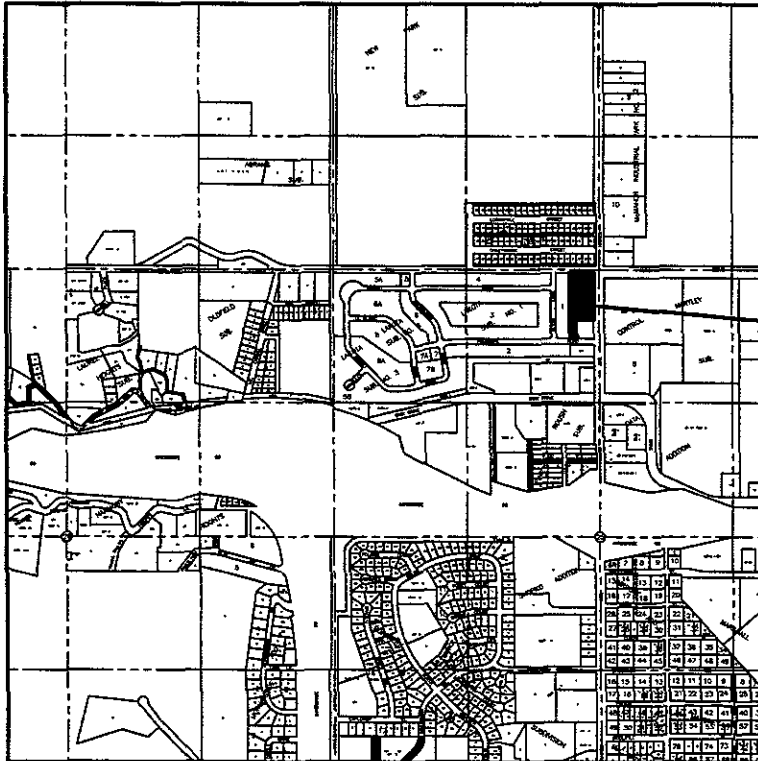


FINAL PLANNED DEVELOPMENT PLAN

PHASE 1 OF F & A PROPERTIES COMMERCIAL DEVELOPMENT

RAPID CITY, SD

FMG, Inc.
3700 Summit Road
Rapid City, SD 57702
(605) 342-4100 FAX (605) 342-7222
www.fmgplanning.com



PHASE 1
PROJECT SITE

STATE AND LOCAL JURISDICTION OF THIS PLAN
This plan is submitted to the City of Rapid City, South Dakota, for its review and approval. The City of Rapid City is the local jurisdiction for this project. The State of South Dakota is the state jurisdiction for this project. The City of Rapid City is the local jurisdiction for this project. The State of South Dakota is the state jurisdiction for this project.

GENERAL NOTES
1. The owner is responsible for obtaining all necessary permits from the appropriate authorities. The owner is responsible for obtaining all necessary permits from the appropriate authorities. The owner is responsible for obtaining all necessary permits from the appropriate authorities.

NOTES
1. The owner is responsible for obtaining all necessary permits from the appropriate authorities. The owner is responsible for obtaining all necessary permits from the appropriate authorities. The owner is responsible for obtaining all necessary permits from the appropriate authorities.

- INDEX OF SHEETS**
- C1 TILE SHEET
 - C2 ADJACENT VESITY MAP
 - C3 PLANNING LAYOUT
 - C4 PHASE 1 LAYOUT & STREETS MAP
 - C5 PHASE 1 GRADING & STORM SEWER
 - C6 OFFICE GRADING, STORM SEWER & SANITARY SEWER
 - C7 IMPROVED CONTROL PLAN
 - L1 LANDSCAPE CONCEPT PLAN
 - A2 ELEVATIONS

