

JAN 28 2005

Rapid City Growth
Management Department

ATTACHMENT A

ADDRESS:

LOT A ^{> OF LOT 14}
LOT B ₇₈

1626 EVERGREEN DRIVE
NO ADDRESS ASSIGNED

LEGAL DESCRIPTION:

LOT A AND LOT B ^{> OF LOT 14} ₇₈ LESS THE NORTH 80 FEET
OF THE EAST 225 FEET, SCHAMBER SUBDIVISION,
SE 1/4 OF THE SE 1/4 OF SECTION 4, T1N,
R7E, BHM, RAPID CITY, PENNINGTON COUNTY,
SOUTH DAKOTA.

PARCEL ID:

3704477006 (LOT A), 3704477043 (LOT B)

DESCRIPTION OF REQUEST:

CONSTRUCT A TWO STORY 8 UNIT APARTMENT
BUILDING ON EVERGREEN STREET WITH AN
ASPHALT PARKING LOT IN THE REAR YARD
INCLUDING A GARAGE AND TWO CARPORTS
AND CONSTRUCT TWELVE (12) TOWNHOUSES
IN SIX (6) BUILDINGS (DUPLEXES) WITH TWO
CAR GARAGES EACH.
CONSTRUCT A 20 FOOT WIDE ASPHALT
VEHICULAR ACCESS BETWEEN 32ND STREET
AND EVERGREEN DRIVE.

PHASING PLAN:

*A VERY REPUTABLE BUILDER IS
CURRENTLY INTERESTED IN THE LOTS
AND WOULD BUILD THE TOWNHOUSES
AS HE SEES APPROPRIATE. THE
APARTMENTS WOULD BE CONSTRUCTED
AFTER THE SALE OF THE LOTS TO
THE BUILDER.*

EVERGREEN TOWNHOMES & APARTMENTS

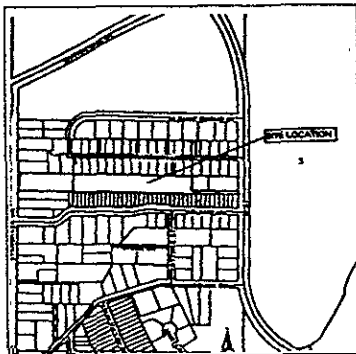
PREPARED FOR
BOBBY AND GENAE SUNDBY

JANUARY 2005

RECEIVED

JAN 28 2005

Rapid City Growth
Management Department



INDEX

- SHEET 1 - TITLE PAGE
- SHEET 2 - TOPOGRAPHIC MAP
- SHEET 3 - LAYOUT PLAN
- SHEET 4/6 - PLAN & PROFILES
- SHEET 7 - GRADING PLAN
- SHEET 8 - DETAILS

LEGEND

- FENCE LINE (CH. LINK & 3000)
- 20' --- CONTOUR LINE (1' INTERVALS)
- 20' --- CONTOUR LINE (5' INTERVALS)
- MARKER
- WATER LINE
- SANITARY SEWER LINE
- 60-42 --- STORM SEWER LINE
- OHP --- OVERHEAD POWER LINE
- POWER POLE
- GUY ANCHOR
- TELEPHONE JUNCTION BOX
- STREET CENTERLINE
- ☼ TREE
- ⊕ BURIED
- ⊙ FOUND PROPERTY OWNER
- FIRE HYDRANT
- ▲ CONTROL POINT
- WATER VALVE

UTILITY NOTE

THE LOCATIONS OF ANY EXISTING UTILITIES SHOWN HEREON ARE IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED. EXACT LOCATIONS OF UTILITIES SHALL BE DETERMINED BY THE OWNER, CONTRACTOR OR THE OWNER'S REPRESENTATIVE PRIOR TO ANY CONSTRUCTION. NOTIFY SOUTH DAKOTA ONE CALL CENTER: 1-800-781-7474

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THESE MAPS WERE PREPARED UNDER MY SUPERVISION AND THAT I AM DULY REGISTERED UNDER THE LAWS OF THE STATE OF SOUTH DAKOTA

STEVEN G. THIRNGELSTAD SD NO. 4377

PREPARED BY:
BRITTON ENGINEERING AND LAND SURVEYING, INC.
11750 N. HIGHWAY 79 ~ BLACK HAWK, SD PH. (605) 716-7988

PLANNED RESIDENTIAL DEVELOPMENT EVERGREEN TOWNHOUSES AND APARTMENTS RAPID CITY, SD

PROJECT DATA (2003 IBC)

PROPOSED USE:

CONSTRUCT A TWO STORY 8 UNIT APARTMENT BUILDING ON EVERGREEN STREET WITH AN ASPHALT PARKING LOT IN THE REAR YARD INCLUDING A GARAGE AND TWO CARPORTS AND CONSTRUCT TWELVE (12) TOWNHOUSES IN SIX (6) BUILDINGS (DUPLICES) WITH TWO CAR GARAGES EACH.
CONSTRUCT A 20 FOOT WIDE ASPHALT VEHICULAR ACCESS BETWEEN 32ND STREET AND EVERGREEN DRIVE.

LEGAL DESCRIPTION:

LOT A AND LOT B LESS THE NORTH 80 FEET OF THE EAST 226 FEET, SCHAMBER SUBDIVISION, SE 1/4 OF THE SE 1/4 OF SECTION 4, T1N, R7E, B1M, RAPID CITY, PENNINGTON COUNTY, SOUTH DAKOTA.

PARCEL ID:

3704477006 (LOT A), 3704477043 (LOT B)

ADDRESS:

1026 EVERGREEN DRIVE
NO ADDRESS ASSIGNED

PARCEL ZONING:

MDR (MEDIUM DENSITY RESIDENTIAL)

ADJACENT PARCELS ZONING:
NORTH PARCEL ZONING:
EAST PARCEL ZONING:
SOUTH PARCEL ZONING:
WEST PARCEL ZONING:

MDR
MDR
MDR
MDR

EXISTING LOTS SF:

107,688.3 SF TOTAL

LOT A: 31,283 SF
LOT B: 76,406 SF

NEW LOTS SF:

107,688.3 SF TOTAL

APARTMENT LOT 18,953.4 SF (1 LOT)
FIRST DUPLEX LOT: 12,513.7 SF (1 LOT)
2 THRU 12 DUPLEX LOTS 6,929.2 SF (11 LOTS)

NUMBER OF UNITS ON ORIGINAL LOTS - ALLOWED / PROPOSED:

LOT A (31078.5 - 5000) / 1500 = 17 (17.3) UNITS ALLOWED / 8 UNITS PROPOSED (OK)
LOT B (76406 - 5000) / 1500 = 47 (47.6) UNITS ALLOWED / 12 UNITS PROPOSED (OK)

NUMBER OF UNITS ON PROPOSED LOTS - ALLOWED / PROPOSED:

8 (8.3) UNITS ALLOWED / 8 UNITS PROPOSED (OK)
TOTAL DUPLEX LOTS (88,734 - 5,000) / 1500 = 55 (55.8) UNITS ALLOWED / 12 UNITS PROPOSED (OK)

OCCUPANCY TYPE(S):

R-2 APARTMENTS (8) AND R-3 DUPLEXES (12)

BUILDING TYPE:

APARTMENT BUILDING:
DUPLICES:

V-B
V-B

ALLOWABLE STORES / PROPOSED STORES:

APARTMENT BUILDING:
DUPLICES:

2 ALLOWED / 2 PROPOSED
3 ALLOWED / 1 PROPOSED WITH BASEMENT

AUTOMATIC SPRINKLER SYSTEM REQUIREMENTS:

APARTMENT BUILDING:
DUPLICES:

REQUIRED / PROVIDED
NONE REQUIRED / NONE PROVIDED

ALLOWABLE BUILDING SF: 1 STORY / 2 STORIES:

APARTMENT:
ALLOWED:

7,000 SF
20,120 SF MAIN FLOOR /
40,241 SF TOTAL FOR BUILDING

DUPLICES:

ALLOWED

UNLIMITED SF

BUILDING(S) SF:

APARTMENT:

APARTMENT:
PRIVATE MAIN LEVEL PATIOS (4): 1,440 SF MAX
PRIVATE SECOND LEVEL DECKS (4): 1,440 SF MAX
APARTMENT GARAGES (2 SPACES): 86 SF MAX
APARTMENT CARPORTS (2): 528 SF MAX
SIX DUPLEX BUILDINGS (12 UNITS):
TOTAL LIVING SPACE SF FOR 12 UNITS:
MAIN LEVEL PER UNIT: 1,440 SF MAX
GARDEN LEVEL (BASEMENT): 1,440 SF MAX
DECK SF PER UNIT: 86 SF MAX
GARAGE SF PER UNIT: 528 SF MAX

4,024 SF MAIN LEVEL / 8,048 SF TOTAL (OK)
228 SF TOTAL
228 SF TOTAL
480 SF
2,300 SF

17,280 SF MAIN LEVEL TOTAL 12 UNITS
17,280 SF GARDEN LEVEL TOTAL 12 UNITS
792 SF TOTAL 12 UNITS
6,336 SF TOTAL 12 UNITS

USABLE OPEN SPACES FOR APARTMENT:

REQUIRED: (400 X 8)
PROVIDED: (3025 + 2544)

3,200 SF
5,867 SF

FIRE FLOWS AVAILABLE:

(SEE ATTACHED TEST REPORTING SHEET):

2,267 GPM AT 20 PSI (1/24/05)

FIRE FLOWS REQUIRED FOR SPRINKLERED APARTMENTS:

1,500 GPM REQUIRED (SPRINKLERED) < 2,267 PROVIDED (OK)

LOT COVERAGE PERCENTAGES:

APARTMENT: GROSS ALLOWED / PROVIDED

30% < 37.4% ((4024+480+2300)/18653)

