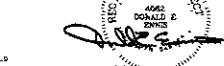
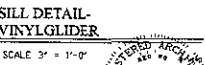
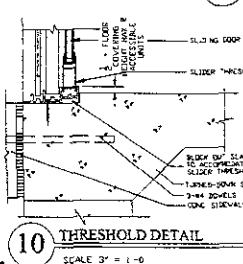
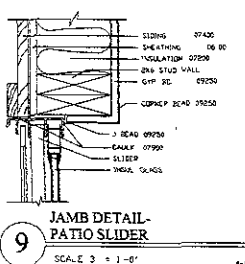
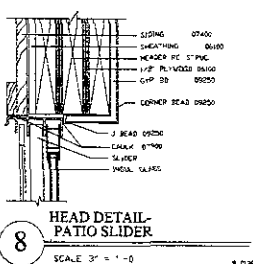
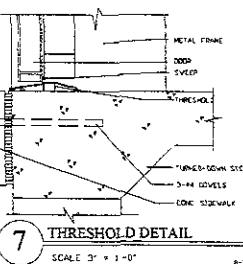
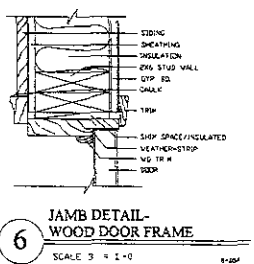
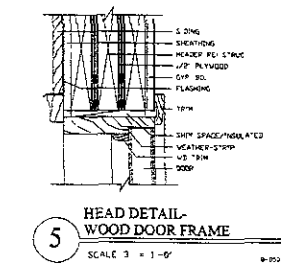
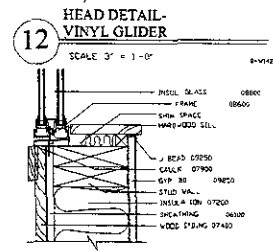
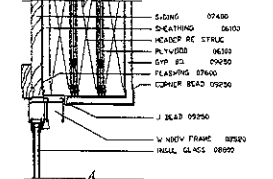
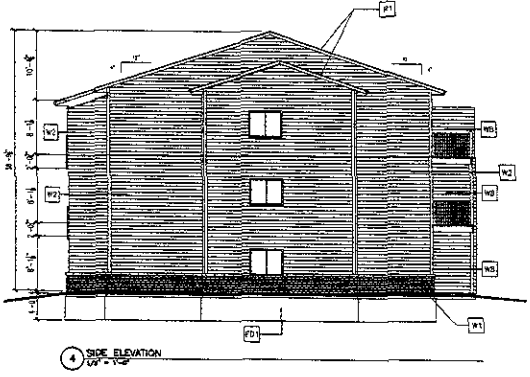
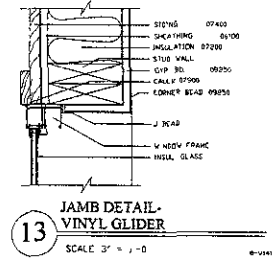
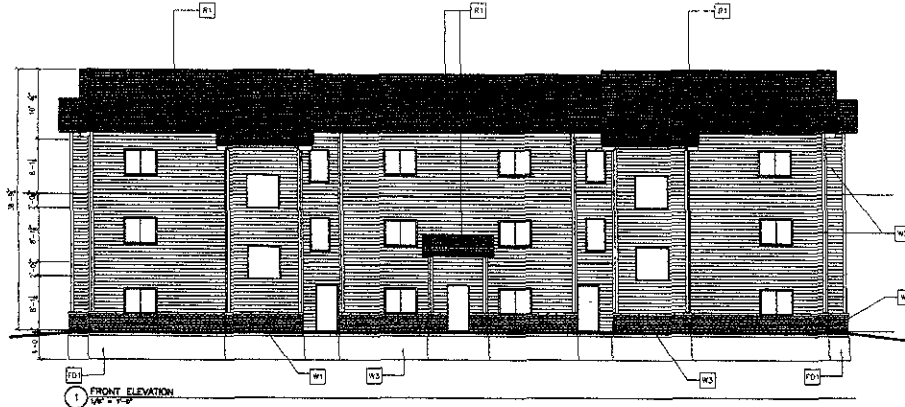
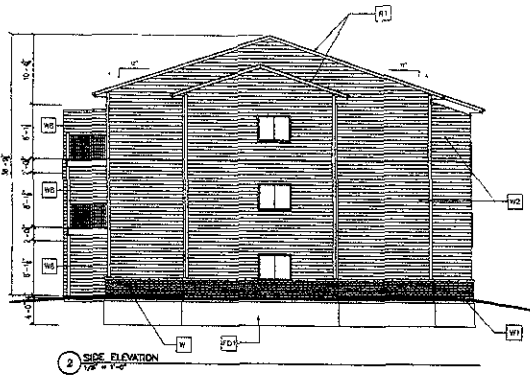
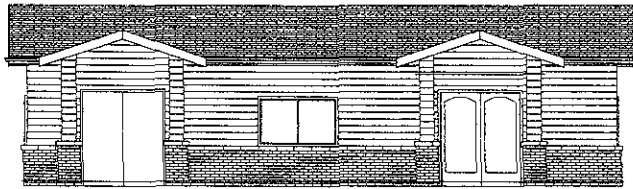


