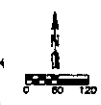


**PRELIMINARY PLAT OF**  
**LOTS 8, 9, 10, 11, 12, 13 AND 14 OF BLOCK 3;**  
**AND LOTS 5, 6, 7, 8, 9, 10, 11 AND 12 OF BLOCK 4;**  
**AND DEDICATED RIGHT-OF-WAY OF PARK MEADOWS SUBDIVISION**  
**LOCATED IN THE NE 1/4 OF SE 1/4, SECTION 7, T1N, R8E, B.H.M**  
**RAPID CITY, PENNINGTON COUNTY, SOUTH DAKOTA**

**RECEIVED**  
 FEB 10 2005  
 Rapid City Growth  
 Management Department



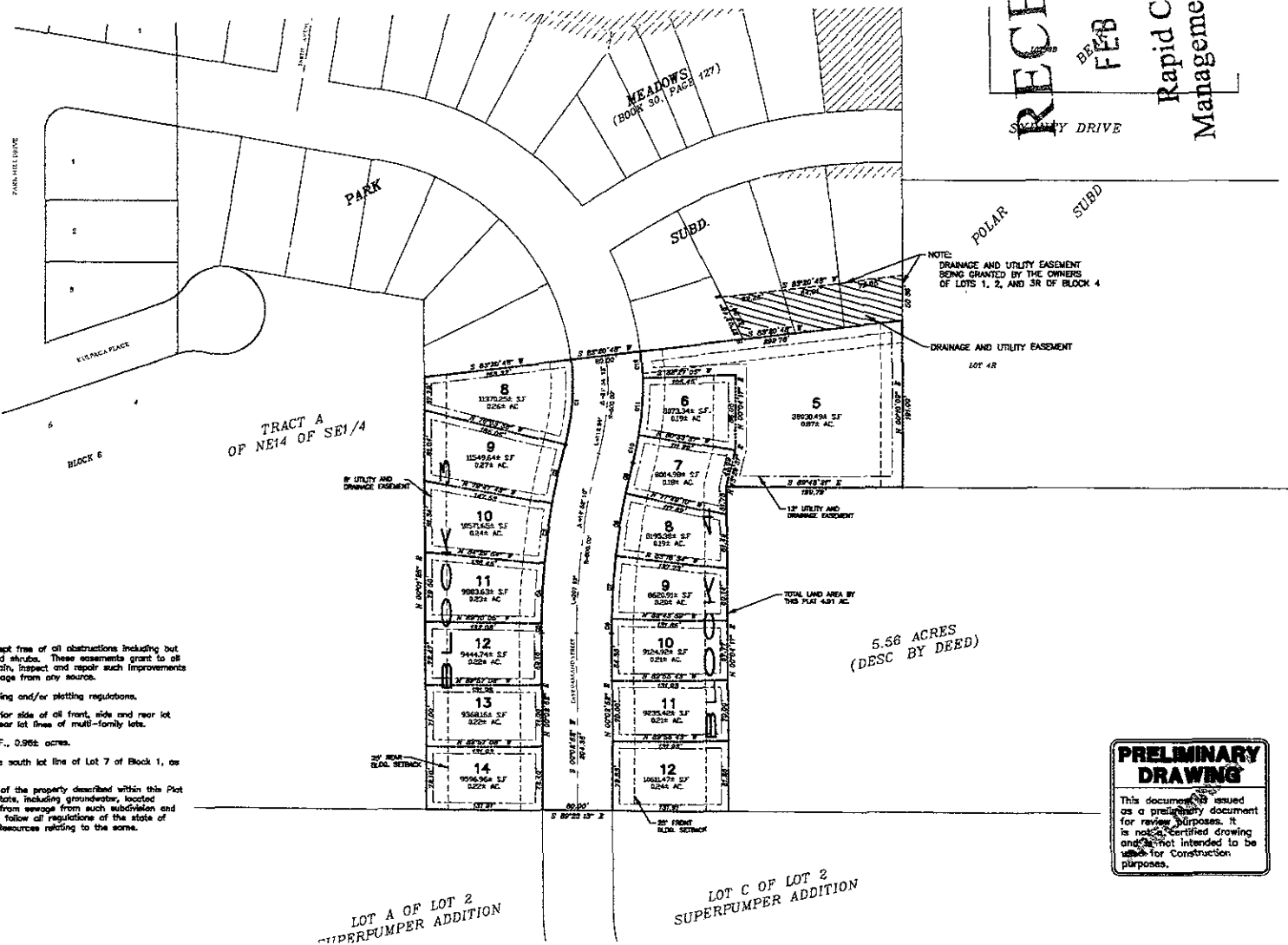
CURVE	ARC LENGTH	TRAPCHORDS	CHORD LENGTH
C1	97.88'	280.00'	97.31'
C2	69.00'	840.00'	68.07'
C3	69.90'	840.00'	68.83'
C4	68.48'	840.00'	68.44'
C5	11.50'	840.00'	11.50'
C6	118.17'	780.00'	18.17'
C7	72.36'	780.00'	72.35'
C8	72.36'	780.00'	72.35'
C9	38.33'	780.00'	38.30'
C10	39.20'	840.00'	39.49'
C11	65.21'	840.00'	65.11'
C12	30.29'	840.00'	30.28'

LINE	BEARING	DISTANCE
L1	N 28°15'45" W	20.43'

- EXISTING MAJOR DRAINAGE EASEMENT
- DEDICATED RIGHT-OF-WAY
- PROPOSED DRAINAGE AND UTILITY EASEMENT

**NOTES:**

- All major drainage easements shown hereon shall be kept free of all obstructions including but not limited to buildings, walls, fences, hedges, trees and shrubs. These easements grant to all public authorities the right to construct, operate, maintain, inspect and repair such improvements and structures as it deems expedient to facilitate drainage from any source.
- Building Setback requirements are as stated in the zoning and/or platting regulations.
- Utility and Minor Drainage Easements - 8' on the interior side of all front, side and rear lot lines of multi-family lots. 12' on the interior side of all front, side and rear lot lines of single-family lots.
- Total right-of-way dedicated by this plat: 41961.24 S.F., 0.968 acres.
- Base of Bearing: Record bearing of S 83°20'45" W, the south lot line of Lot 7 of Block 1, as shown on the plat of Park Meadows Subdivision.
- Pursuant to SDCL 8-3-8.1 and 8-3-2, The Developer of the property described within this Plat shall be responsible for protecting any waters of the State, including groundwater, located adjacent to or within such platted area from pollution from sewage from such subdivision and shall in prosecution of such protection conform to and follow all regulations of the state of South Dakota Department of Environment and Natural Resources relating to the same.



5.56 ACRES  
 (DESC BY DEED)

**PRELIMINARY  
 DRAWING**

This document is issued as a preliminary document for review purposes. It is not a certified drawing and is not intended to be used for construction purposes.

LOT A OF LOT 2  
 SUPERPUMPER ADDITION

LOT C OF LOT 2  
 SUPERPUMPER ADDITION

DESIGNED: [ ] DATE: [ ]  
 CHECKED: [ ] APPROVED: [ ]  
 DATE: 2/10/05

**PRELIMINARY PLAT**

PARK MEADOWS SUBDIVISION  
 PHASE 3  
 RAPID CITY, SOUTH DAKOTA

SHEET 3

1830 West Fulton Street  
 Rapid City, SD 57702  
 1027 Junction Avenue  
 Rapid City, SD 57701  
 Phone: (605) 341-1780  
 cetecc@earthlink.net

**CETEC**  
 Engineering Services, Inc.