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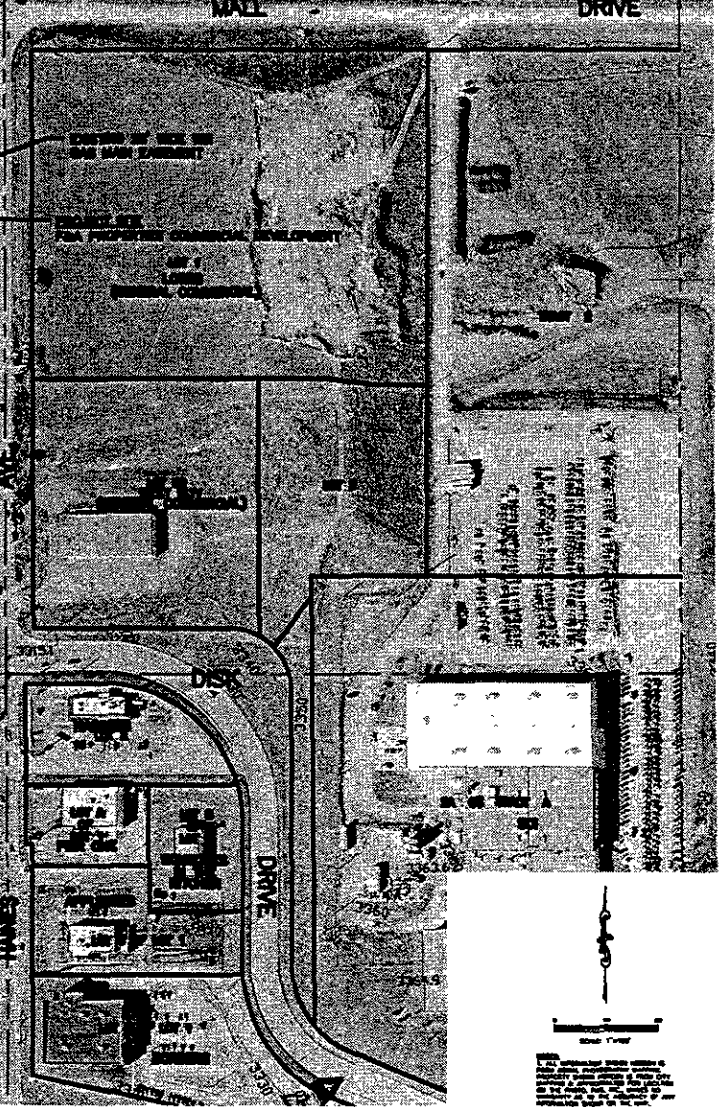
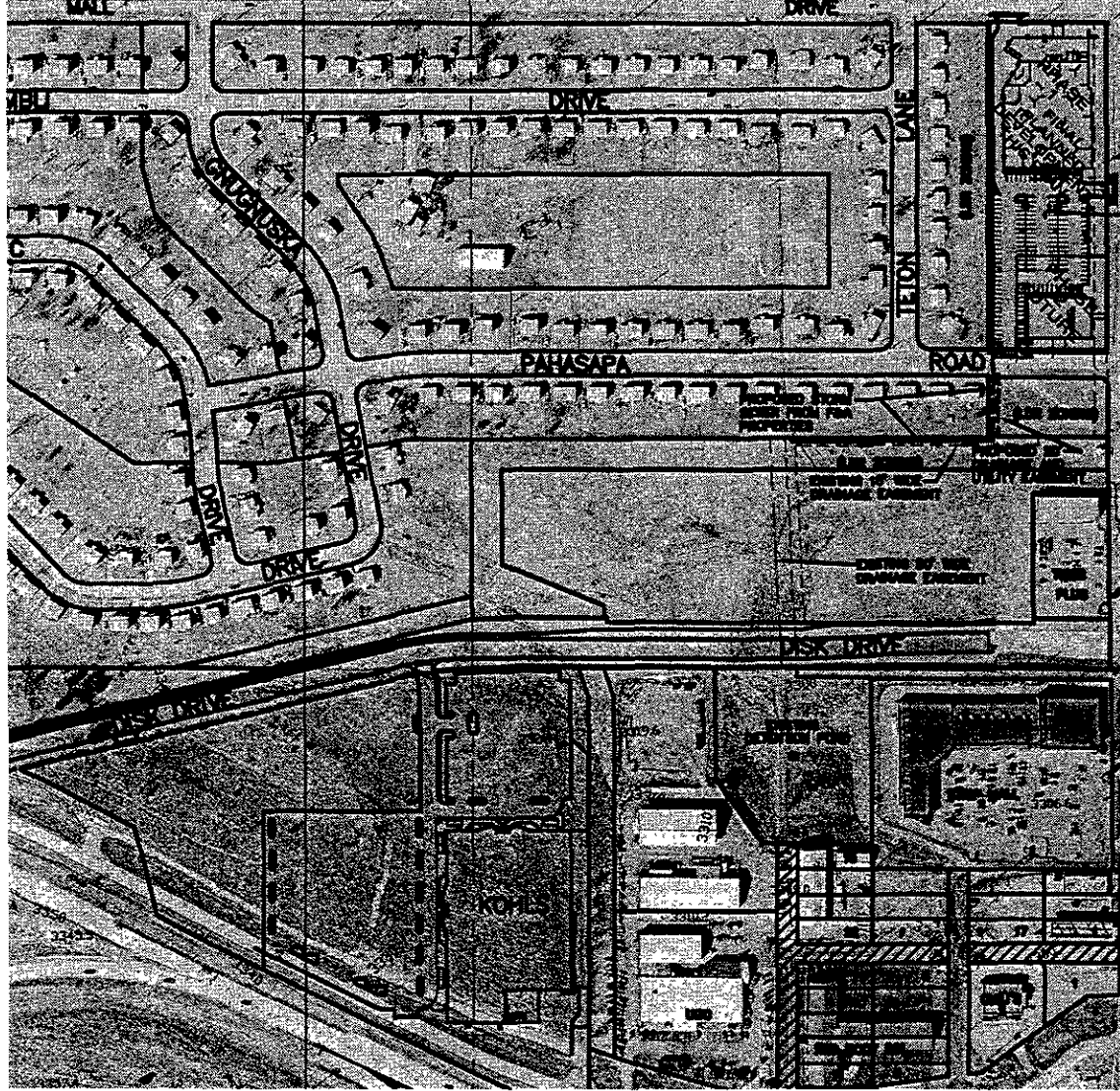
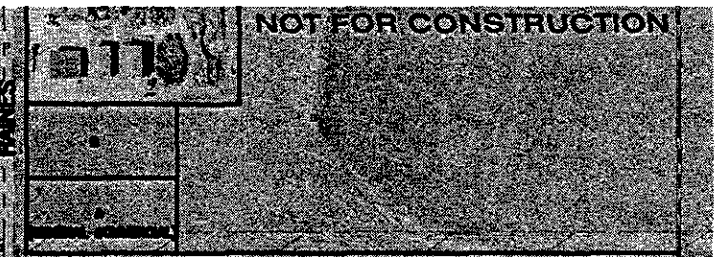
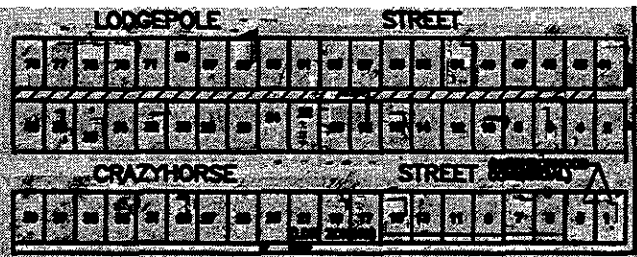
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Drawn By	FMG
Checked By	FMG

