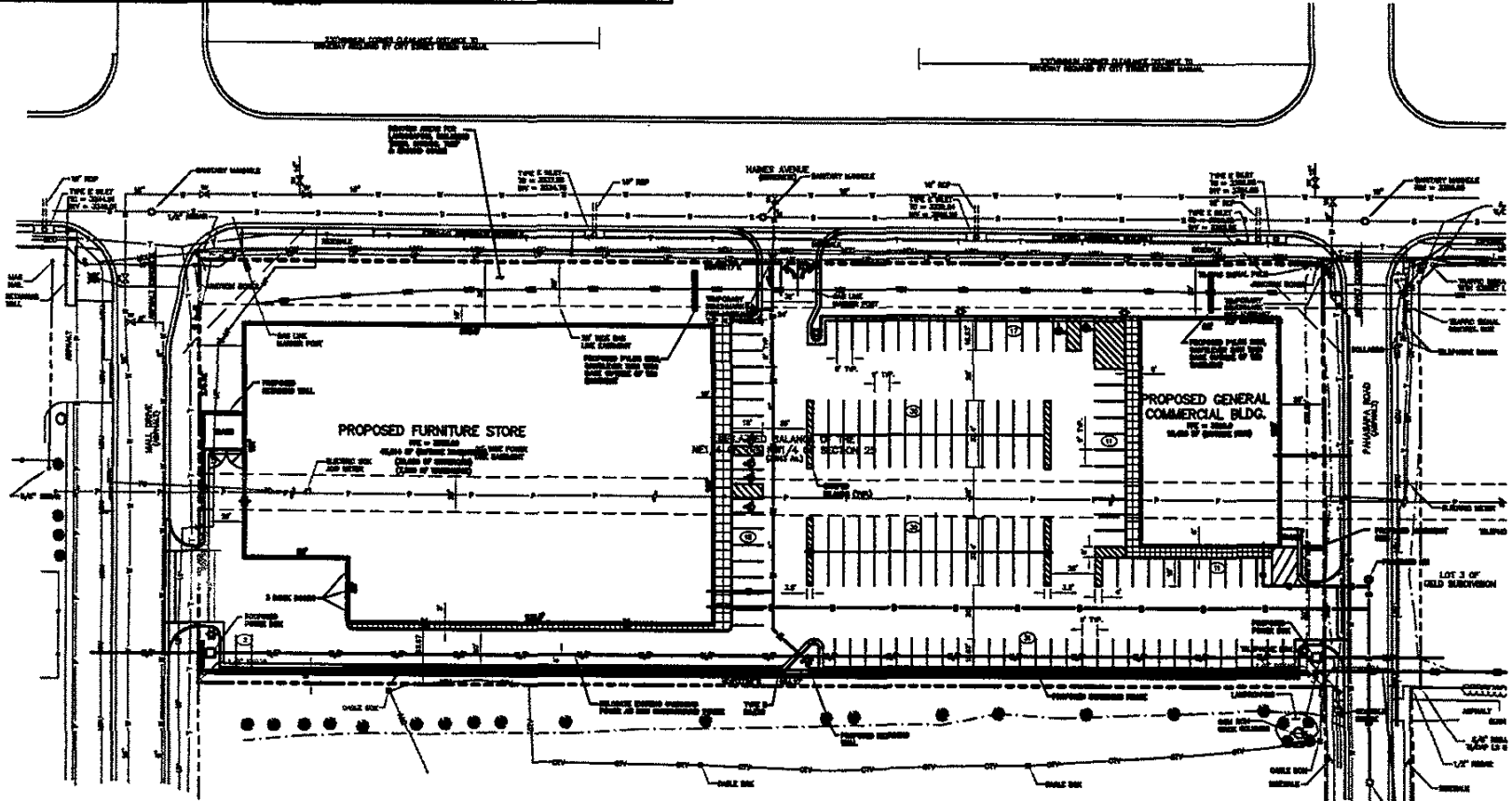


LEGEND					
—	PROPOSED CURB & GUTTER	—	SEWER FORCE MAIN	—	SAFETY CONTROL POINT
—	PROPOSED STORM SEWER	—	CHASE LINE FORCE MAIN	—	FIELD SAFETY MESSAGE
—	PROPOSED WATER LINE	—	CHASE & RETURN	—	STREET LIGHTING
—	PROPOSED SEWER LINE	—	WATER LINE	—	MANHOLE
—	PROPOSED UNDERGROUND POWER	—	OVERHEAD POWER LINE	—	CHASE OUT
—	PROPOSED SCREENING FENCE	—	UNDERGROUND POWER LINE	—	PILE POINTING
—	PROPOSED LIGHTS	—	WATER VALVE	—	CLAD STOP
—	PROPOSED FIRE HYDRANT	—	WATER VALVE	—	POWER POLE
		—	EMERGENCY SEWER LINE	—	LIGHT POLE
		—	CONTINUE (S)	—	MANHOLE
		—	CONTINUE (N)	—	WELL
		—		—	WELL (CONCRETE)