DUPLICES: GROSS ALLOWED / PROVIDED

30% > 28.4% ((1440+528)/8828)

BUILDING SETBACKS:

APARTMENT:

WEST (FRONT YARD)
NORTH (SIDE YARD)
EAST (REAR YARD)
SOUTH (SIDE YARD)

REQUIRED	PROVIDED
25 FEET	25 FEET (OK)
12 FEET	12 FEET (OK)
25 FEET	73 FEET (OK)
12 FEET	37'-10" (OK)

APARTMENT GARAGE:

WEST (FRONT YARD)
NORTH (SIDE YARD)
EAST (REAR YARD)
SOUTH (SIDE YARD)

90 FEET	182 FEET (OK)
5 FEET	5 FEET (OK)
5 FEET	5 FEET (OK)
5 FEET	72'-10" (OK)

APARTMENT CARPORTS (2):

WEST (FRONT YARD)
NORTH (SIDE YARD)
EAST (REAR YARD)
SOUTH (SIDE YARD)

90 FEET	136 FEET (OK)
5 FEET	5 FEET (OK)
5 FEET	5 FEET (OK)
5 FEET	25'-10" (OK)

EACH DUPLEX BUILDING (6):

SOUTH (FRONT YARD)
WEST (SIDE YARD)
NORTH (REAR YARD)
EAST (SIDE YARD)

25 FEET	30'-10" (OK)
8 FEET	8 FEET (OK)
25 FEET	25 FEET (OK)
8 FEET	8 FEET (OK)

PARKING REQUIREMENTS: REQUIRED / PROVIDED:

R-2 APARTMENTS (1.5 PER UNIT X 8 UNITS)

12 SPACES REQUIRED / 14 SPACES PROVIDED

R-3 DUPLEXES (2 PER UNIT X 12 UNITS)

24 SPACES REQUIRED / 24 SPACES PROVIDED GARAGES

LANDSCAPING FOR APARTMENT BUILDING: REQUIREMENTS:

SEE LANDSCAPE PLAN

LANDSCAPING PROVIDED:

SEE LANDSCAPE PLAN

LANDSCAPING REQUIREMENTS FOR DUPLEX BUILDINGS:

NOT APPLICABLE

DRAWING INDEX

- A.1 PROJECT DATA
A.2 LANDSCAPE PLAN / VICINITY MAP
A.3 APARTMENT, GARAGE AND CARPORTS ELEVATIONS
A.4 TOWNHOUSE ELEVATIONS OPTION
A.5 TOWNHOUSE ELEVATIONS OPTION
A.6 TOWNHOUSE ELEVATIONS OPTION
A.7 TOWNHOUSE ELEVATIONS OPTION

LIST OF EXTERIOR MATERIALS AND COLORS:

- ① ROOF SHINGLES:
--COMPOSITE OR ASPHALT SHINGLES
BROWN, GRAY AND/OR BLACK IN COLOR.
- ② EXTERIOR SIDING:
--CEDR. VUE HARDBOARD LAP SIDING IN
ACADEA, SIERRA AND/OR CEDAR COLORS.
--CEDR. VUE HARDBOARD LAP SIDING
CORNER, WINDOW AND DOOR RAPS
THAT ACCENT THE ACADEA, SIERRA,
AND/OR CEDAR COLORS.
- ③ EXTERIOR VENEER BRICK:
--HEBRON DESSERT COMMON (TAUP TO
GRAY WITH FLASH OF RED), HEBRON
HACHENA RIDGE (DENSE TAN WITH A
FLASH OF BROWN) AND/OR USED CHICAGO
COMMON (SAMMON TO TERRA-COTTA).
- ④ EXTERIOR DECKS:
--WOOD STAINED BROWN OR GRAY AND/OR
A COMPOSITE DECKING SYSTEM. WOOD
COLUMNS STAINED BROWN OR GRAY.
- ⑤ METAL CARPORTS:
--METAL COLUMNS, PURLINS AND ROOFING
IN A BROWN AND/OR GRAY COLOR.
- ⑥ PROPERTY LINE SIX FOOT FENCES:
--CEDAR STAINED BROWN OR GRAY.
- ⑦ EXTERIOR LIGHTING:
--SURFACE MOUNTED WALL FIXTURES.
- ⑧ CARPORT LIGHTING:
--SURFACE MOUNTED FLOURESCENT STRIP
FIXTURES MOUNTED TO UNDERSIDE OF
METAL ROOF PANEL.



