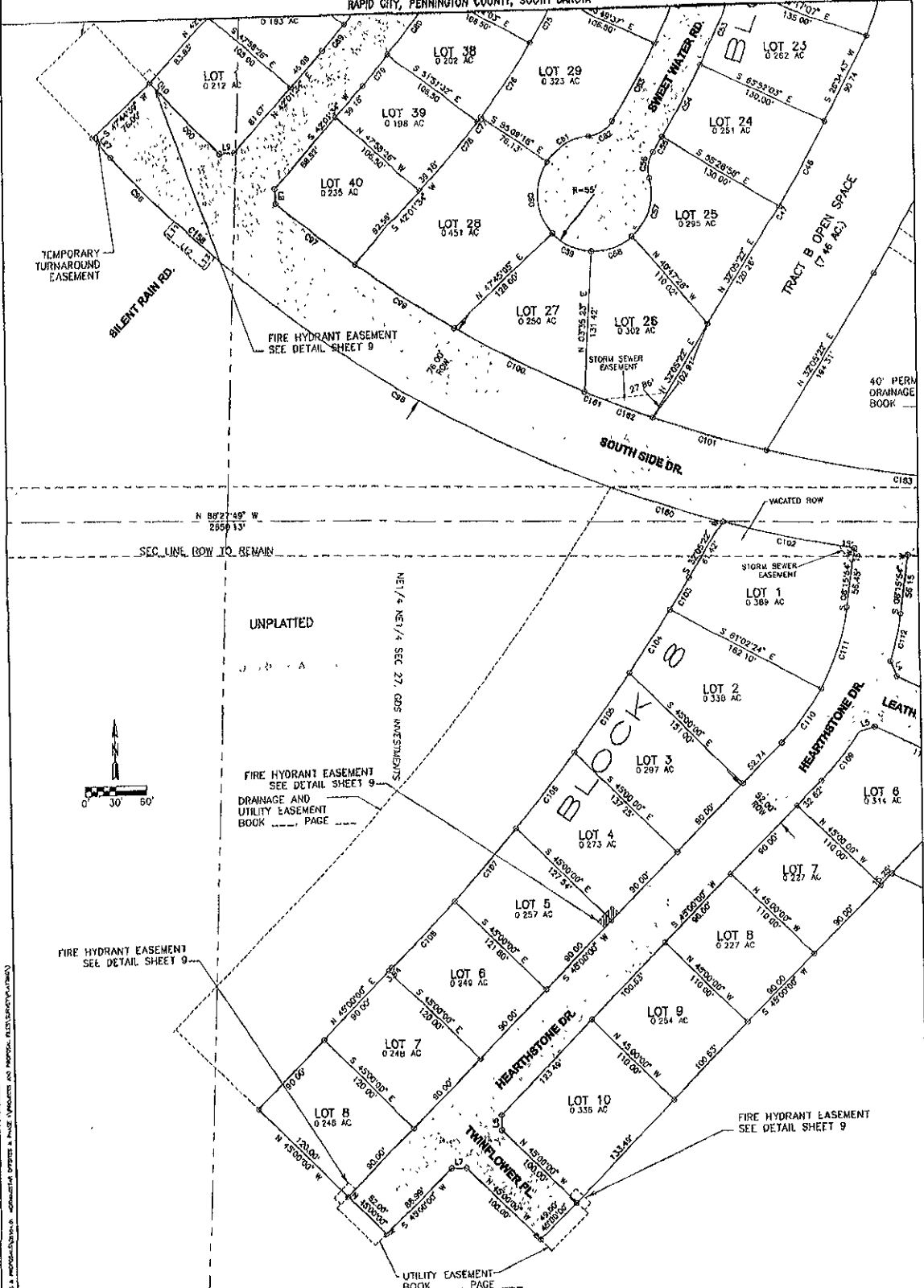
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 - All easements outside of platted boundary will be filed by miscellaneous documents.
- LEGEND**
- SET 5/8 REBAR W/ CAP MARKED CETEC LS 4725
 - FOUND SURVEY MONUMENT
 - ▬ NON-ACCESS EASEMENT
- cetec**
- 1800 Comanche Drive
Rapid City, SD 57701
Phone: (605) 341-7200
Fax: (605) 341-1984
www.cetecinc.com
Date: 02/06/09

PLAT OF MORNINGSTAR SUBDIVISION

LOT 1 OF BLOCK 1; LOT 1 OF BLOCK 2; LOTS 1-40 OF BLOCK 3; LOTS 1-7 OF BLOCK 4; LOTS 1-10 OF BLOCK 5; LOTS 1-6 OF BLOCK 6; LOTS 1-12 OF BLOCK 7; LOTS 1-8 OF BLOCK 8; LOTS 1-10 OF BLOCK 9; TRACTS A, AND B; AND DEDICATED PUBLIC RIGHT-OF-WAY.

LOCATED IN THE SW 1/4 NE 1/4, SE 1/4 NE 1/4, SE 1/4 OF SECTION 22 AND NE 1/4 NE 1/4, SE 1/4 NE 1/4, SW 1/4 NE 1/4 OF SECTION 27

T1N, R9E, B14M
RAPID CITY, PENNINGTON COUNTY, SOUTH DAKOTA



NOTES:

- All major drainage easements shown hereon shall be kept free of all obstructions including but not limited to buildings, walls, fences, bridges, trees and shrubs. These easements grant to all public authorities the right to construct, operate, maintain, inspect and repair such improvements and structures as it deems expedient to facilitate drainage from any source.
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- Utility and Minor Drainage Easements - 8' on the interior side of all front and rear lot lines.
- Total right-of-way dedicated by this plat, 11.012 acres.
- Pursuant to SDCL II-3-81 and II-3-2, The Developer of the property described within this Plat shall be responsible for protecting any waters of the State, including groundwater, located adjacent to or within such platted area from pollution from sewage from such subdivision and shall in prosecution of such protection conform to and follow all regulations of the state of South Dakota Department of Environment and Natural Resources relating to the same.
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LEGEND

- SET 5/8" REBAR W/ CAP MARKED CETEC LS 4725
- FOUND SURVEY MONUMENT
- ||||| NON-ACCESS EASEMENT

cetec

1500 Concourse Drive
Rapid City, SD 57703
Phone: (605) 341-7900
Fax: (605) 341-7904
www.cetecplanning.com
Date: 05/18/08