		—		—	WELL (COMPOSITE)
		—		—	MANHOLE



BLOCK 1 OF
 LAOTIA SUBDIVISION NO. 1

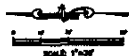
PARKING REQUIREMENTS
 PROPOSED STORE BUILDING 2,500 SQ. FT. 2.50 = 60
 PROPOSED STORE BUILDING 7,500 SQ. FT. 2.50 = 150
 OFFICE BUILDING 2,500 SQ. FT. 2.50 = 60
 TOTAL 360 = 270
 PROPOSED PARKING = 270 MANHOLES & PILE POINTS

NOT FOR CONSTRUCTION

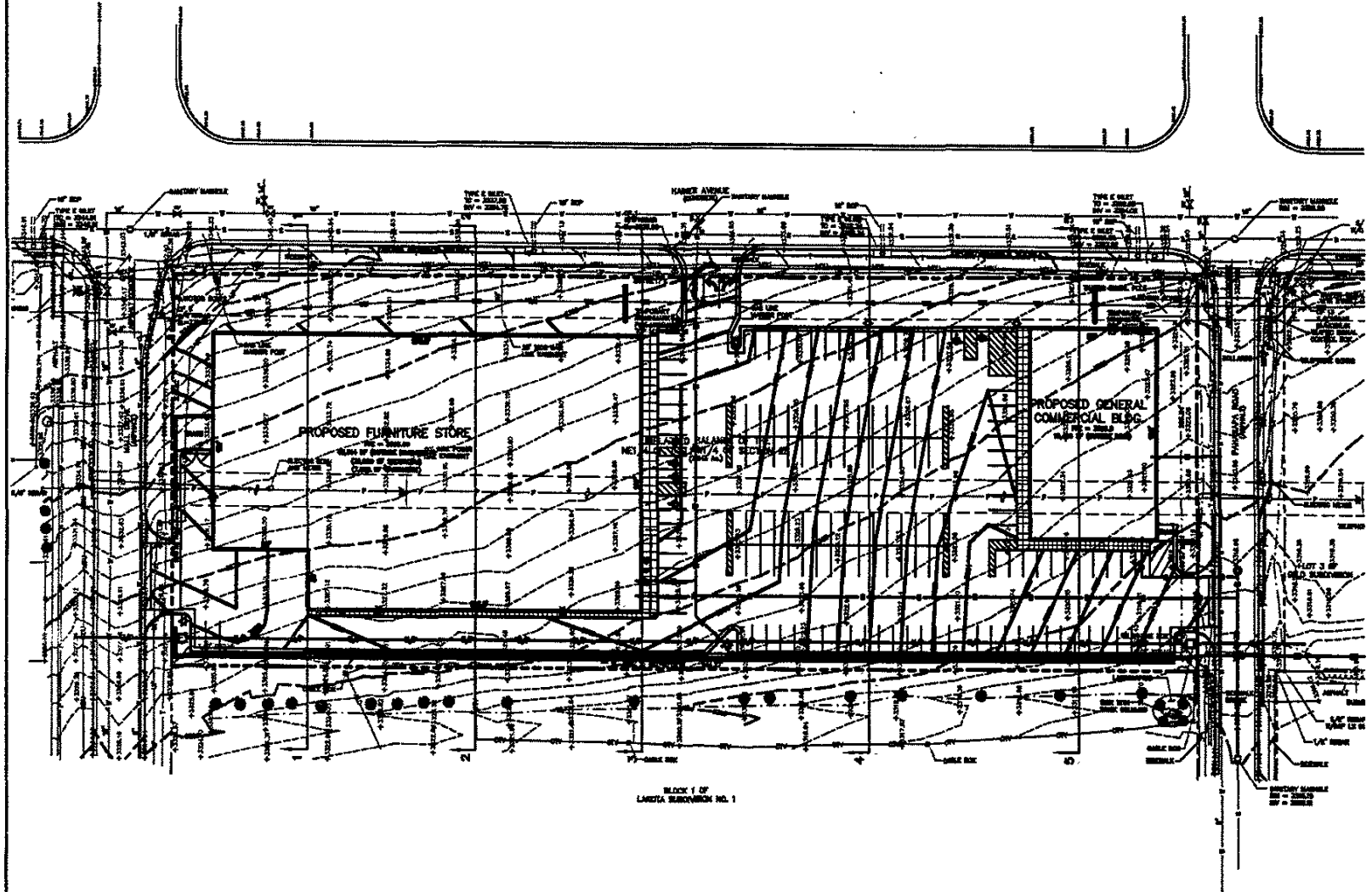
Plan Number: 072
 Location: 1/4 SECTION 10, T. 142 N., R. 10 W., S. 10 E., SD 57702
 Surveyed By: [Signature]
 Date: 11/10/04
 Designed By: [Signature]
 Drawn By: [Signature]
 Checked By: [Signature]