PLANNED RESIDENTIAL DEVELOPMENT
RAPID CITY, SD

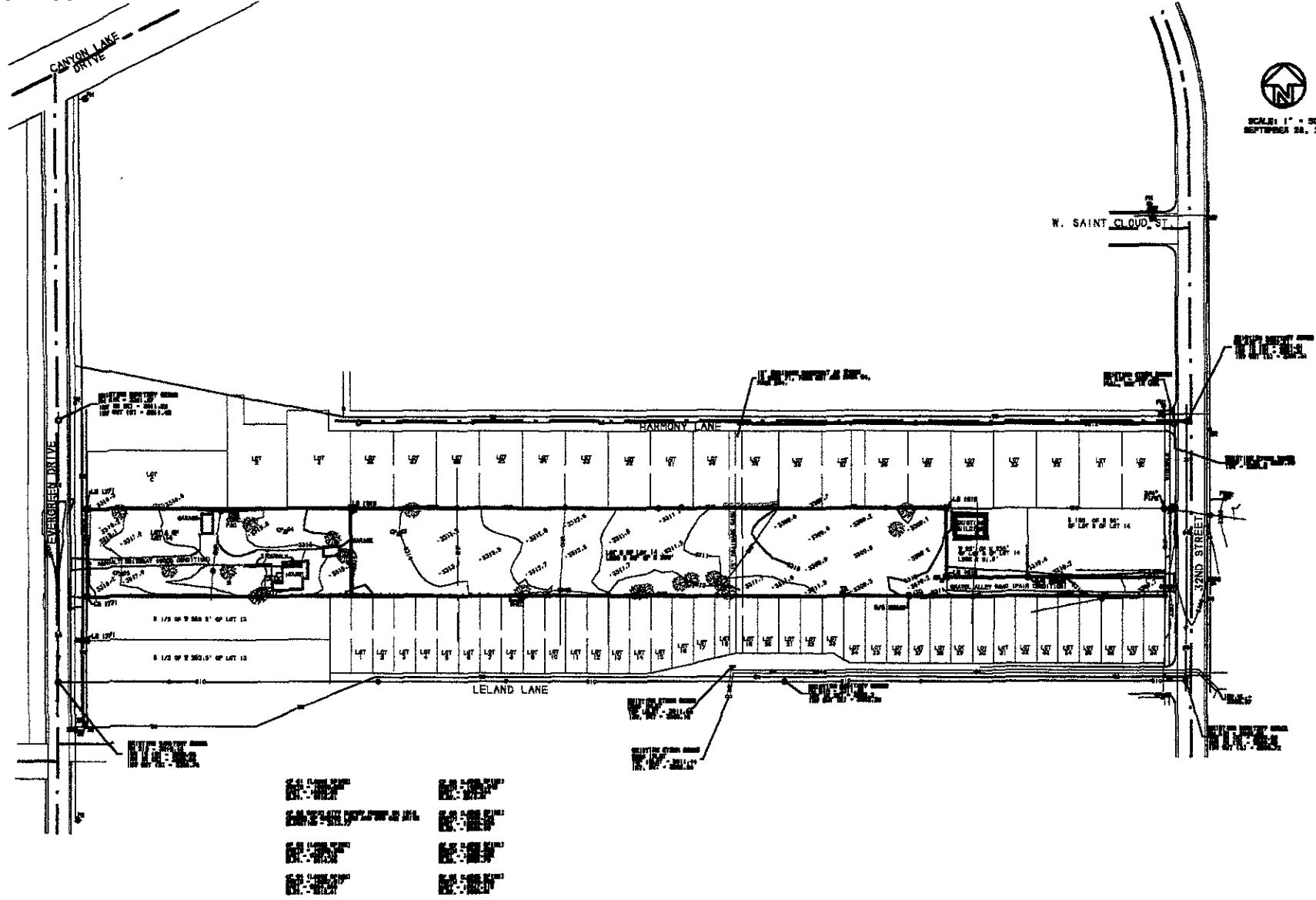
PROJECT DATA



A.1

EVERGREEN TOWNHOUSES AND APARTMENTS

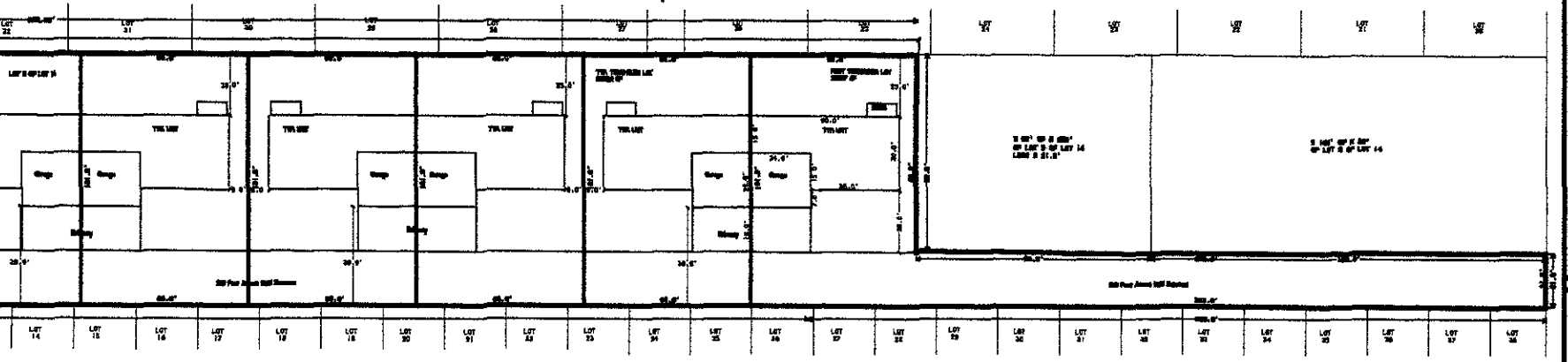
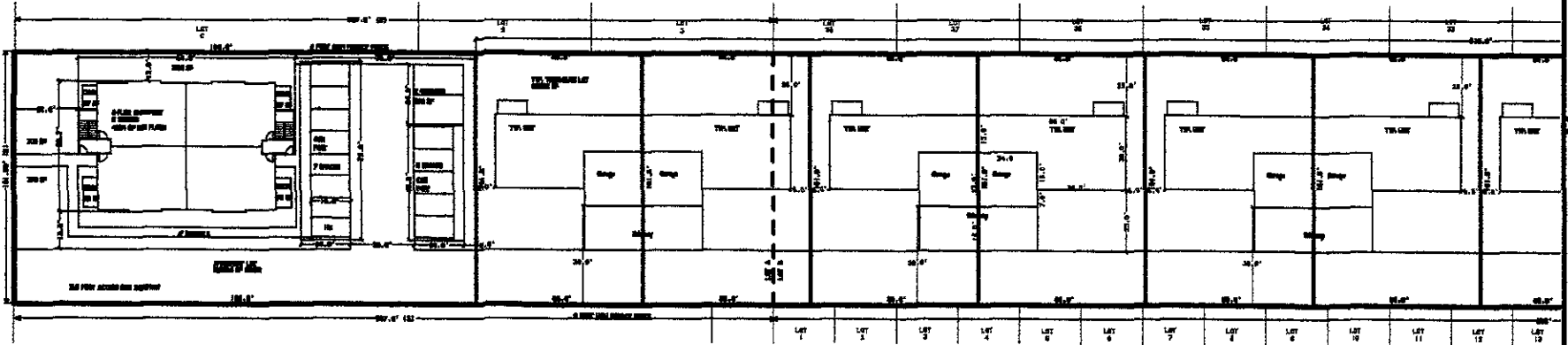
DATE:
02.24.04PROJECT NO.: 228
PLAN NO.: 228-Plan-05-1



BRITTON ENGINEERING & LAND SURVEYING, INC.
11750 N. HIGHWAY 79
BLACK HAWK, SD 57718
PH. (605) 716-7988

LOT A & LOT B OF 14 LESS N 80'
OF E 255' OF LOT 8, PLATTED,
SEC 4, T1N R7E, BHM, RAPID CITY
PENNINGTON COUNTY, SOUTH DAKOTA

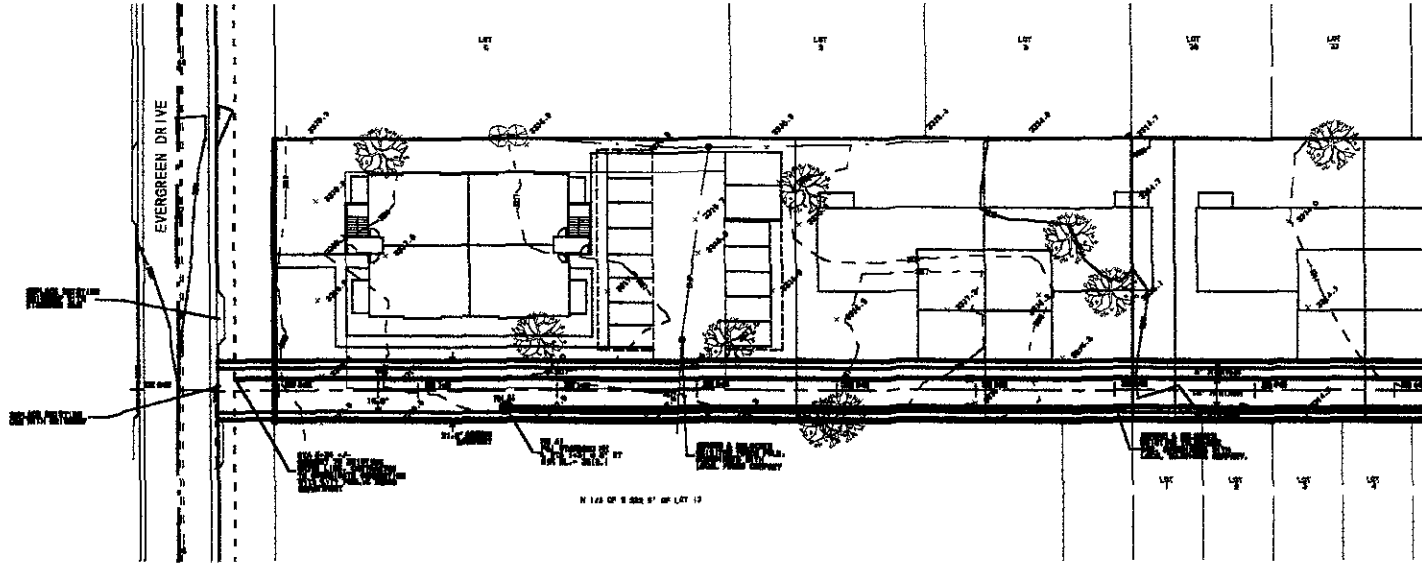
TOPOGRAPHIC MAP
EVERGREEN TOWNHOMES & APARTMENTS
BOBBY & GEMIE SUNDRY



BRITTON ENGINEERING & LAND SURVEYING, INC.
 11750 N. HIGHWAY 79
 BLACK HAWK, SD 57718
 PH. (605) 716-7988

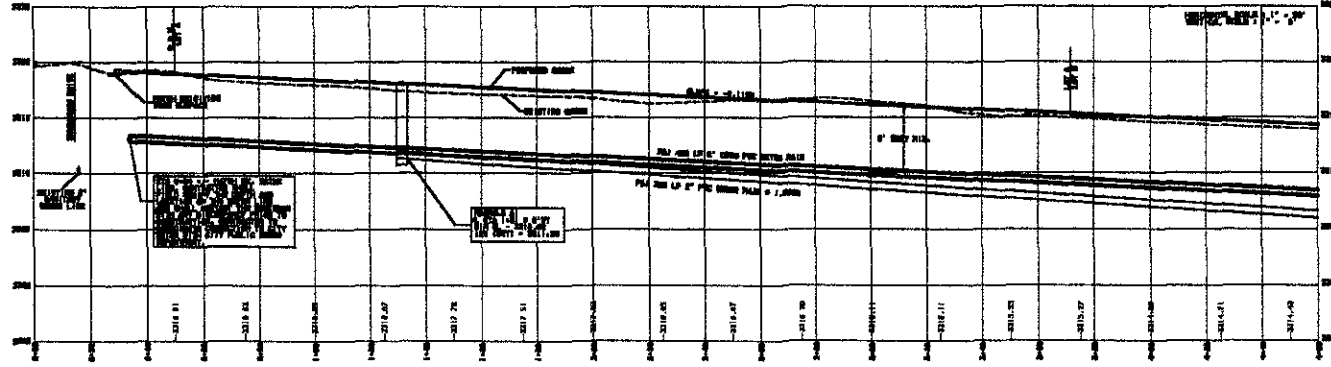
LOT A & LOT B OF 14 LESS N 80'
 OF E 255' OF LOT B, PLATTED,
 SEC 4, T1N, R7E, B1M, RAPID CITY
 PENNINGTON COUNTY, SOUTH DAKOTA