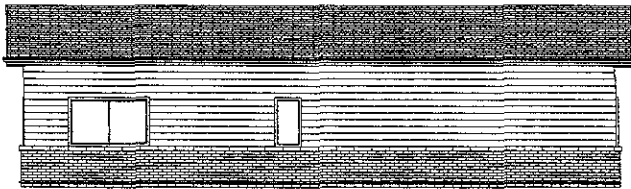
EAGLE RIDGE
APARTMENTS



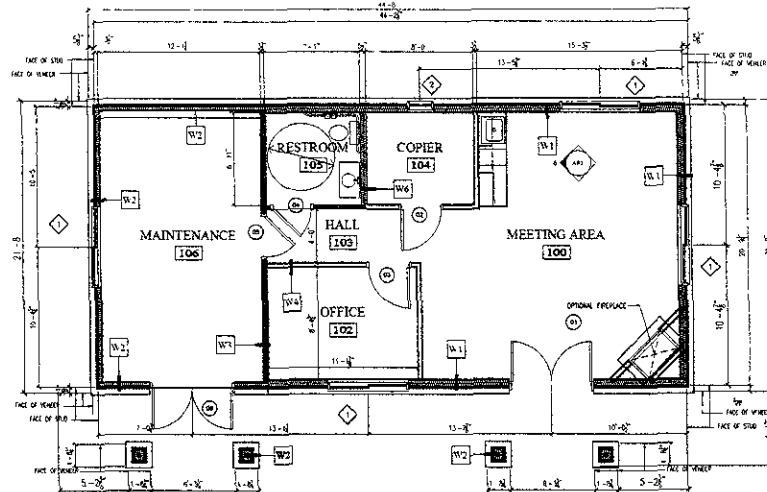
DATE	10/20/2011
BY	ENNIS ASSOCIATES
CHECKED	
DATE	
PROJECT NO.	08001
DATE AND FILE	10/20/2011
PROJECT NAME	EAGLE RIDGE APARTMENTS
SHEET FILE	
EXTERIOR ELEVATIONS	