F & A PROPERTIES
 HAINES AVENUE
 RAPID CITY, SOUTH DAKOTA

Revision / Date
 Sheet Name:
LAYOUT & UTILITY PLAN
 Sheet Number:



LEGEND					
—	PROPOSED CURB & GUTTER	—	WOOD FENCE	△	RAILROAD CONTROL POST
—	PROPOSED STORM SEWER	—	CHAIN LINK FENCE	△	ROAD RAILWAY SIGNAL
—	PROPOSED WATER LINE	—	CURB & GUTTER	+	SPOT ELEVATION
—	PROPOSED SEWER LINE	—	SEWER LINE	○	MANHOLE
—	PROPOSED SANITARIAN POWER	—	INDIVIDUAL POWER LINE	□	CLEAN CUT
—	PROPOSED SQUARE FENCE	—	INDIVIDUAL POWER LINE	□	RULE MEASUREMENT
○	PROPOSED LIGHTS	—	TELEPHONE LINE	○	WATER VALVE
○	PROPOSED FIRE HYDRANT	—	SAFETY SEWER LINE	○	CURB STOP
		—	TELEPHONE LINE	○	POWER POLE
		—	CONTOUR (1)	○	LIGHT POLE
		—	CONTOUR (2)	○	RAIL
		—	CONTOUR (3)	○	RAIL CROSSING
		—	CONTOUR (4)	○	RAIL CROSSING SIGN



BLOCK 1 OF
LAKOTA SUBDIVISION NO. 1



File Number:	875
Location:	1/2 W. 1/4 Sec. 10, T. 118 N., R. 10 W., S.D.
Surveyed By:	W.C. & P.A.
Date:	8/22/78
Designed By:	W.C. & P.A.
Checked By:	W.C. & P.A.
Revised By:	