LAYOUT PLAN
 EVERGREEN TOWNHOMES & APARTMENTS
 BOBBY & GENAE SUNDBY

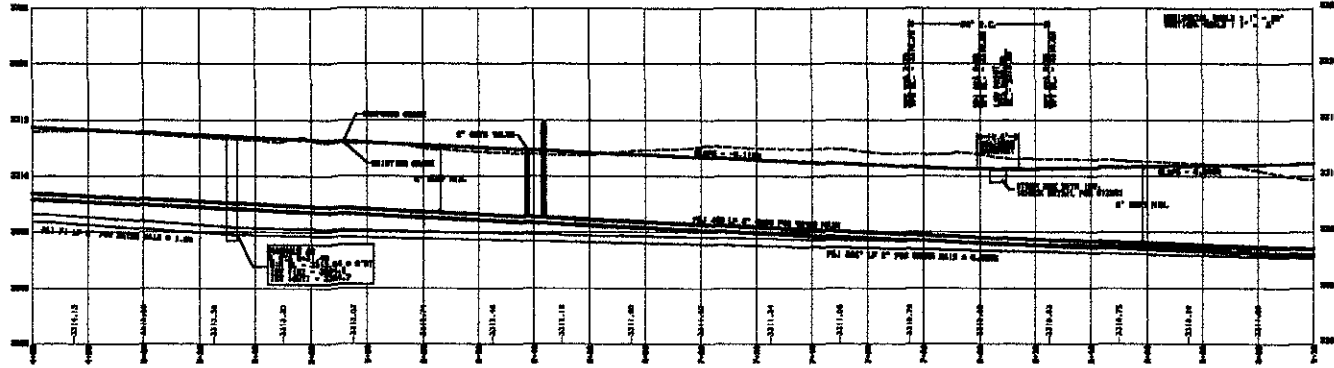
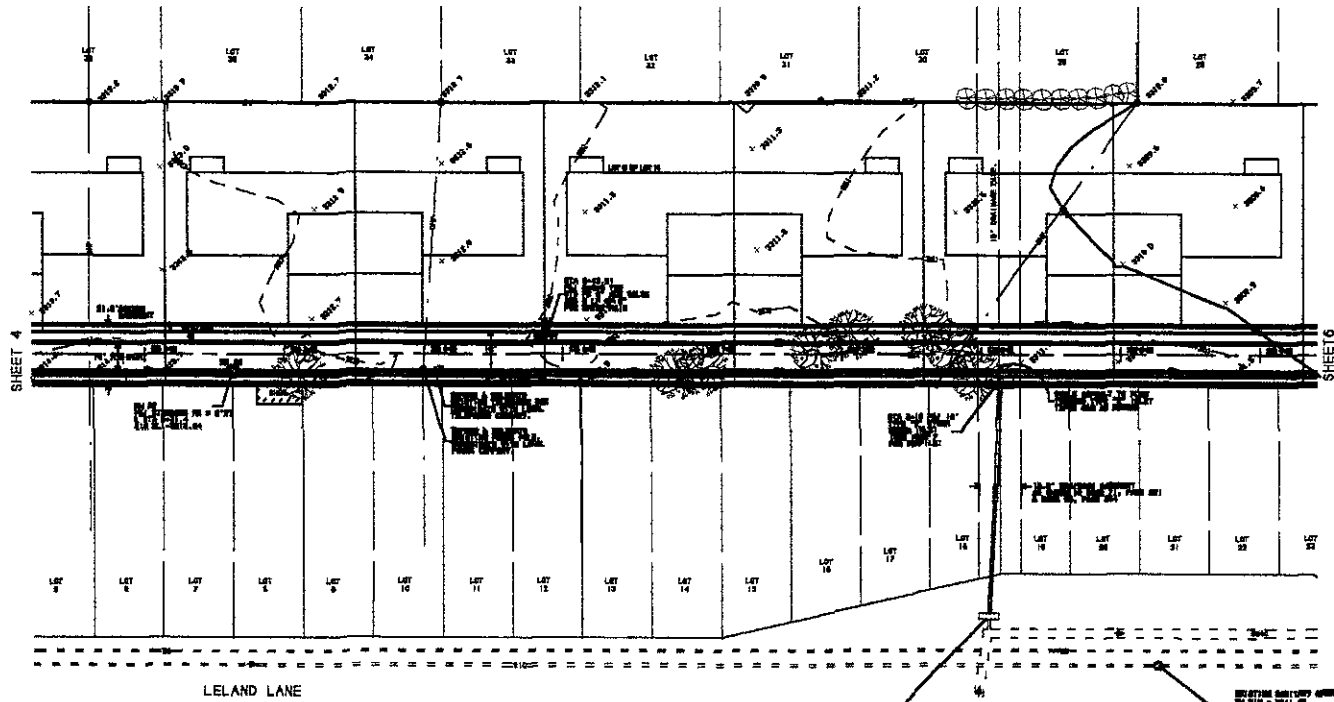


BRITTON ENGINEERING & LAND SURVEYING, INC.
11750 N. HIGHWAY 70
BLACK HAWK, SD 57718
PH. 605.776.7900

LOT A & LOT B OF 14 LESS N 80°
DE E 255' OF LOT B PLATTED
SEC 4, T1N, R7E, B1W, RAPID CITY
PENNINGTON COUNTY, SOUTH DAKOTA



ROAD, WATER, AND SEWER PLAN & PROFILE
STA 0+00 TO STA 4+50
EVERGREEN TOWNHOMES & APARTMENTS
BOBBY A GEMME SURVEY

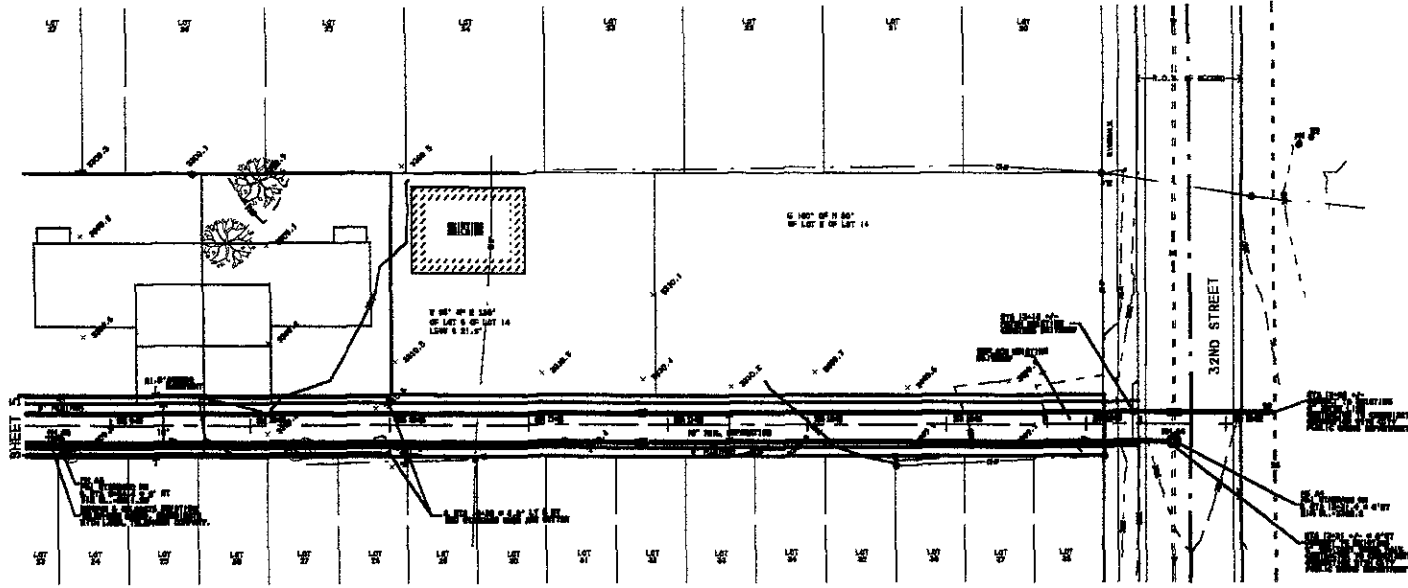


BRITTON ENGINEERING & LAND SURVEYING, INC.
 17750 N. HIGHWAY 79
 BLACK HAWK, SD 57718
 PH. (605) 716-7988

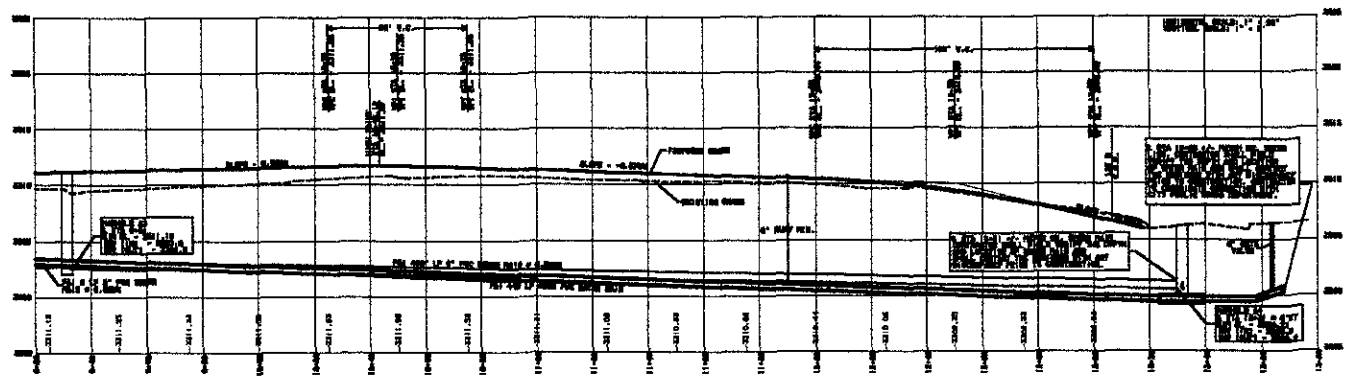
LOT A & LOT B OF 14 LESS N 80°
 OF E 255° OF LOT 8, PLATTED
 SEC. 4, T1N. 87E., R1W., RAPID CITY
 PENNINGTON COUNTY, SOUTH DAKOTA