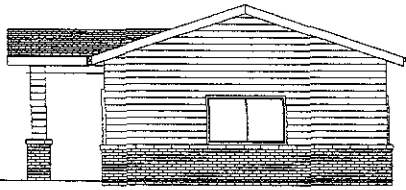
2 SOUTH ELEVATION



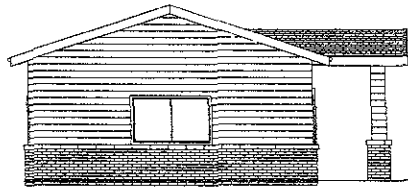
3 NORTH ELEVATION



1 LEASING OFFICE PLAN



4 EAST ELEVATION



5 WEST ELEVATION

LEASING OFFICE DOOR AND FRAME SCHEDULE

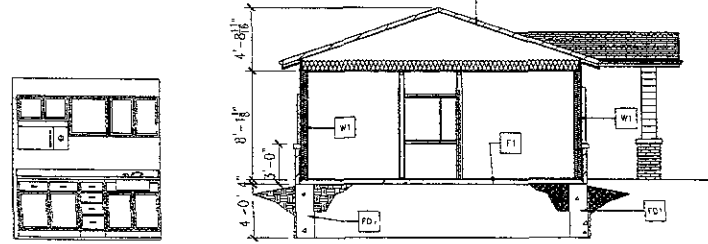
NO.	SIZE	MAT.	GLAZING	MAT.	FRAME	DETAIL	FIRE RATING LABEL	Hardware	NOTES
1	6'-0" x 6'-4" (3')	SC	INSULTEMP	VGD	S1.2	6-1.2 / 71.2	NA	1	
2	3'-0" x 6'-4" (3')	VGD			S1.2	4-1.2	NA	3	
3	3'-0" x 6'-4" (3')	VGD			S1.2	5-1.2	NA	3	
4	2'-0" x 6'-4" (3')	VGD			S1.2	6-1.2	NA	2	
5	3'-0" x 6'-4" (3')	VGD			S1.2	4-1.2	80 MIN	3	
6	3'-0" x 6'-4" (3')	SC			S1.2	6-1.2 / 71.2	NA	2	

WINDOW SCHEDULE

NO.	SIZE	MAT.	GLAZING	MAT.	FRAME	DETAIL	FIRE RATING LABEL	Hardware	NOTES
1	6'-0" x 3'-0"	VPRFL	GLDRN	INSGL					
2	3'-0" x 3'-0"	VPRFL	GLDRN	INSGL					

LEASING OFFICE WINDOW SCHEDULE

NO.	UNIT HEIGHT	MATERIAL	TYPE	GLAZING	REMARKS	NOTES
1	6'-0"	VPRFL	GLDRN	INSGL		
2	3'-0"	VPRFL	GLDRN	INSGL		



6 ELEVATION OF LEASING OFFICE PLAN

7 LEASING SECTION

Architecture and Planning
13694 Turnpike Court
Broomfield, Colorado 80020
(303) 485-2663 / Fax (303) 410-1782
e-mail: ennis.associates@comcast.net

EAGLE RIDGE APARTMENTS

29TH STREET, GREELEY, CO
SPIRIT HOSPITALITY
4836 South College, Fort Collins,
Colorado 80525

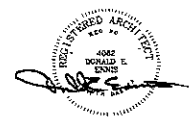
MATERIAL SYSTEMS LEGEND FOR LEASING OFFICE

- W1 - window wall
- W2 - window wall
- W3 - window wall
- W4 - window wall
- W5 - window wall
- W6 - window wall
- W7 - window wall
- W8 - window wall
- W9 - window wall
- W10 - window wall
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- W96 - window wall
- W97 - window wall
- W98 - window wall
- W99 - window wall
- W100 - window wall

RECEIVED

OCT 14 2005

Rapid City Growth Management Department



INTERSECTION BUILDING CODE 2003
OCCUPANCY: B-1 Leasing office/retailer
CONSTRUCTION TYPE: 1-B
AREA: 908 SF

NO.	DATE	DESCRIPTION
1	10/14/05	Construction
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LEASING OFFICE

A9.1
SHEET 1 OF 1

ENNIS ASSOCIATES
Architecture and Planning
13004 Turnberry Court
Broomfield, Colorado 80020
(303) 485-2063 Fax: (303) 410-1762
e-mail: ennis@ennisassociates.net