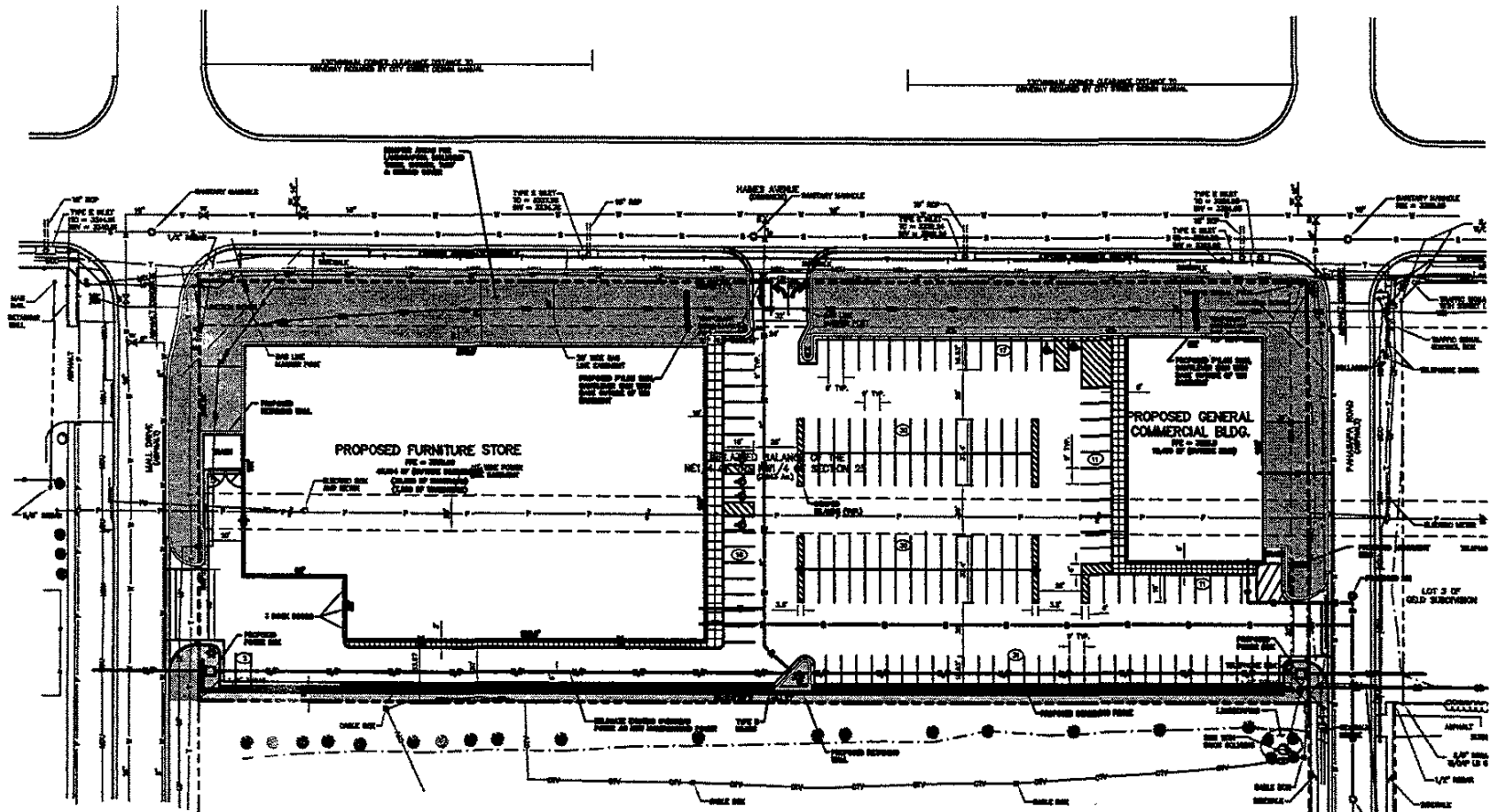
F & A PROPERTIES
HAINES AVENUE
RAPID CITY, SOUTH DAKOTA

Revised 1 Date
Sheet Name:
PARTIAL GRADING PLAN

Sheet Number:
4 OF 7



LEGEND			
PROPOSED CURB & GUTTER	POLE FACE	○-1 A	MINUTE CORNER POINT
PROPOSED STORM SEWER	OVER LINE FENCE	+ 23ALM	FOUND SURVEY MONUMENT
PROPOSED WATER LINE	GAS & WATER	○ 23ALM	SPOT ELEVATION
PROPOSED SEWER LINE	SLURRY LINE	○ 23ALM	MANHOLE
PROPOSED UNDERGROUND POWER	UNDERGROUND POWER LINE	○ 23ALM	CLEAN OUT
PROPOSED SEWER FORCE MAIN	GAS LINE	○ 23ALM	PIPE HOISTING
PROPOSED SEWER FORCE MAIN	CANTRARY SEWER LINE	○ 23ALM	WATER VALVE
PROPOSED LIGHTS	REFURGE LINE	○ 23ALM	CURE STOP
PROPOSED FIRE HOISTANT	CONTROL (T)	○ 23ALM	POWER POLE
	CONTROL (V)	○ 23ALM	LIGHT POLE
		○ 23ALM	SEW
		○ 23ALM	THE PROPOSED
		○ 23ALM	THE COMPASS
		○ 23ALM	SHOWN