FINAL PLANNED DEVELOPMENT
PHASE 1 OF F & A PROPERTIES COMMERCIAL DEVELOPMENT
RAPID CITY, SD

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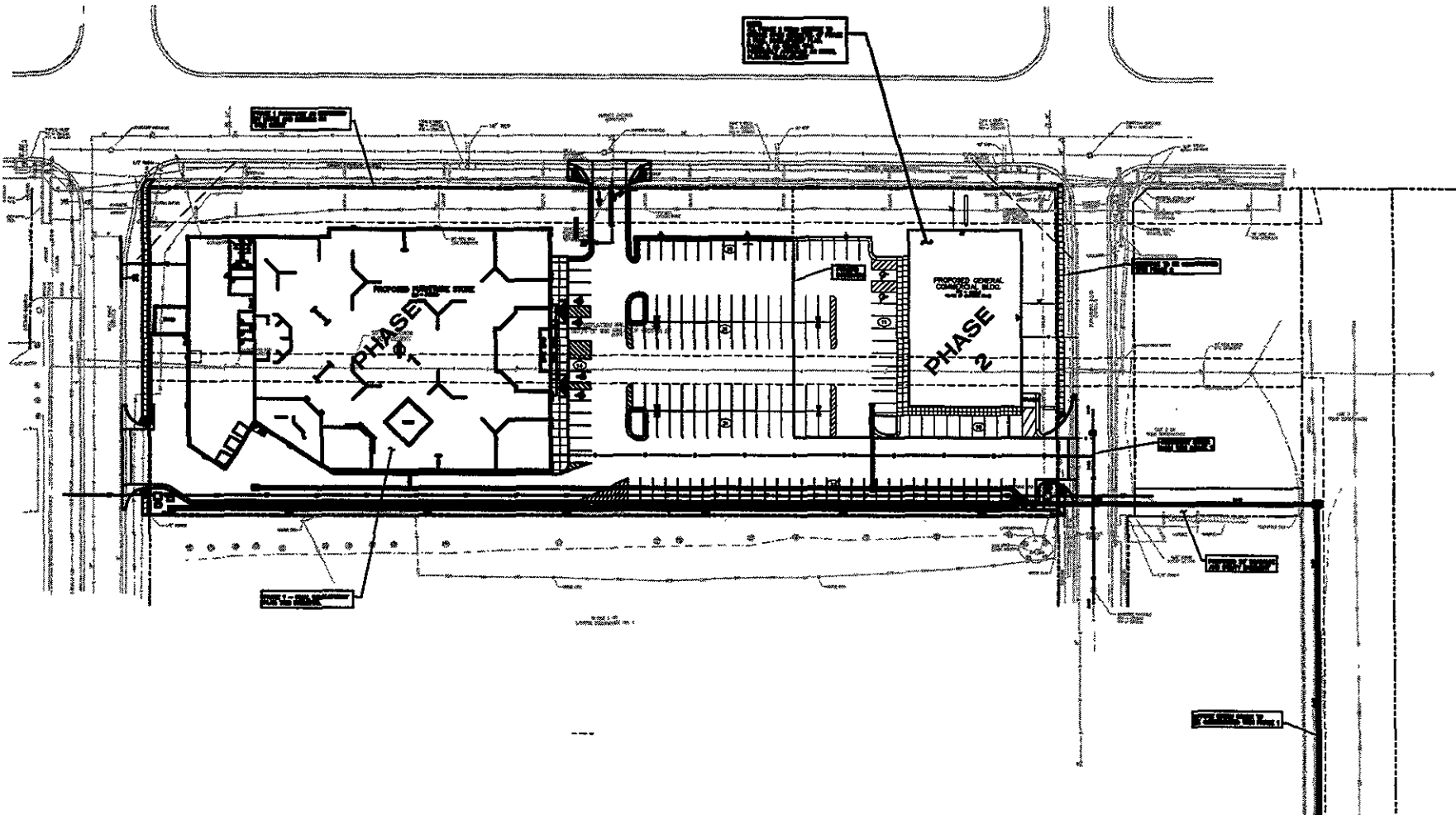


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Date:	
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Drawn By:	
Checked By:	

FINAL PLANNED DEVELOPMENT
 PHASE 1 OF F & A PROPERTIES COMMERCIAL DEVELOPMENT
 RAPID CITY, SD



LEGEND			
	PROPOSED CORE & OUTER		SEWER LINE
	PROPOSED STORM SEWER		GAS LINE
	PROPOSED WATER LINE		ELECTRIC POWER LINE
	PROPOSED STORM LINE		TELEPHONE LINE
	PROPOSED SANITARY SEWER		TELEPHONE CABLE
	PROPOSED CABLE		FIRE ALARM
	PROPOSED FIRE HYDRANT		FIRE ALARM PANEL
	UTILITY CONTROL POINT		FIRE ALARM CABINET
	CORE & OUTER		CLEAN OUT
	WATER LINE		STORM SEWER
	SANITARY SEWER LINE		FIRE HYDRANT
	GAS LINE		FIRE ALARM PANEL
	ELECTRIC POWER LINE		FIRE ALARM CABINET
	TELEPHONE LINE		FIRE ALARM PANEL
	TELEPHONE CABLE		FIRE ALARM CABINET

OVERALL PARKING REQUIREMENTS
 PROPOSED CORE BUILDING 200/2000 2 SA = 84
 PROPOSED STORM SEWER 200/2000 2 SA = 84
 TOTAL PARKING = 168