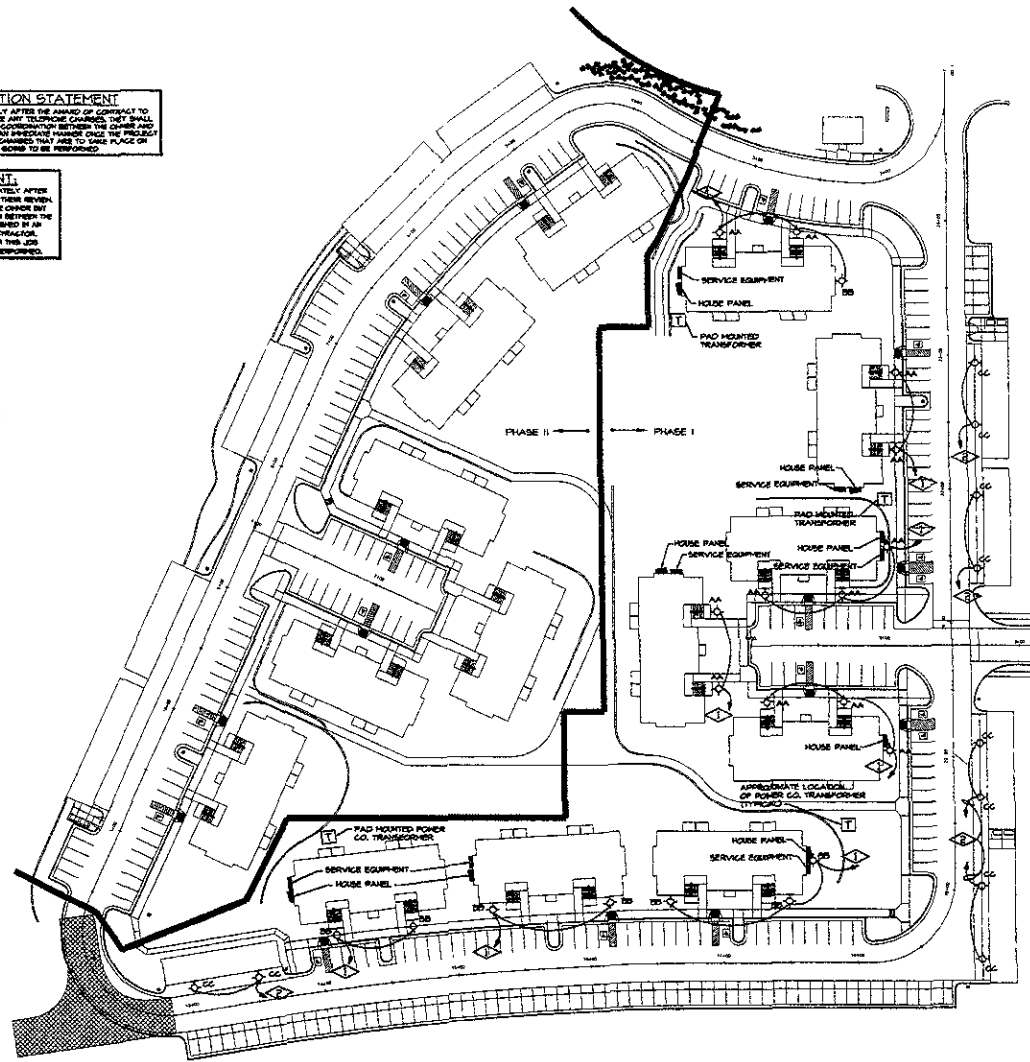
**EAGLE RIDGE
APARTMENTS**
CATRON BLVD & 5TH STREET
RAPID CITY SOUTH DAKOTA

TELEPHONE COMPANY COORDINATION STATEMENT
THIS CONTRACTOR SHALL SUBMIT ELECTRICAL DRAWINGS IMMEDIATELY AFTER THE AWARD OF CONTRACT TO THE LOCAL TELEPHONE COMPANY FOR THEIR REVIEW. IF THERE ARE ANY TELEPHONE CHANGES THEY SHALL BE MADE BY THE OWNER OF THIS CONTRACTOR. ALL COORDINATION BETWEEN THE CONTRACTOR AND THE TELEPHONE COMPANY AND THIS SHALL BE ACCOMPLISHED IN AN IMMEDIATE MANNER ONCE THE PROJECT IS APPROVED TO THE CONTRACTOR. COORDINATE ALL UTILITY CHANGES THAT ARE TO TAKE PLACE ON THIS JOB WITH RESPECT TO THE ELECTRICAL WORK THAT IS GOING TO BE PERFORMED.

UTILITY COORDINATION STATEMENT
THIS CONTRACTOR SHALL SUBMIT ELECTRICAL DRAWINGS IMMEDIATELY AFTER THE AWARD OF CONTRACT TO THE LOCAL UTILITY COMPANY FOR THEIR REVIEW. IF THERE ARE ANY UTILITY CHANGES THEY SHALL BE MADE BY THE OWNER. THE CONTRACTOR SHALL PROVIDE ALL