ROAD, WATER, AND SEWER PLAN AND PROFILES
 STA 4+60 TO STA 9+20
 EVERGREEN TOWNHOMES & APARTMENTS
 BOBBY AND GENAE SUNDBY





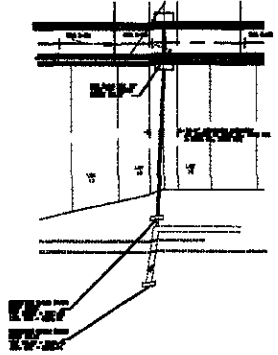
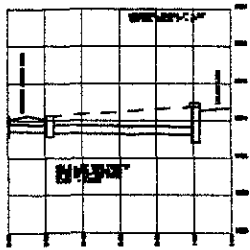
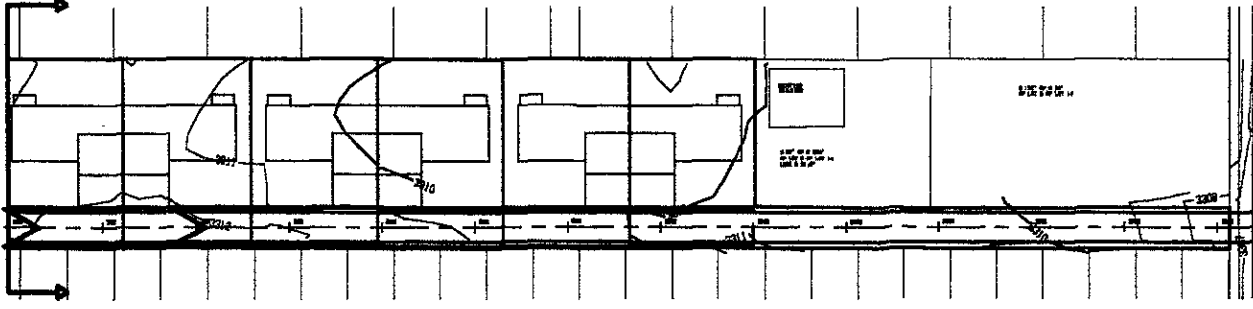
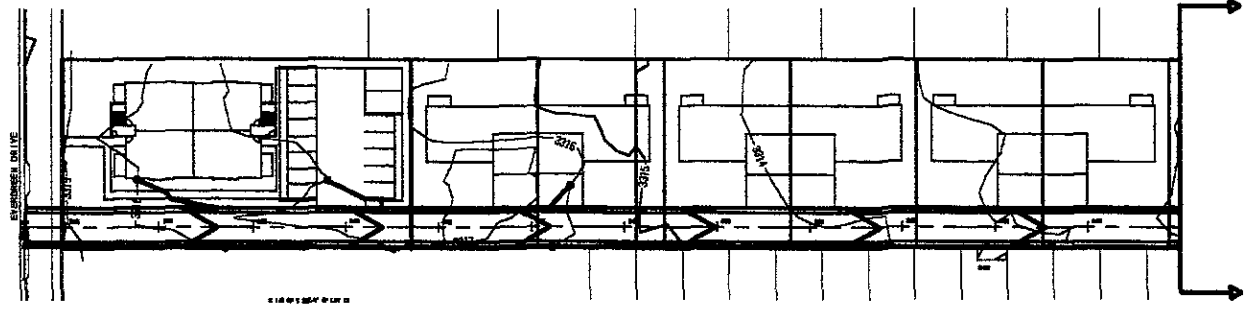
SCALE: 1" = 20'
 JANUARY 28, 2005



BRITTON ENGINEERING & LAND SURVEYING, INC.
 11750 N. HIGHWAY 79
 BLACK HAWK, SD 57718
 PH. (605) 716-7988

LOT A & LOT B OF 14 LESS N 80'
 OF E 255' OF LOT B, PLATTED,
 SEC 4, T1N, R7E, B1M, RAPID CITY
 PENNINGTON COUNTY, SOUTH DAKOTA

ROAD, WATER, AND SEWER PLAN AND PROFILES
 STA 9+20 TO STA 13+80
 EVERGREEN TOWNHOUSES AND APARTMENTS
 BOBBY AND GENAE SUNDBY



SCALE: 1" = 20'
JANUARY 28, 2004

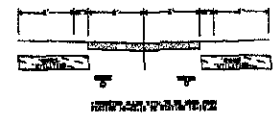
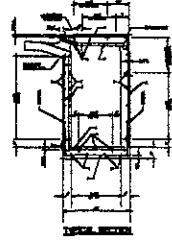
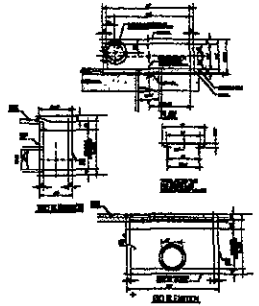
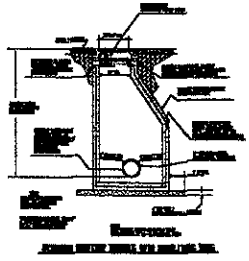
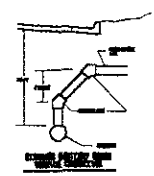
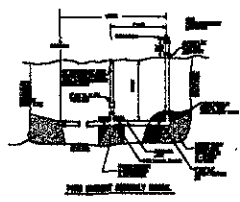
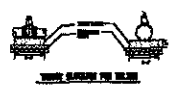


SCALE: 1" = 30'
JANUARY 28, 2004

BRITTON ENGINEERING & LAND SURVEYING, INC
11750 N. HIGHWAY 79
BLACK HAWK, SD 57718
PH. (605) 718-7988

LOT A & LOT B OF 14 LESS N 80°
OF E 255' OF LOT B PLATTED
SEC 4, T1N, R7E, B4M, RAPID CITY
PENNINGTON COUNTY, SOUTH DAKOTA

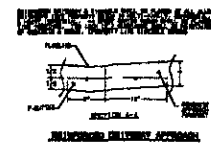
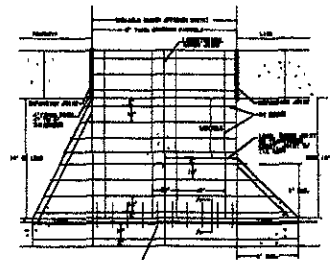
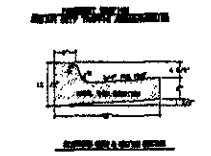
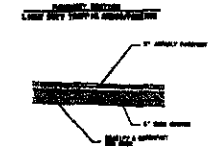
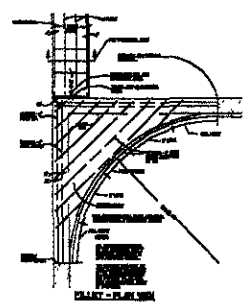
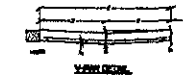
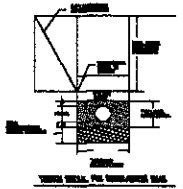
DRAINAGE PLAN
EVERGREEN TOWNHOUSES & APARTMENTS
BOBBY & GENAE SUNDBY

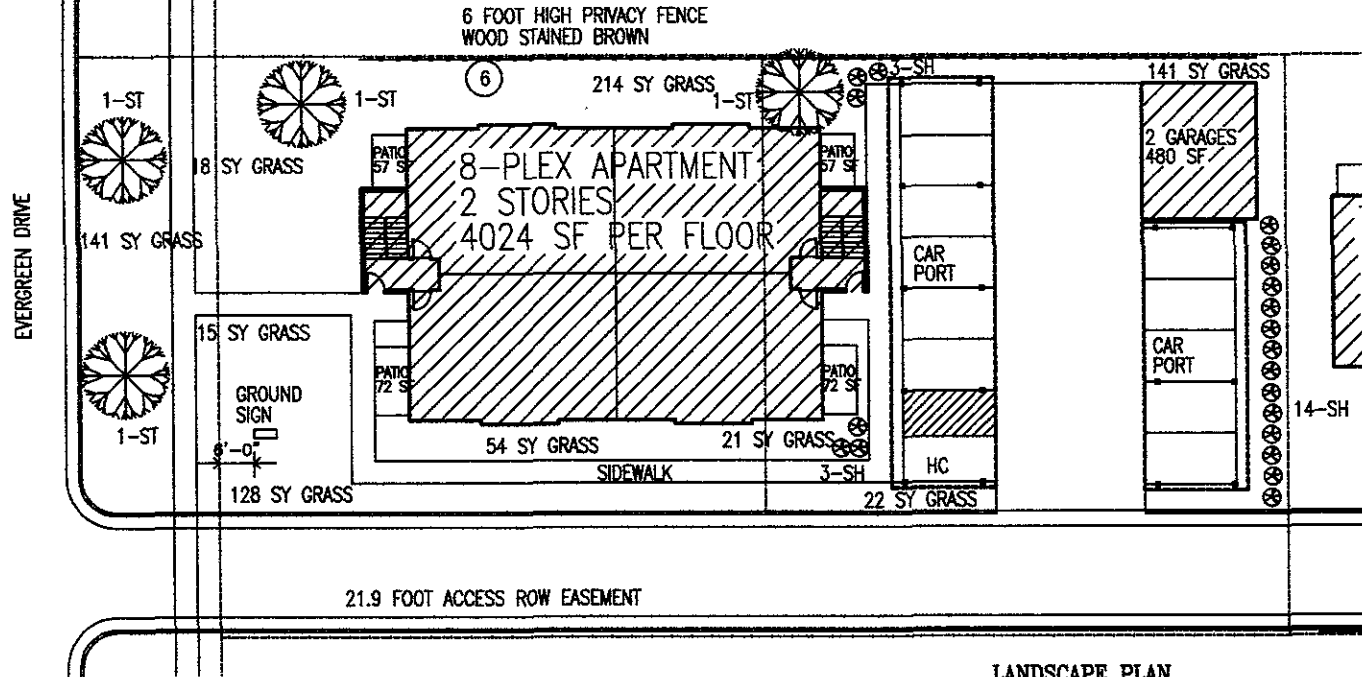


ALUM. DETAIL



CONCRETE FINISHES SHALL BE AS FOLLOWS:
 1. INTERIORS SHALL BE POLISHED CONCRETE.
 2. EXTERIORS SHALL BE STAINED CONCRETE.
 3. ALL CONCRETE SHALL BE FINISHED WITH A
 1/8" FINISH.
 4. ALL CONCRETE SHALL BE FINISHED WITH A
 1/8" FINISH.
 5. ALL CONCRETE SHALL BE FINISHED WITH A
 1/8" FINISH.
 6. ALL CONCRETE SHALL BE FINISHED WITH A
 1/8" FINISH.
 7. ALL CONCRETE SHALL BE FINISHED WITH A
 1/8" FINISH.
 8. ALL CONCRETE SHALL BE FINISHED WITH A
 1/8" FINISH.
 9. ALL CONCRETE SHALL BE FINISHED WITH A
 1/8" FINISH.
 10. ALL CONCRETE SHALL BE FINISHED WITH A
 1/8" FINISH.