PHASE 1 PARKING REQUIREMENTS
 PROPOSED CORE BUILDING 200/2000 2 SA = 84
 PROPOSED STORM SEWER 200/2000 2 SA = 84
 TOTAL PARKING = 168

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 Date
 Prepared By
 Checked By
 Drawn By
 Date

FINAL PLANNED DEVELOPMENT
 PHASE 1 OF F & A PROPERTIES COMMERCIAL DEVELOPMENT
 RAPID CITY, SD

Sheet Number
C3 OF C7

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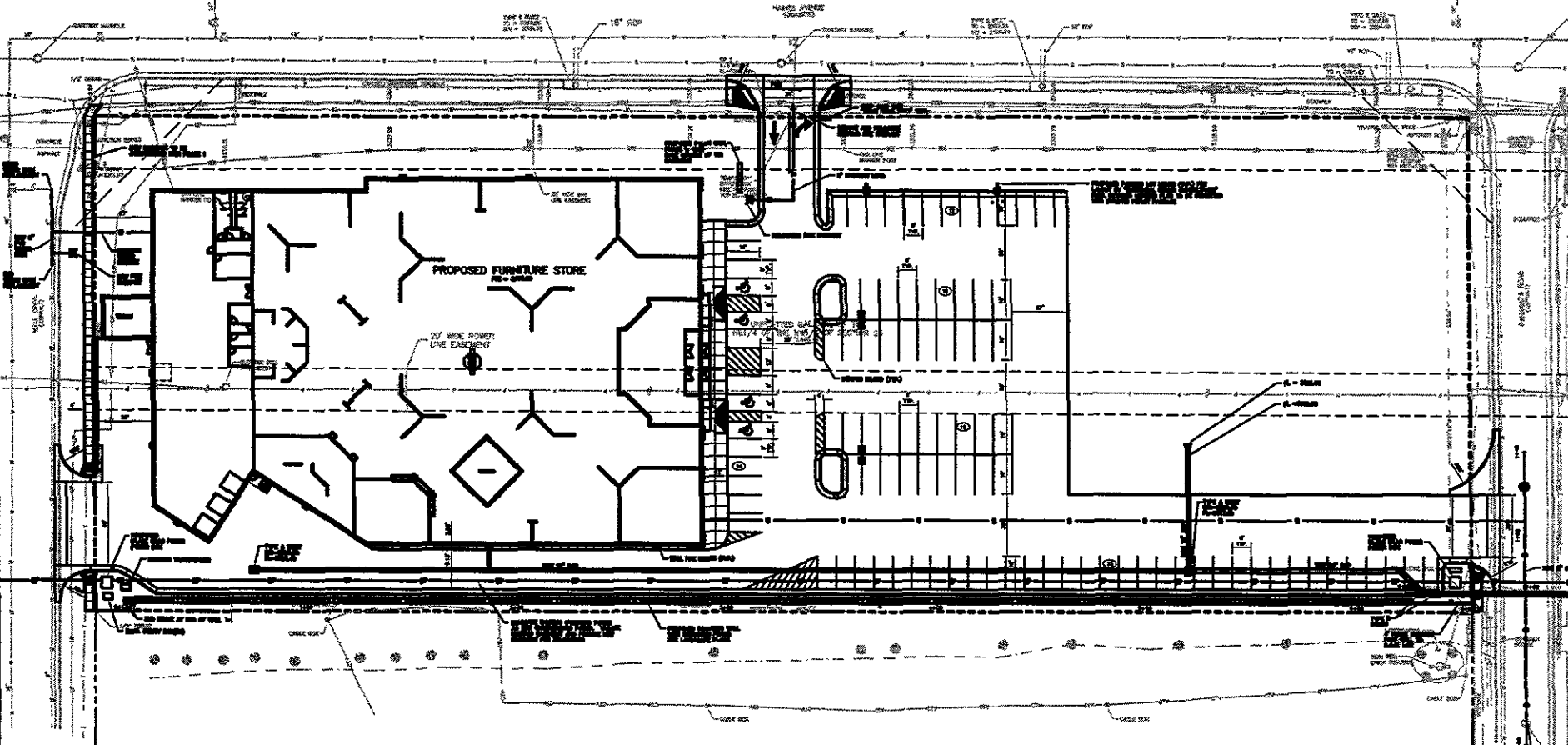
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LEGEND	
	PROPOSED CURB & GUTTER
	PROPOSED STREET CURB & GUTTER
	PROPOSED STORM SEWER
	PROPOSED WATER LINE
	PROPOSED SEWER LINE
	PROPOSED LIQUID PETROLEUM GAS
	PROPOSED GAS PRESSURE
	PROPOSED UTILITY
	PROPOSED ELECTRIC
	ROAD FORCE
	SEWER LINE FORCE
	STORM SEWER LINE FORCE
	WATER MAIN LINE FORCE
	GAS LINE FORCE
	SANITARY SEWER LINE FORCE
	TELEPHONE LINE FORCE
	UTILITY FORCE
	PROPOSED ELECTRIC
	SEWER CONTROL POINT
	FLOOD CONTROL STRUCTURE
	MANHOLE
	CATCH BASIN
	FIRE HYDRANT
	WATER VALVE
	GAS VALVE
	POWER POLE
	LAMP POLE
	SIGN
	TRAFFIC SIGNAL
	PROPOSED STRUCTURE



230MM MIN. CORNER CLEARANCE DISTANCE TO DRIVEWAY REQUIRED BY CITY STREET DESIGN MANUAL

230MM MIN. CORNER CLEARANCE DISTANCE TO DRIVEWAY REQUIRED BY CITY STREET DESIGN MANUAL



File Number: 05PD011
 Prepared by: [Signature]
 Checked by: [Signature]