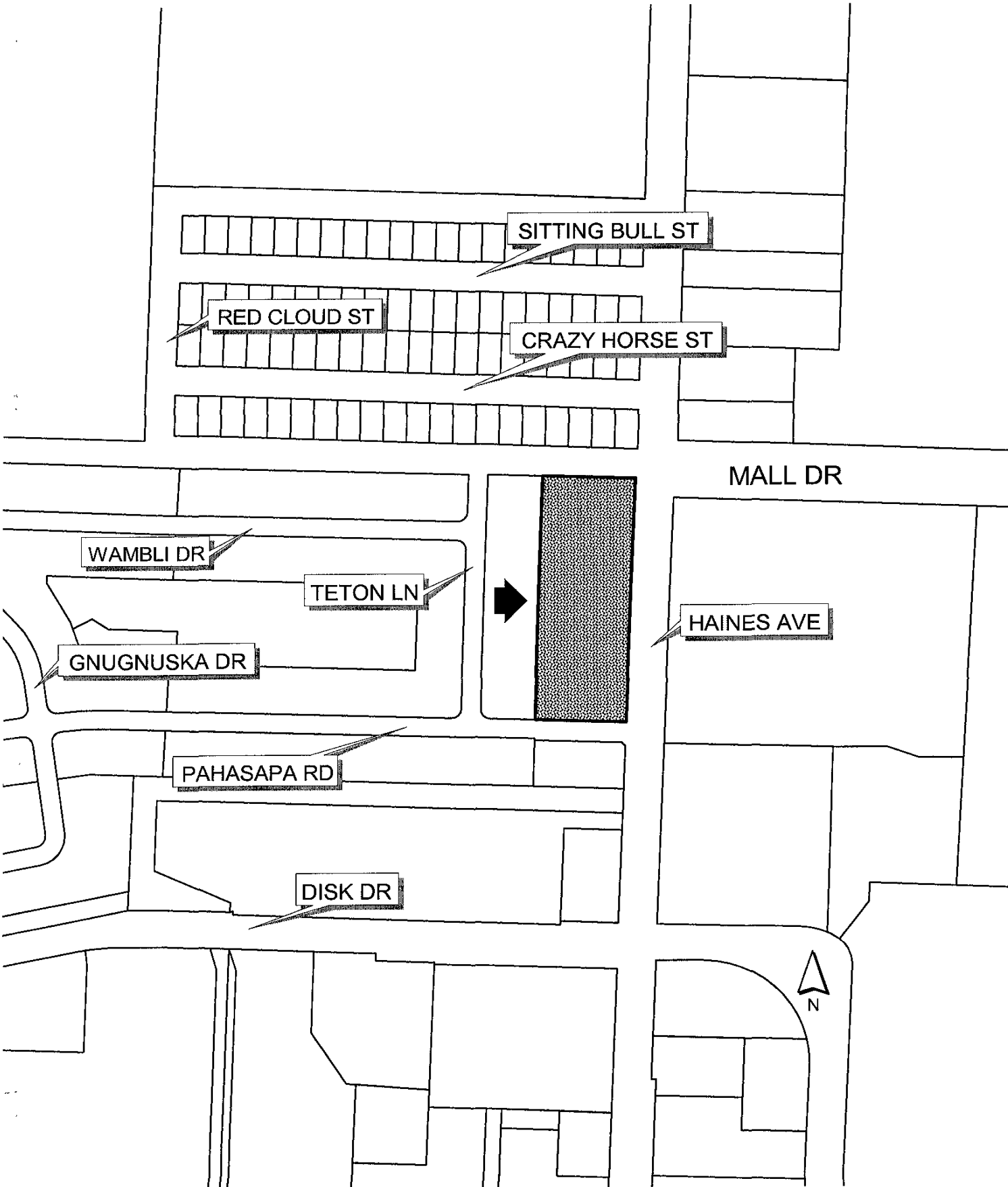
PARKING REQUIREMENTS
 PROPOSED GROSS SQUARE FOOTAGE 23,000 ± SQ. FT.
 PROPOSED GROSS VOLUME 230,000 ± CU. YD. ± 5
 MINIMUM OFFICIAL DEVELOPMENT PLAN, S.D.A.C. 10.01.02
 2000, REV. 10-99
 PROPOSED PARKING = 140 SPACES @ 160' X 30'