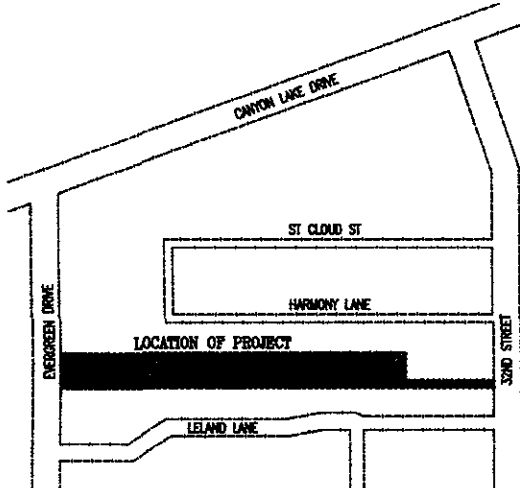
LANDSCAPING REQUIREMENTS FOR APARTMENT BUILDING 16,854 - (4024 + 480)	14,400 PIS.
LANDSCAPING PROVIDED:	14,540 PIS MINIMUM (200)
WITHIN 20 FEET OF PARKING (SIDE WAY-7225 PIS)	7340
194 SY OF GRASS (60 PIS / SY)	11640
20 SHRUBS (200 PIS EA)	4000
1 SMALL TREE (200 PIS EA)	200
REMAINDER OF LOT	1400
300 SY OF GRASS (60 PIS / SY)	18000
1 SMALL TREE (200 PIS EA)	200
ROW (200 MAXIMUM-2002 PIS)	2240
174 SY OF GRASS (60 PIS / SY)	10440
2 SMALL TREES (200 PIS EA)	400

- LANDSCAPING MATERIALS LEGEND**
- SHRUB (200 PIS EACH)
 - DECIDUOUS CHOICES
 - BARBERY (COLUMBIA ROSE GLOW)
 - CORONAT (ALPINE)
 - FOXTAIL (CORONA) TRIUMPH
 - GOLD SHIP, GOLDENROD
 - HONEY HONEY BUNDS
 - SPICE (COLUMBIANA)
 - EVERGREEN CHOICES
 - ANDROMEDA (GLAZED (SWEET HONEY)
 - JANNEY (SWEET JULY), COMPACT PRINCE, SEA BREEZE, SWAIN
 - SMALL TREE (200 PIS EACH)
 - CHRISTMAS, ANGEL
 - HEATHERBERRY, SHOWY
 - HOPPE, CLAYTON
 - BRICK, ROSE
 - CHERRY, SPRING SNOW
 - CURE, BIRCH
 - LALC, AMPERISE TREE
 - MEDIUM TREE (400 PIS EACH)
 - HONEYLOCUST, "SAPPHIRE", "SKYLINE", "SHADEMASTER"
 - LINDA, LITTLE LEAF "ORANGE" TREE
 - LARGE DECIDUOUS TREE (2500 PIS EACH)
 - ASH, GREEN "PYRAMID", "ANDREW", "FRANK SPICE"
 - HAWKWOOD
 - SWEETGUM (SWEET GUM)
 - LINDEN, AMERICAN "SEVIRY"
 - MAPLE, AUTUMN GLAZE
 - ORIO BUCHEVE
 - EVERGREEN TREE (2000 PIS EACH)
 - PIKE CHOICES
 - AUSTRIAN
 - POMERANIA
 - SCOTT
 - WANGERSCHULF PYRAMID
 - SPRUCE CHOICES
 - BLACK HILLS
 - COLORADO

LANDSCAPE PLAN

SCALE: 1" = 10'

- LIST OF EXTERIOR MATERIALS AND COLORS:**
- ROOF SHINGLES:
 - COMPOSITE OR ASPHALT SHINGLES
 - BROWN, GRAY AND/OR BLACK IN COLOR.
 - EXTERIOR SIDING:
 - CESTR WUE HARDBOARD LAP SIDING IN ACADIA, SIERRA AND/OR CEDAR COLORS.
 - CESTR WUE HARDBOARD LAP SIDING CORNER, WINDOW AND DOOR RAPS THAT ACCENT THE ACADIA, SIERRA, AND/OR CEDAR COLORS.
 - EXTERIOR VENEER BRICK:
 - HEBRON DESSERT COMMON (TAUP TO GRAY WITH FLASH OF RED), HEBRON HACIENDA ABOVE (BEIGE TAN WITH A FLASH OF BROWN) AND/OR USED CHICAGO COMMON (SANDWICH TO TERRA-COTTA).
 - EXTERIOR DECKS:
 - WOOD STAINED BROWN OR GRAY AND/OR A COMPOSITE DECKING SYSTEM. WOOD COLUMNS STAINED BROWN OR GRAY.
 - METAL CARPORTS:
 - METAL COLUMNS, PURLINS AND ROOFING IN A BROWN AND/OR GRAY COLOR.
 - PROPERTY LINE SIX FOOT FENCES:
 - CEDAR STAINED BROWN OR GRAY.
 - EXTERIOR LIGHTING:
 - SURFACE MOUNTED WALL FIXTURES.
 - CARPORT LIGHTING:
 - SURFACE MOUNTED FLOURESCENT STRIP FIXTURES MOUNTED TO UNDERSIDE OF METAL ROOF PANEL.



VICINITY MAP
SCALE: NTS



PLANNED RESIDENTIAL DEVELOPMENT
RAPID CITY, SD

LANDSCAPE PLAN
VICINITY MAP



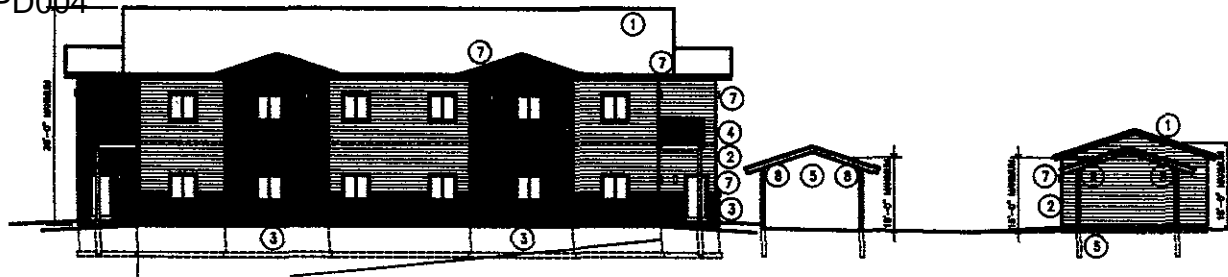
A.2

EVERGREEN TOWNHOUSES AND APARTMENTS

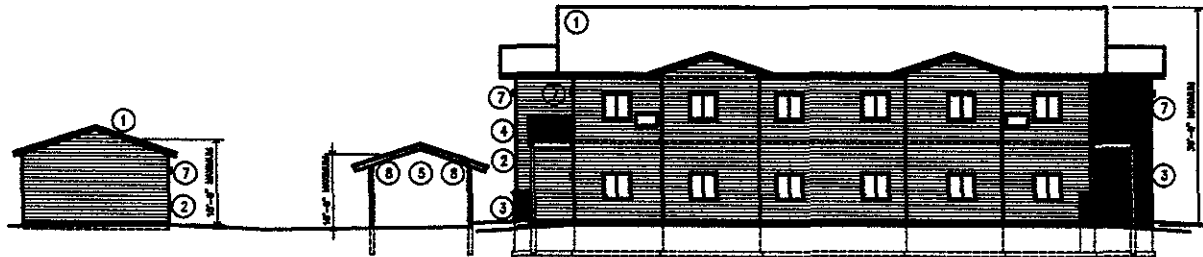
SCALE: 1" = 10'-0"

DATE: 06-26-04

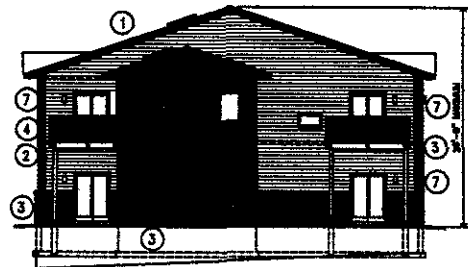
PROJECT NO: 829
FILE NO: 829-004-05-1



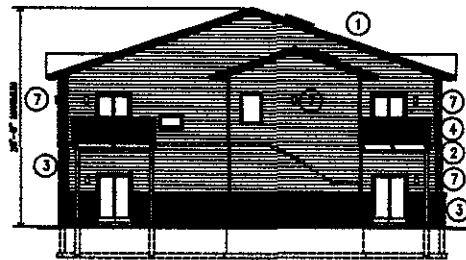
SOUTH (SIDE) ELEVATION
SCALE: 1/8" = 1'-0"



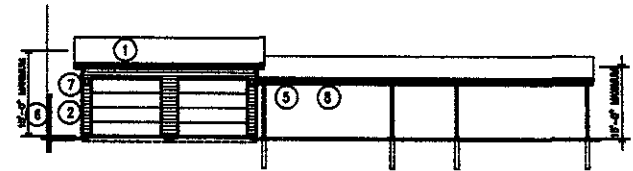
NORTH (SIDE) ELEVATION
SCALE: 1/8" = 1'-0"



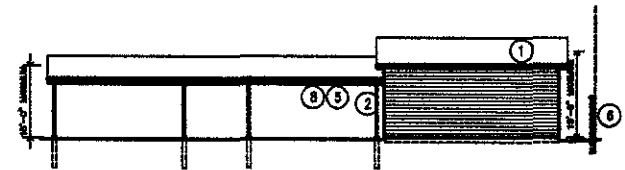
WEST (FRONT) ELEVATION
SCALE: 1/8" = 1'-0"



EAST (REAR) ELEVATION
SCALE: 1/8" = 1'-0"



WEST (FRONT) ELEVATION
SCALE: 1/8" = 1'-0"



EAST (REAR) ELEVATION
SCALE: 1/8" = 1'-0"



EAST (REAR) ELEVATION
SCALE: 1/8" = 1'-0"

LIST OF EXTERIOR MATERIALS AND COLORS:

- ① ROOF SHINGLES:
-COMPOSITE OR ASPHALT SHINGLES
BROWN, GRAY AND/OR BLACK IN COLOR.
- ② EXTERIOR SIDING:
-CEDR VUE HARDBOARD LAP SIDING IN
ACADE, SIERRA AND/OR CEDAR COLORS.
-CEDR VUE HARDBOARD LAP SIDING
CORNER, WINDOW AND DOOR TRIMS
THAT ACCENT THE ACADE, SIERRA,
AND/OR CEDAR COLORS.
- ③ EXTERIOR VENEER BRICK:
-HEBRON DESERT COMMON (TAMP TO
GRAY WITH FLASH OF RED), HEBRON
HACENDA AZULE (BEEK TAW WITH A
FLASH OF BROWN) AND/OR USED CHICAGO
COMMON (SABONN TO TERRA-COTTA).
- ④ EXTERIOR DECKS:
-WOOD STAINED BROWN OR GRAY AND/OR
A COMPOSITE DECKING SYSTEM. WOOD
COLUMNS STAINED BROWN OR GRAY.
- ⑤ METAL CARPORTS:
-METAL COLUMNS, PURLINS AND ROOFING
IN A BROWN AND/OR GRAY COLOR.
- ⑥ PROPERTY LINE SIX FOOT FENCES:
-CEDAR STAINED BROWN OR GRAY.
- ⑦ EXTERIOR LIGHTING:
-SURFACE MOUNTED WALL FIXTURES.
- ⑧ CARPORT LIGHTING:
-SURFACE MOUNTED FLOURESCENT STRIP
FIXTURES MOUNTED TO UNDERSIDE OF
METAL ROOF PANEL.



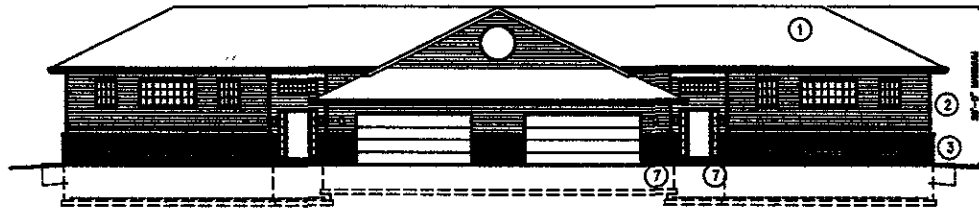
PLANNED RESIDENTIAL DEVELOPMENT
RAPID CITY, SD
EVERGREEN TOWNHOUSES AND APARTMENTS

APARTMENT EXTERIOR ELEVATIONS
GARAGE AND CARPORT ELEVATIONS
SCALE: 1/8" = 1'-0"

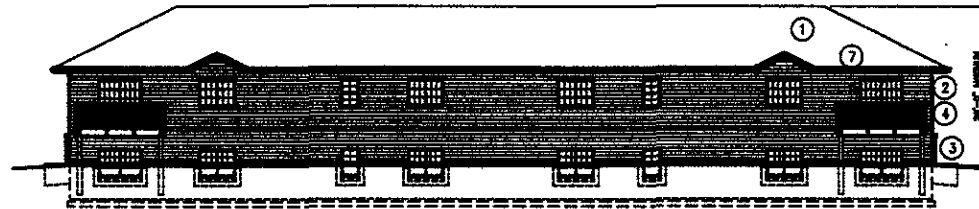


DATE:
00.24.04

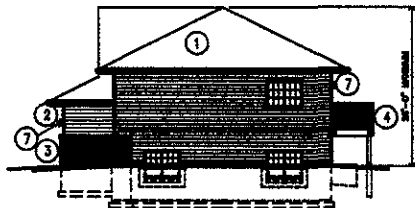
A.3
PROJECT NO: 223
FILE NO: 223-final-05-1



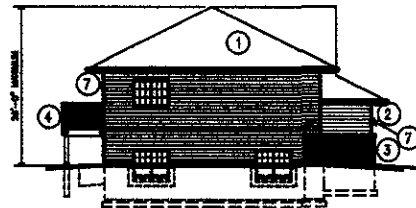
SOUTH (FRONT) ELEVATION
SCALE: 1/8" = 1'-0"



NORTH (REAR) ELEVATION
SCALE: 1/8" = 1'-0"



EAST (SIDE) ELEVATION
SCALE: 1/8" = 1'-0"



WEST (SIDE) ELEVATION
SCALE: 1/8" = 1'-0"

LIST OF EXTERIOR MATERIALS AND COLORS:

- ① ROOF SHINGLES:
-COMPOSITE OR ASPHALT SHINGLES
BROWN, GRAY AND/OR BLACK IN COLOR.
- ② EXTERIOR SIDING:
-CEDR VUE HARDBOARD LAP SIDING IN
ACADIA, SIERRA AND/OR CEDAR COLORS.
-CEDR VUE HARDBOARD LAP SIDING
CORNER, WINDOW AND DOOR RAPS
THAT ACCENT THE ACADIA, SIERRA,
AND/OR CEDAR COLORS.
- ③ EXTERIOR VENEER BRICK:
-HERBON DESERT COMMON (DUP TO
GRAY WITH FLASH OF RED), HERBON
MAGNIFICA ADDEE (BEIGE TAU WITH A
FLASH OF BROWN) AND/OR USED CHICAGO
COMMON (SABON TO TERRA-COTTA).
- ④ EXTERIOR DECKS:
-WOOD STAINED BROWN OR GRAY AND/OR
A COMPOSITE DECKING SYSTEM. WOOD
COLUMNS STAINED BROWN OR GRAY.
- ⑤ METAL CARPORTS:
-METAL COLUMNS, PURLINS AND ROOFING
IN A BROWN AND/OR GRAY COLOR.
- ⑥ PROPERTY LINE SIX FOOT FENCES:
-CEDAR STAINED BROWN OR GRAY.
- ⑦ EXTERIOR LIGHTING:
-SURFACE MOUNTED WALL FIXTURES.
- ⑧ CARPORT LIGHTING:
-SURFACE MOUNTED FLUORESCENT STRIP
FIXTURES MOUNTED TO UNDERSIDE OF
METAL ROOF PANEL.



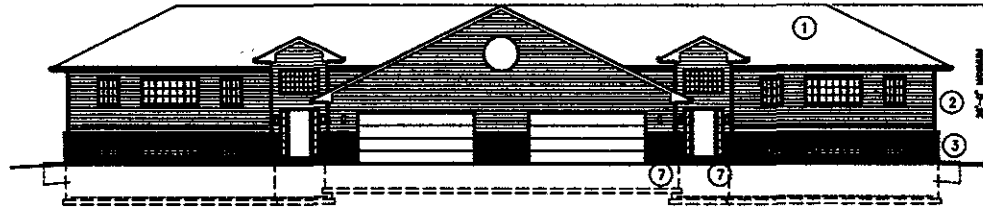
PLANNED RESIDENTIAL DEVELOPMENT
RAPID CITY, SD
EVERGREEN TOWNHOUSES AND APARTMENTS

TOWNHOUSE ELEVATIONS OPTION
SCALE: 1/8" = 1'-0"

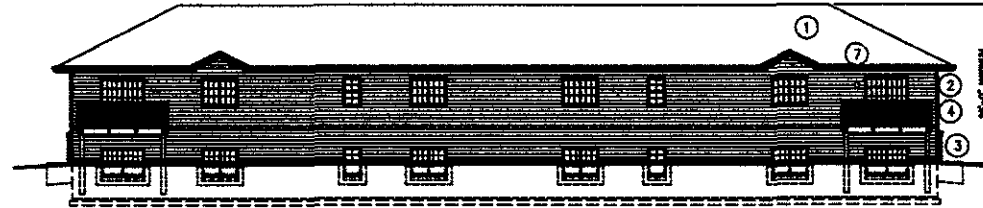


DATE:
06.24.04

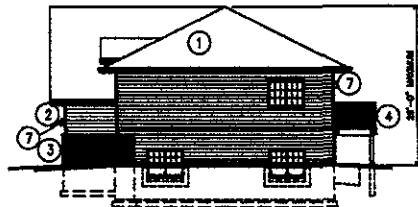
A.4
PROJECT NO: 228
FILE NO: 228-2nd-06-1



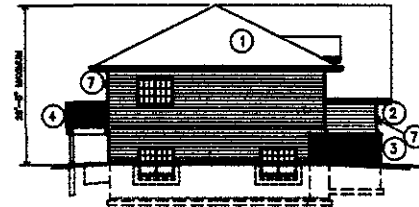
SOUTH (FRONT) ELEVATION
SCALE: 1/8" = 1'-0"



NORTH (REAR) ELEVATION
SCALE: 1/8" = 1'-0"



EAST (SIDE) ELEVATION
SCALE: 1/8" = 1'-0"



WEST (SIDE) ELEVATION
SCALE: 1/8" = 1'-0"

LIST OF EXTERIOR MATERIALS AND COLORS:

- ① ROOF SHINGLES:
-COMPOSITE OR ASPHALT SHINGLES
BROWN, GRAY AND/OR BLACK IN COLOR.
- ② EXTERIOR SIDING:
-CEDR VUE HANDBOARD LAP SIDING IN
ACADIA, SIERRA AND/OR CEDAR COLORS.
-CEDR VUE HANDBOARD LAP SIDING
CORNER, WINDOW AND DOOR RAPS
THAT ACCENT THE ACADIA, SIERRA,
AND/OR CEDAR COLORS.
- ③ EXTERIOR VENEER BRICK:
-HERSON DESSERT COMMON (TAN/P
TO GRAY WITH FLASH OF RED), HERSON
HACENDA ADOBE (BEIGE/TAN WITH A
FLASH OF BROWN) AND/OR USED CHICAGO
COMMON (SANDWICH TO TERRA-COTTA).
- ④ EXTERIOR DECKS:
-WOOD STAINED BROWN OR GRAY AND/OR
A COMPOSITE DECKING SYSTEM. WOOD
COLUMNS STAINED BROWN OR GRAY.
- ⑤ METAL CARPORTS:
-METAL COLLARS, PURLINS AND ROOFING
IN A BROWN AND/OR GRAY COLOR.
- ⑥ PROPERTY LINE SIX FOOT FENCES:
-CEDAR STAINED BROWN OR GRAY.
- ⑦ EXTERIOR LIGHTING:
-SURFACE MOUNTED WALL FIXTURES.
- ⑧ CARPORT LIGHTING:
-SURFACE MOUNTED FLUORESCENT STRIP
FIXTURES MOUNTED TO UNDERSIDE OF
METAL ROOF PANEL.