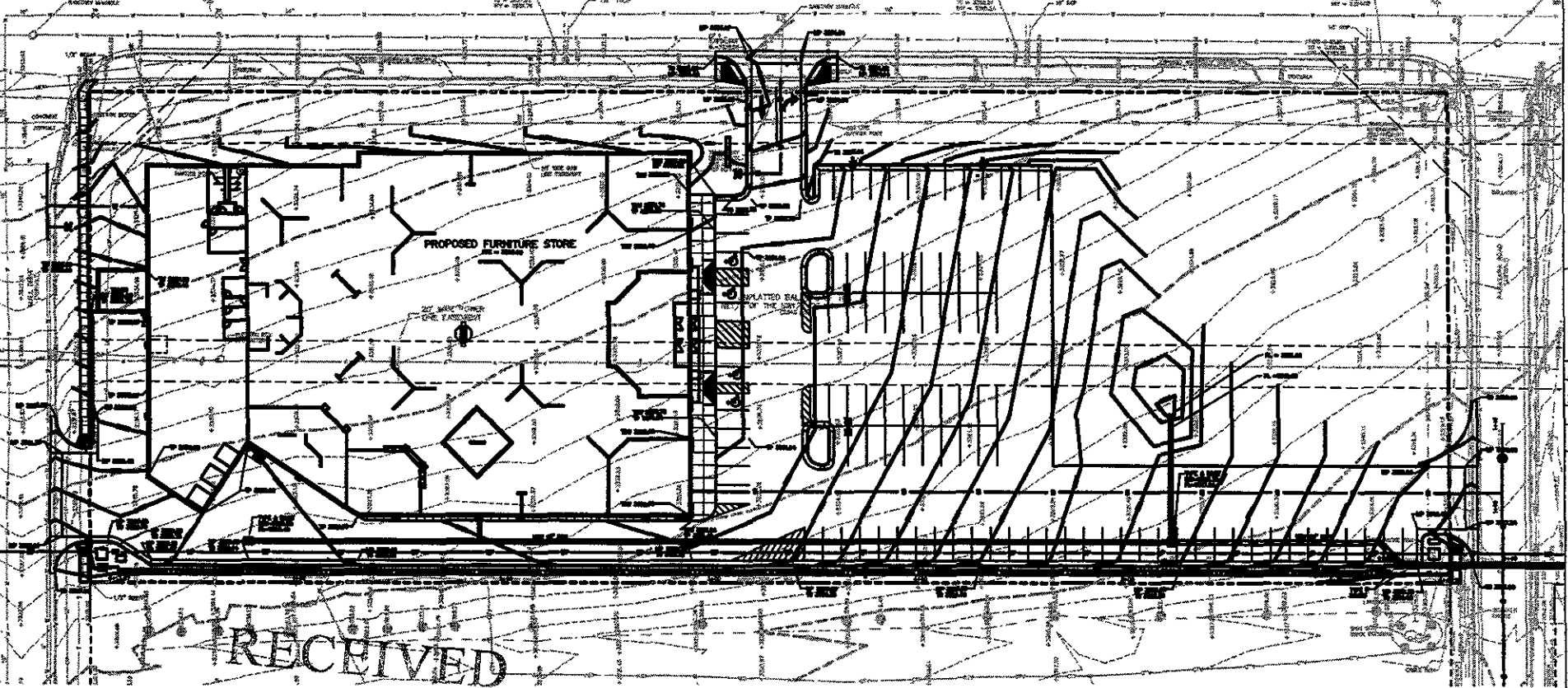
FINAL PLANNED DEVELOPMENT
 PHASE 1 OF F & A PROPERTIES COMMERCIAL DEVELOPMENT
 RAPID CITY, SD

Phase 1
 LAYOUT & UTILITY PLAN
 Sheet Number: C4 OF C7

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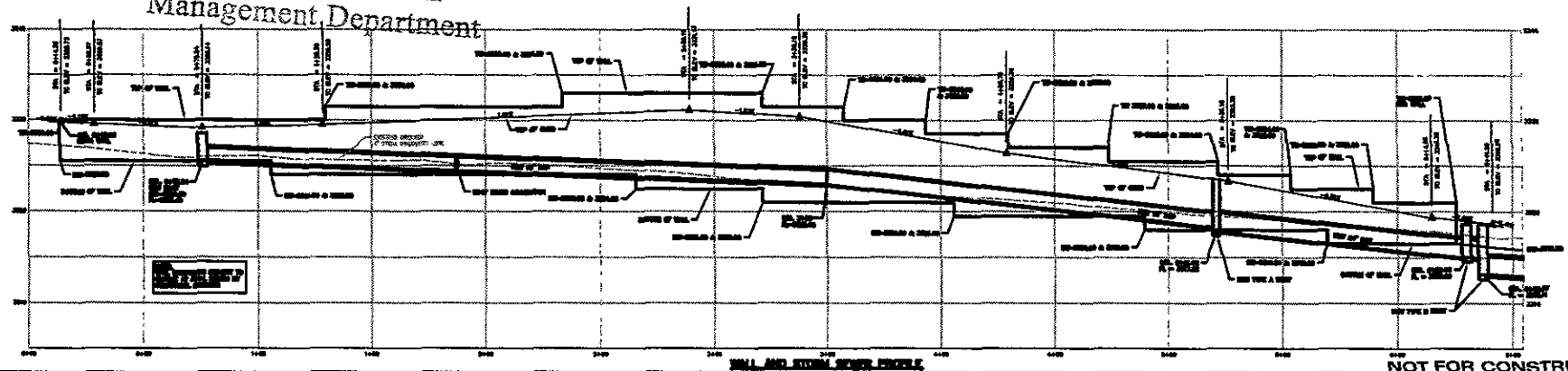