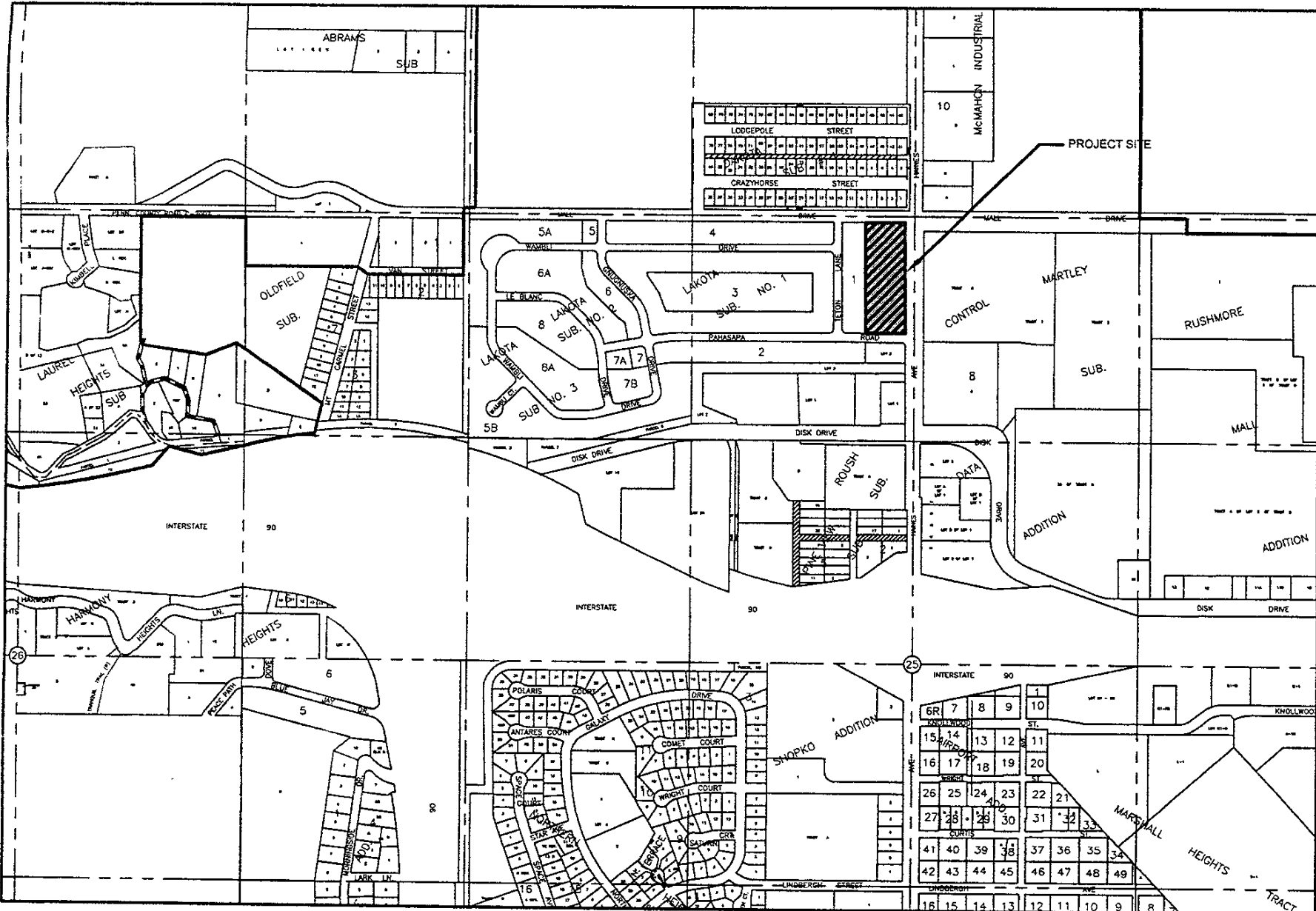
File Number:	2728
Location:	1/4 SECTION 10, T14N, R10W, SD 57702
Surveyed by:	FMG, INC.
Date:	10/20/99
Designed by:	FMG, INC.
Drawn by:	FMG, INC.
Checked by:	FMG, INC.