REQUIRED COORDINATION BETWEEN THE OWNER AND THE UTILITY COMPANY AND THIS SHALL BE ACCOMPLISHED IN AN IMMEDIATE MANNER ONCE THE PROJECT IS APPROVED TO THE CONTRACTOR. COORDINATE ALL UTILITY CHANGES THAT ARE TO TAKE PLACE ON THIS JOB WITH RESPECT TO THE ELECTRICAL WORK THAT IS GOING TO BE PERFORMED.

- DETAIL NOTES**
- ◆ CONNECT WITH 24K FIBER VIA PHOTOCELL CONTROL TO BLAMP CIRCUIT BREAKER IN HOUSE PANEL SERVING BUILDING
 - ◆ CONNECT WITH 24K FIBER VIA PHOTOCELL CONTROL TO BLAMP CIRCUIT BREAKER IN GARAGE PANEL SERVING BUILDING

- LEGEND:**
- ◆ AA 250 WATT METAL HALIDE HALL PACK AS SPECIFIED BY CONTRACTOR
 - ◆ BB 400 WATT METAL HALIDE HALL PACK AS SPECIFIED BY CONTRACTOR
 - ◆ CC 10 WATT METAL HALIDE HALL PACK AS SPECIFIED BY CONTRACTOR



1 SITE PLAN - ELECTRICAL
1" = 40'-0"

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Rapid City Growth
Management Department



NO.	DATE	REVISION

PROJECT NO: 04070
 CD SHEET FILE: 7074
 COMMENTS:

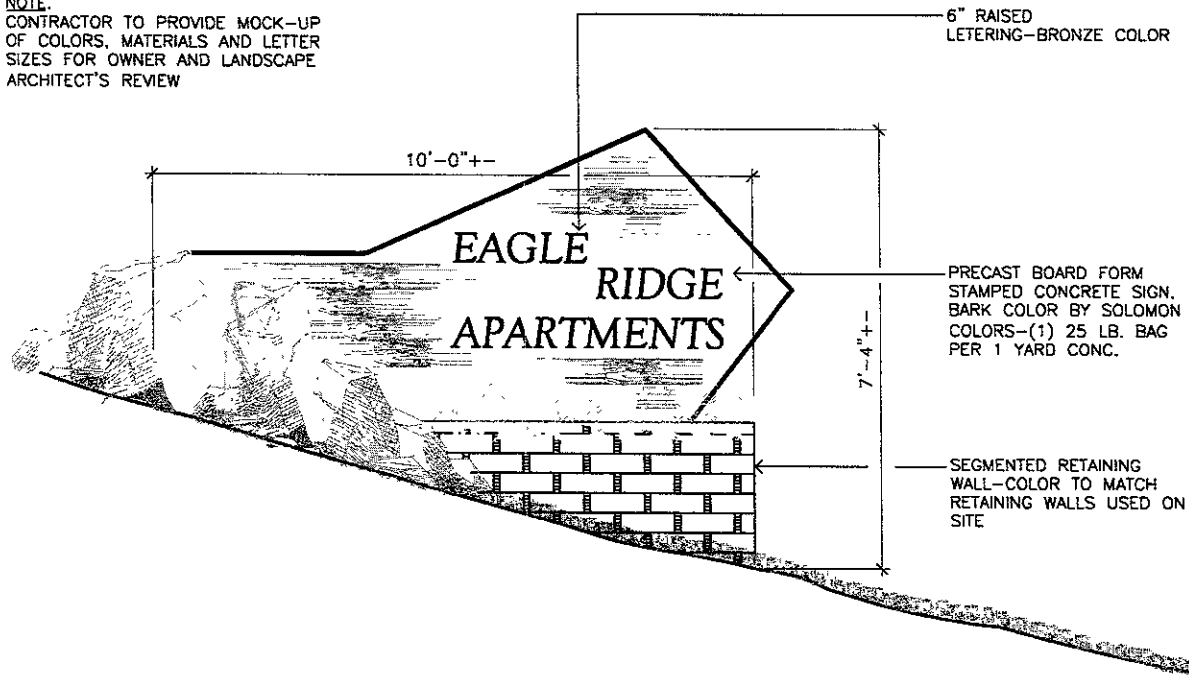
SEED TAIL
**ELECTRICAL
 SITE PLAN**
 E1.0
 SHEET 6

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Rapid City Growth
Management Department

NOTE:
CONTRACTOR TO PROVIDE MOCK-UP
OF COLORS, MATERIALS AND LETTER
SIZES FOR OWNER AND LANDSCAPE
ARCHITECT'S REVIEW



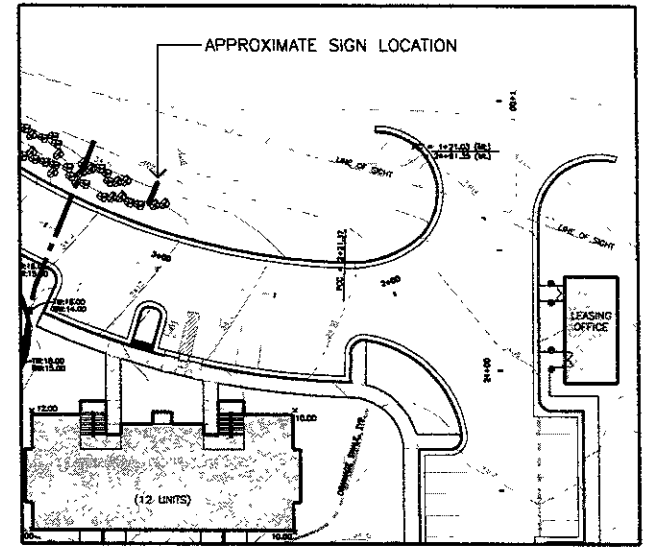
6" RAISED
LETTERING—BRONZE COLOR

PRECAST BOARD FORM
STAMPED CONCRETE SIGN,
BARK COLOR BY SOLOMON
COLORS—(1) 25 LB. BAG
PER 1 YARD CONC.

SEGMENTED RETAINING
WALL—COLOR TO MATCH
RETAINING WALLS USED ON
SITE

ELEVATION: ENTRANCE SIGN

SCALE: 1/2"=1'-0"



PLAN: ENTRANCE SIGN

SCALE: 1"=50'



Wyss
Associates, Inc.

Landscape Architecture - Golf Course Architecture - Parks & Recreation Design

728 Sixth Street Rapid City, South Dakota 57701-3670 605.348.2268 Fax 605.348.0506 email: info@wyssassociates.com