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LEGEND	
(Symbol)	EXISTING CURB (C)
(Symbol)	EXISTING CURB (D)
(Symbol)	EXISTING SIDE WALKWAY
(Symbol)	PROPOSED SIDE WALKWAY
(Symbol)	PROPOSED CURB & GUTTER
(Symbol)	PROPOSED 12\"/>



WALL AND STORM SEWER PROFILE

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 1000 W. 10th St., Suite 200
 Rapid City, SD 57702-0017
 (605) 247-4100 FAX (605) 248-4322
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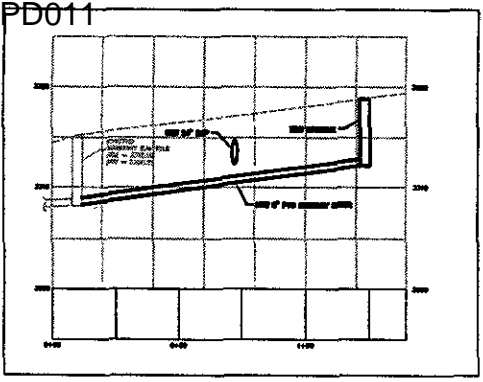


The Number: **05PD011**

Drawn By:	W. J. HARRIS
Checked By:	W. J. HARRIS
Designed By:	W. J. HARRIS
Reviewed By:	W. J. HARRIS

FINAL PLANNED DEVELOPMENT
 PHASE 1 OF F & A PROPERTIES COMMERCIAL DEVELOPMENT
 RAPID CITY, SD

Sheet Title:
PHASE 1
GROUND AND
STORM SEWER
PLAN

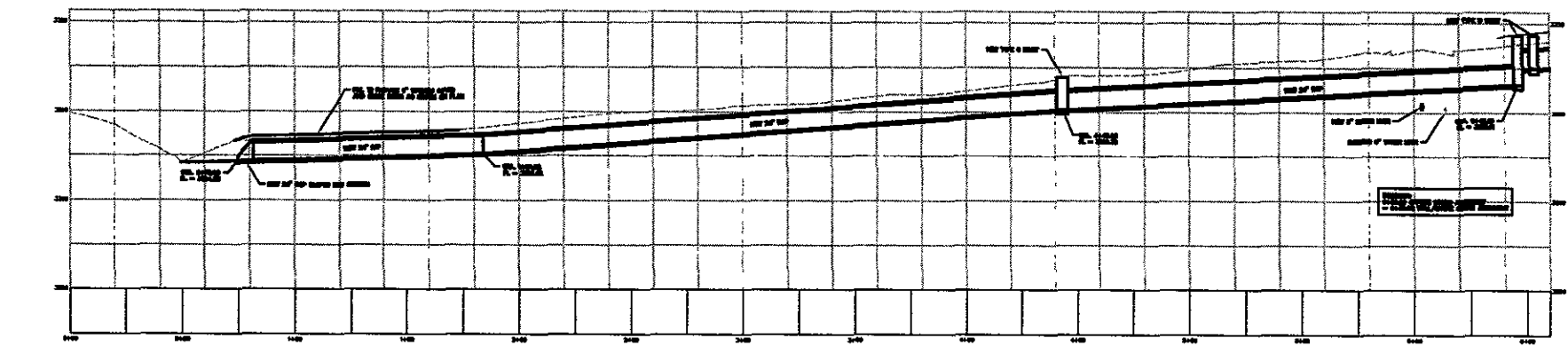
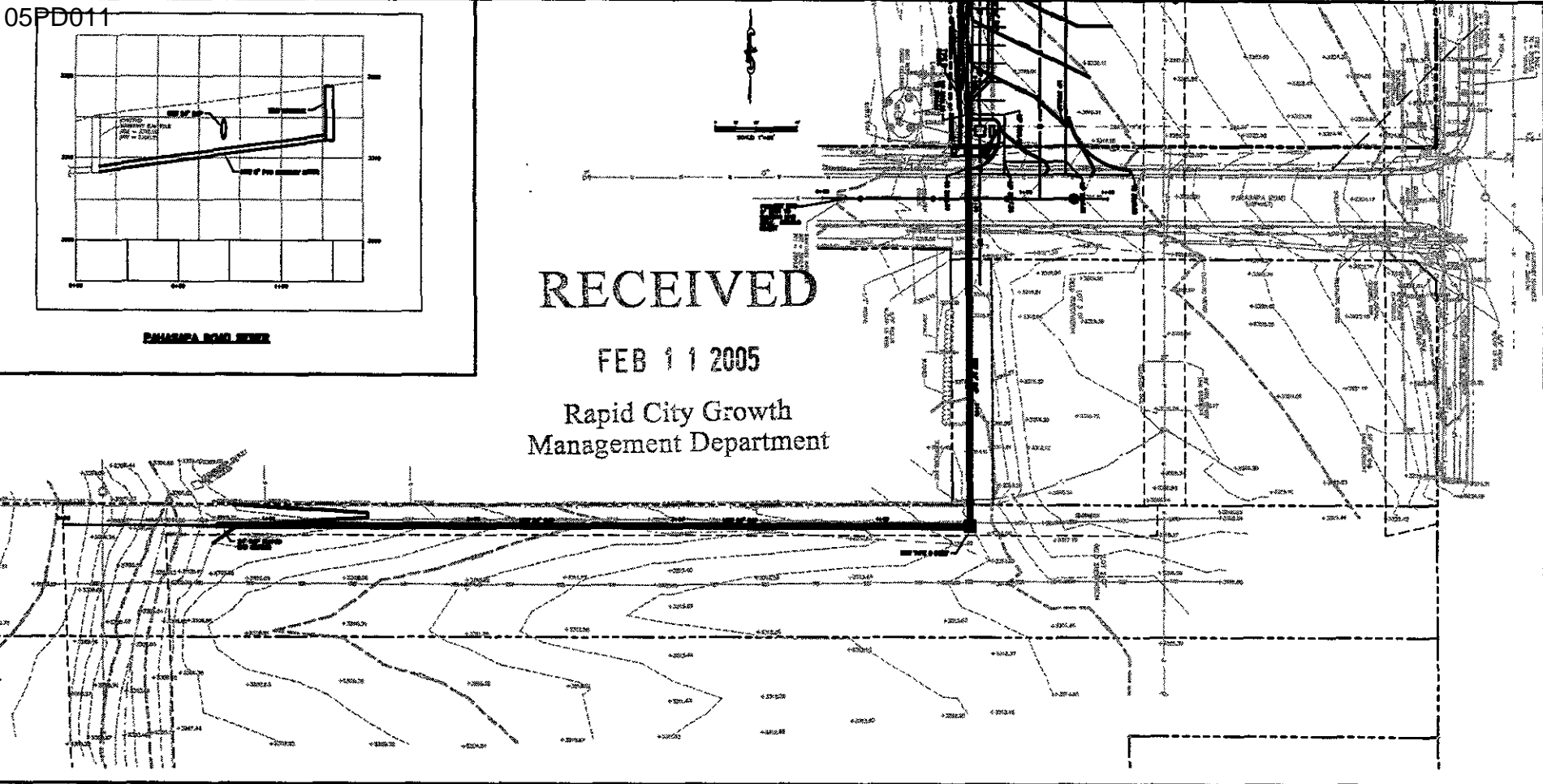


