

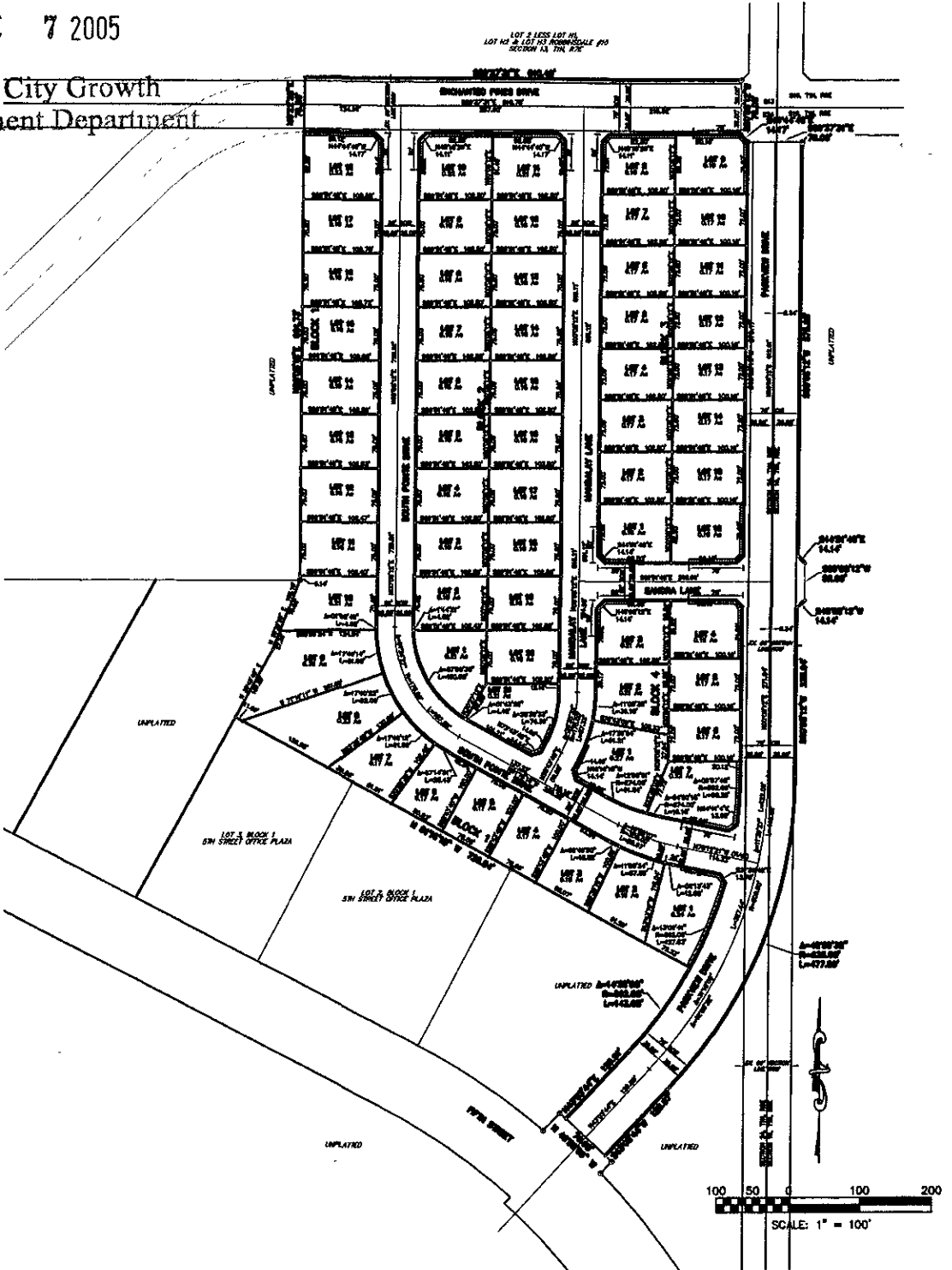
SOUTH POINTE SUBDIVISION

LOTS 1 THRU 18, BLOCK 1; LOTS 1 THRU 21, BLOCK 2; LOTS 1 THRU 18, BLOCK 3;
LOTS 1 THRU 7, BLOCK 4; AND DEDICATED RIGHT-OF-WAY
A PORTION OF THE E1/2NE1/4 SECTION 24
TOWNSHIP 1 NORTH, RANGE 7 EAST, B.H.M.,
PENNINGTON COUNTY, CITY OF RAPID CITY, SOUTH DAKOTA

RECEIVED

DEC 7 2005

Rapid City Growth
Management Department



NOTES:

NOTES:

- Denotes set 5/8" rebar with survey cap marked "ARLETH 3977".
 - ⊙ Denotes Found Survey Monument w/cap as noted.
 - EZZZ Denotes Non-Access Easement per this Plat
 - SSSS Denotes Drainage Easement per this Plat
1. MINOR DRAINAGE AND UTILITY EASEMENTS ARE HEREBY ESTABLISHED 4' WIDE ON THE INTERIOR SIDE OF ALL LOT LINES AND RIGHT-OF-WAY. (EXCEPT WHERE MAJOR DRAINAGE EASEMENTS ARE LOCATED)
 2. TOTAL PLATTED AREA: 18.34 ACRES; LOTS: 11.81 ACRES; DEDICATED PUBLIC RIGHT-OF-WAY: 6.53 ACRES.
 3. ANY MAJOR DRAINAGE EASEMENT SHOWN HEREON SHALL BE FREE OF ALL OBSTRUCTIONS INCLUDING BUT NOT LIMITED TO BUILDINGS, WALLS, FENCES, HEDGES, TREES, AND SHRUBS. THESE EASEMENTS GRANT TO ALL PUBLIC AUTHORITIES THE RIGHT TO CONSTRUCT, OPERATE, MAINTAIN, INSPECT AND REPAIR SUCH IMPROVEMENTS AND STRUCTURES AS IT DEEMS EXPEDIENT TO FACILITATE DRAINAGE FROM ANY SOURCE.
 4. NON-ACCESS EASEMENTS ARE HEREBY ESTABLISHED ALONG THE FIRST FIFTY FEET OF CORNER LOTS OR AS INDICATED HEREON.
 5. ALL BUILDERS SHALL MAINTAIN EXISTING DRAINAGE FACILITIES IN ACCORDANCE TO APPROVED CONSTRUCTION ACREAGE SHOWN ON LOTS INCLUDE EASEMENTS.
 6. PLANS (RAPID CITY ENG. DIV. REQUESTED NOTE)



PREPARED BY:
ARLETH & ASSOCIATES

382 MAIN STREET
DEADWOOD, SD 57732
605-678-1637

JOB NO.
04-0059.10

DATE: 01/28/05
SCALE: 1" = 100'
DRAWN: ROC

APPROVED: _____
DWC: 2-PLAT.dwg

Prepared for
Dream Design International, Inc.
528 Kansas City Street, Suite 4
Rapid City, SD 57701
605.845.7774 engineer@dreamdesigninc.com