PLANNED RESIDENTIAL DEVELOPMENT
RAPID CITY, SD

TOWNHOUSE ELEVATIONS OPTION



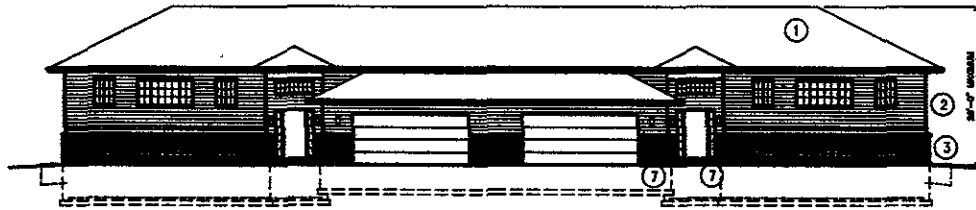
A.5

EVERGREEN TOWNHOUSES AND APARTMENTS

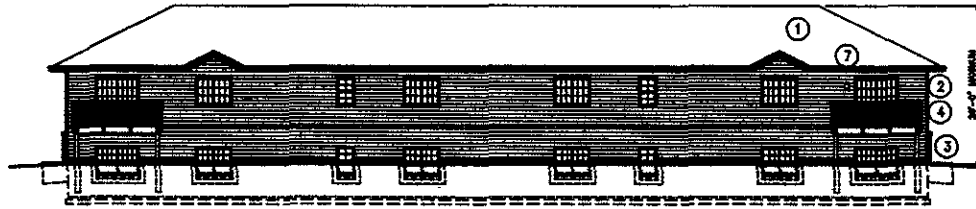
SCALE: 1/8" = 1'-0"

DATE: 08.24.04

PROJECT NO: 223
FILE NO: 223-04a-00-1



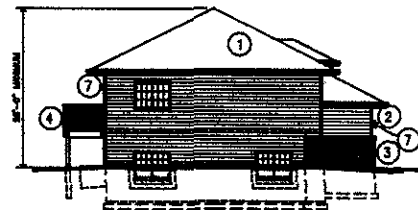
SOUTH (FRONT) ELEVATION
SCALE: 1/8" = 1'-0"



NORTH (REAR) ELEVATION
SCALE: 1/8" = 1'-0"



EAST (SIDE) ELEVATION
SCALE: 1/8" = 1'-0"



WEST (SIDE) ELEVATION
SCALE: 1/8" = 1'-0"

LIST OF EXTERIOR MATERIALS AND COLORS:

- ① ROOF SHINGLES:
-COMPOSITE OR ASPHALT SHINGLES
BROWN, GRAY AND/OR BLACK IN COLOR.
- ② EXTERIOR SIDING:
-CED'R V/E HARDBOARD LAP SIDING IN
ACADIA, SIERRA AND/OR CEDAR COLORS.
-CED'R V/E HARDBOARD LAP SIDING
CORNER, WINDOW AND DOOR RAPS
THAT ACCENT THE ACADIA, SIERRA,
AND/OR CEDAR COLORS.
- ③ EXTERIOR VENEER BRICK:
-HEBRON DESERT COMMON (TAUP TO
GRAY WITH FLASH OF RED), HEBRON
HACEMIA ACCENT (BEIGE TAUP WITH A
FLASH OF BROWN) AND/OR USED CHICAGO
COMMON (SANDWICH TO TERRA-COTTA).
- ④ EXTERIOR DECKS:
-WOOD STAINED BROWN OR GRAY AND/OR
A COMPOSITE DECKING SYSTEM. WOOD
COLUMNS STAINED BROWN OR GRAY.
- ⑤ METAL CARPORTS:
-METAL COLUMNS, PURLINS AND ROOFING
IN A BROWN AND/OR GRAY COLOR.
- ⑥ PROPERTY LINE SIX FOOT FENCES:
-CEDAR STAINED BROWN OR GRAY.
- ⑦ EXTERIOR LIGHTING:
-SURFACE MOUNTED WALL FIXTURES.
- ⑧ CARPORT LIGHTING:
-SURFACE MOUNTED FLOURESCENT STRIP
FIXTURES MOUNTED TO UNDERSIDE OF
METAL ROOF PANEL.

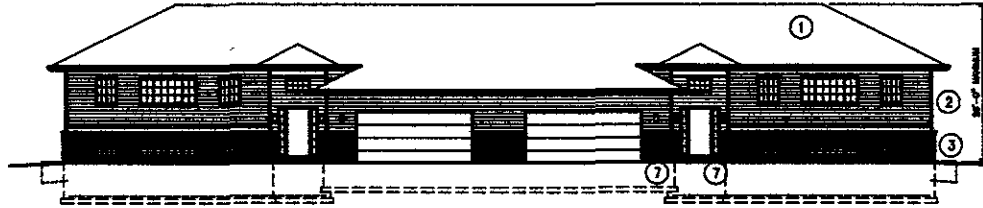


PLANNED RESIDENTIAL DEVELOPMENT
RAPID CITY, SD
EVERGREEN TOWNHOUSES AND APARTMENTS

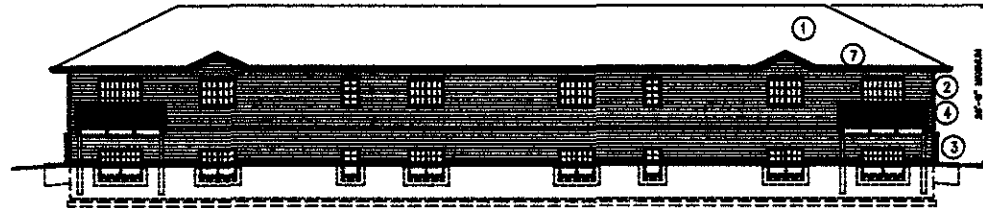
TOWNHOUSE ELEVATIONS OPTION
SCALE: 1/8" = 1'-0"



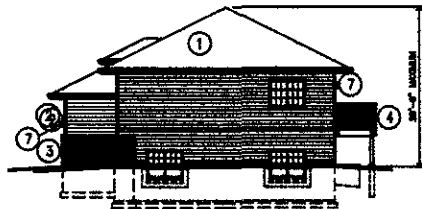
A.6
PROJECT NO: 223
FILE NO: 223-02-05-1



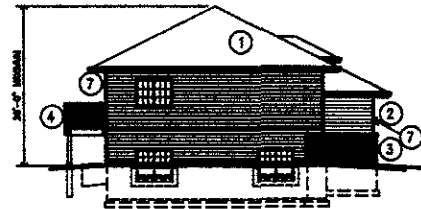
SOUTH (FRONT) ELEVATION
SCALE: 1/8" = 1'-0"



NORTH (REAR) ELEVATION
SCALE: 1/8" = 1'-0"



EAST (SIDE) ELEVATION
SCALE: 1/8" = 1'-0"



WEST (SIDE) ELEVATION
SCALE: 1/8" = 1'-0"

LIST OF EXTERIOR MATERIALS AND COLORS:

- ① ROOF SHINGLES:
-COMPOSITE OR ASPHALT SHINGLES
BROWN, GRAY AND/OR BLACK IN COLOR.
- ② EXTERIOR SIDING:
-CEDAR VUE HARDBOARD LAP SIDING IN
ACACIA, SIERRA AND/OR CEDAR COLORS.
-CEDAR VUE HARDBOARD LAP SIDING
CORNER, WINDOW AND DOOR RAFS
THAT ACCENT THE ACACIA, SIERRA,
AND/OR CEDAR COLORS.
- ③ EXTERIOR VENEER BRICK:
-HEBRON DESSERT COMMON (TAMP TO
GRAY WITH FLASH OF RED), HEBRON
NACENGA ADGE (BERGE TAN WITH A
FLASH OF BROWN) AND/OR USED CHICAGO
COMMON (SAMMON TO TERRA-COTTA).
- ④ EXTERIOR DECKS:
-WOOD STAINED BROWN OR GRAY AND/OR
A COMPOSITE DECKING SYSTEM. WOOD
COLUNNS STAINED BROWN OR GRAY.
- ⑤ METAL CARPORTS:
-METAL COLUNNS, PURLINS AND ROOFING
IN A BROWN AND/OR GRAY COLOR.
- ⑥ PROPERTY LINE SIX FOOT FENCES:
-CEDAR STAINED BROWN OR GRAY.
- ⑦ EXTERIOR LIGHTING:
-SURFACE MOUNTED WALL FIXTURES.
- ⑧ CARPORT LIGHTING:
-SURFACE MOUNTED FLOURESCENT STRIP
FIXTURES MOUNTED TO UNDERSIDE OF
METAL ROOF PANEL.



PLANNED RESIDENTIAL DEVELOPMENT
RAPID CITY, SD
EVERGREEN TOWNHOUSES AND APARTMENTS

TOWNHOUSE ELEVATIONS OPTION
SCALE: 1/8" = 1'-0"



A.7
DATE: 08.24.04
PROJECT NO: 200
FILE NO: 200-2nd-05-1