PARAMPA ROAD CROSS

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CROSS SECTION AND PROFILE VIEW

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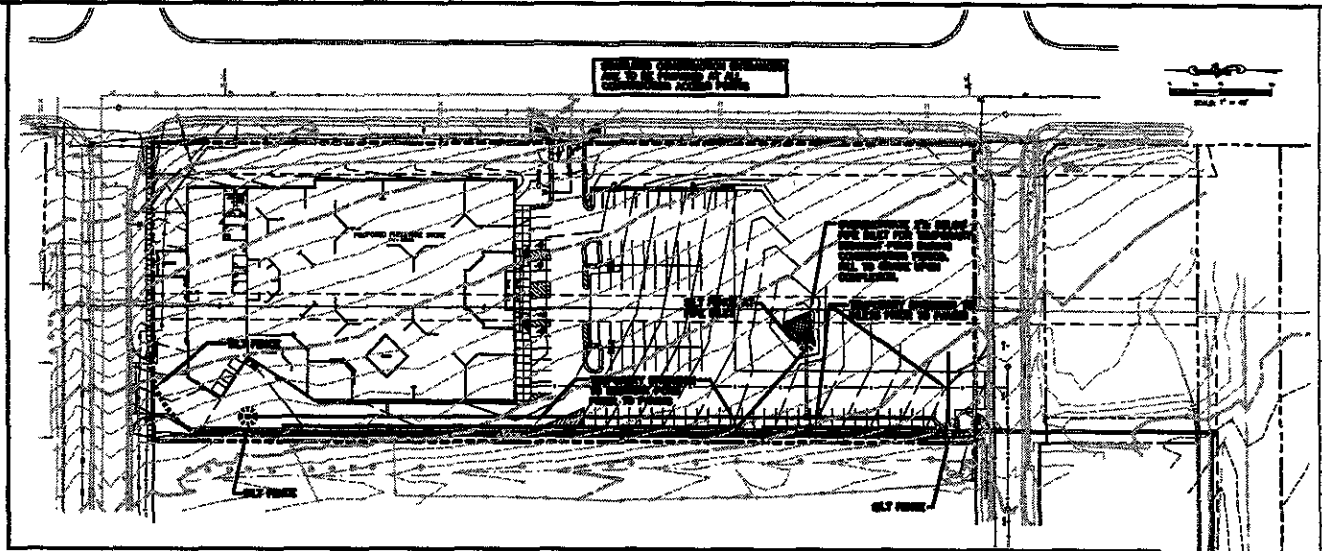
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Location	PARAMPA ROAD
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 PHASE 1 OF F & A PROPERTIES COMMERCIAL DEVELOPMENT
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 C6 OF C7



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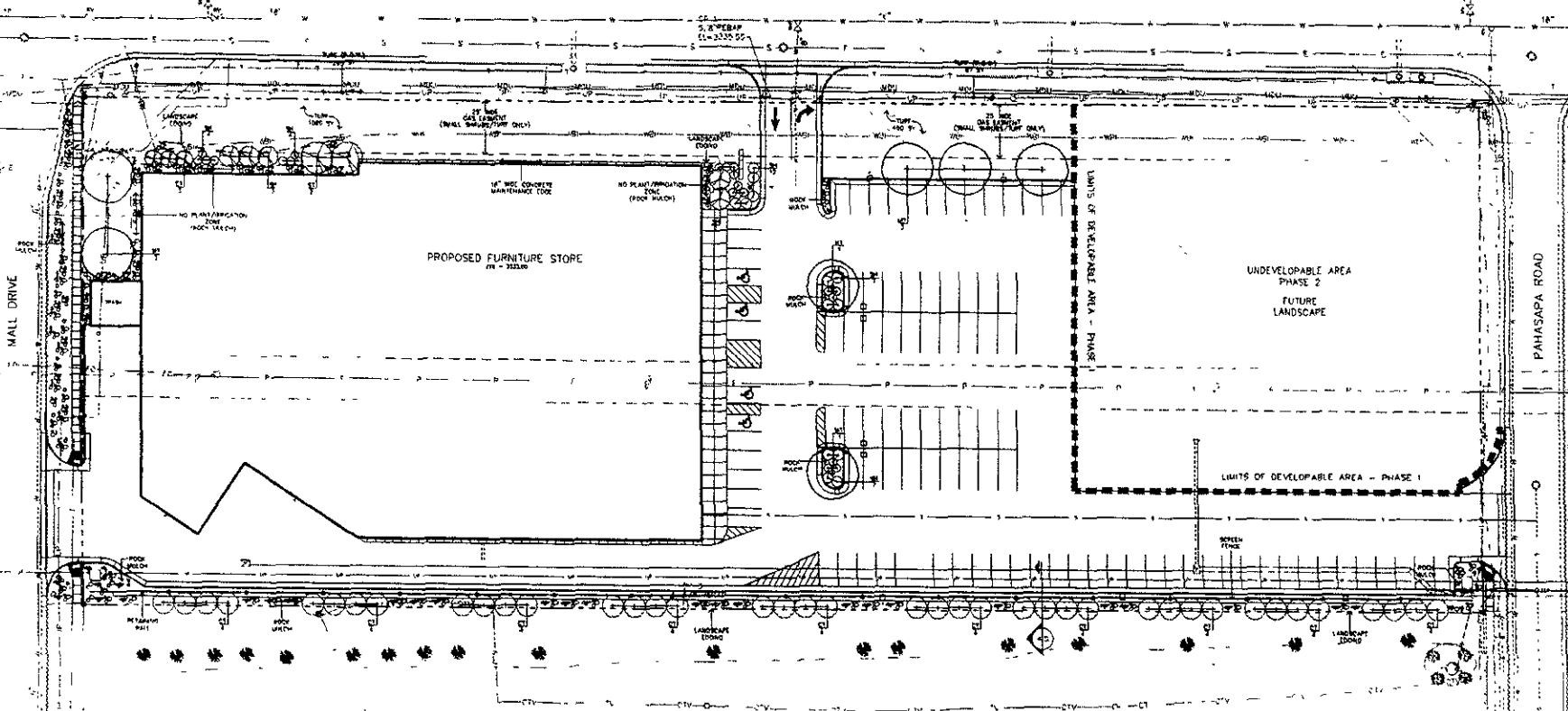


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 Location: R.C. 1000 S.W. 10th St.
 Drawn By: JRM
 Checked By: JRM

FINAL PLANNED DEVELOPMENT
 PHASE 1 OF F & A PROPERTIES COMMERCIAL DEVELOPMENT
 RAPID CITY, SD

Revision / Date
 Sheet Name
ENGINEERING CONTROL PLAN
 Sheet Number

HAINES AVENUE



LANDSCAPE LEGEND:

SYMBOL	DESCRIPTION	QTY	SYMBOL	DESCRIPTION	QTY
	MEDIUM BRONZEWOOD TREE 1700 POINTS	81		DEVELOPE SHRUB 250 POINTS	81
	MED. COLUMNAR DEC. TREE 500 POINTS	21		EMERSON SHRUB 250 POINTS	81
	SMALL ORNAMENTAL TREE 500 POINTS	17		TUFF AREA (10 POINTS) FT	10 FT
	SMALL SPYRINT LAMBERT 500 POINTS	17		ROCK MULCH 40 POINTS	40
				LANDSCAPE LIGHTING	

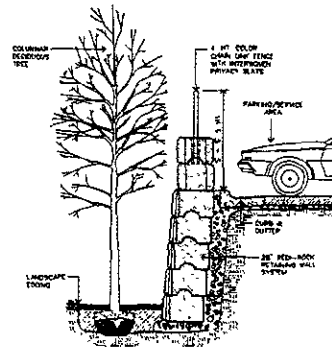
LANDSCAPE MATERIAL POINT TABLE

DEVELOPABLE AREAS

DEVELOPABLE AREA - PHASE 1 12,311 SF
 DEVELOPABLE AREA - PHASE 2 12,311 SF
 TOTAL LANDSCAPE POINTS REQUIRED 24,622
 PROPOSED PARKING AREA LANDSCAPE POINTS 28,789
 ALLOWABLE TOTAL LANDSCAPE POINTS 19,344

DEVELOPABLE AREAS

PLANT TYPE	QUANTITY	POINTS	TOTAL
MEDIUM TREE	7	1,190	7,000
MED. COLUMNAR TREE	4	2,000	10,000
SMALL TREE	5	2,500	12,500
TUFF AREA	1,722 SF	17	17
TOTAL LANDSCAPE POINTS			22,017



A TYPICAL RETAINING WALL/FENCE SECTION
 REF: 1A - 100'

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Prepared by	
Checked by	
Scale	AS SHOWN
Project No.	05PD011
Sheet No.	11 OF 11
Date	02/08/05
Drawn by	
Checked by	

F & A PROPERTIES
 HAINES AVENUE
 RAPID CITY, SOUTH DAKOTA



LANDSCAPE PLAN



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Scale: 1/8" = 1'-0"
 Date: 02/08/05
 Sheet: 11 OF 11
 LANDSCAPE CONCEPT PLAN
 11 OF 11