F & A PROPERTIES
 HAINES AVENUE
 RAPID CITY, SOUTH DAKOTA

Revision / One
Sheet Name:
LANDSCAPE AREAS
Sheet Number:

04CA065





File Number: **279**

Location: **S 1/4 E 1/4 S 1/4 Sec 36 T 14 N R 10 W**

Surveyed By: **W**

Drawn By: **W**

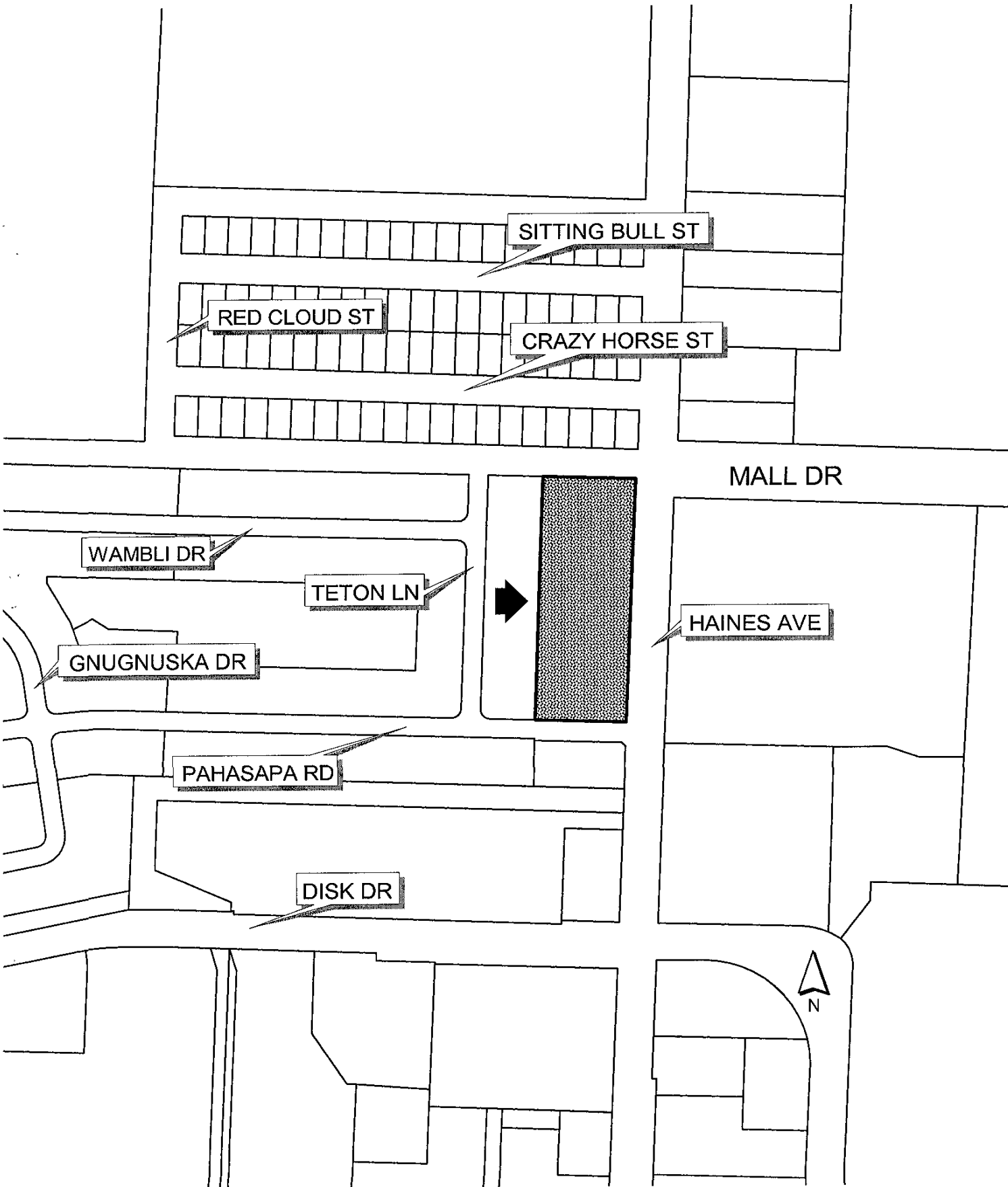
Checked by: **W**

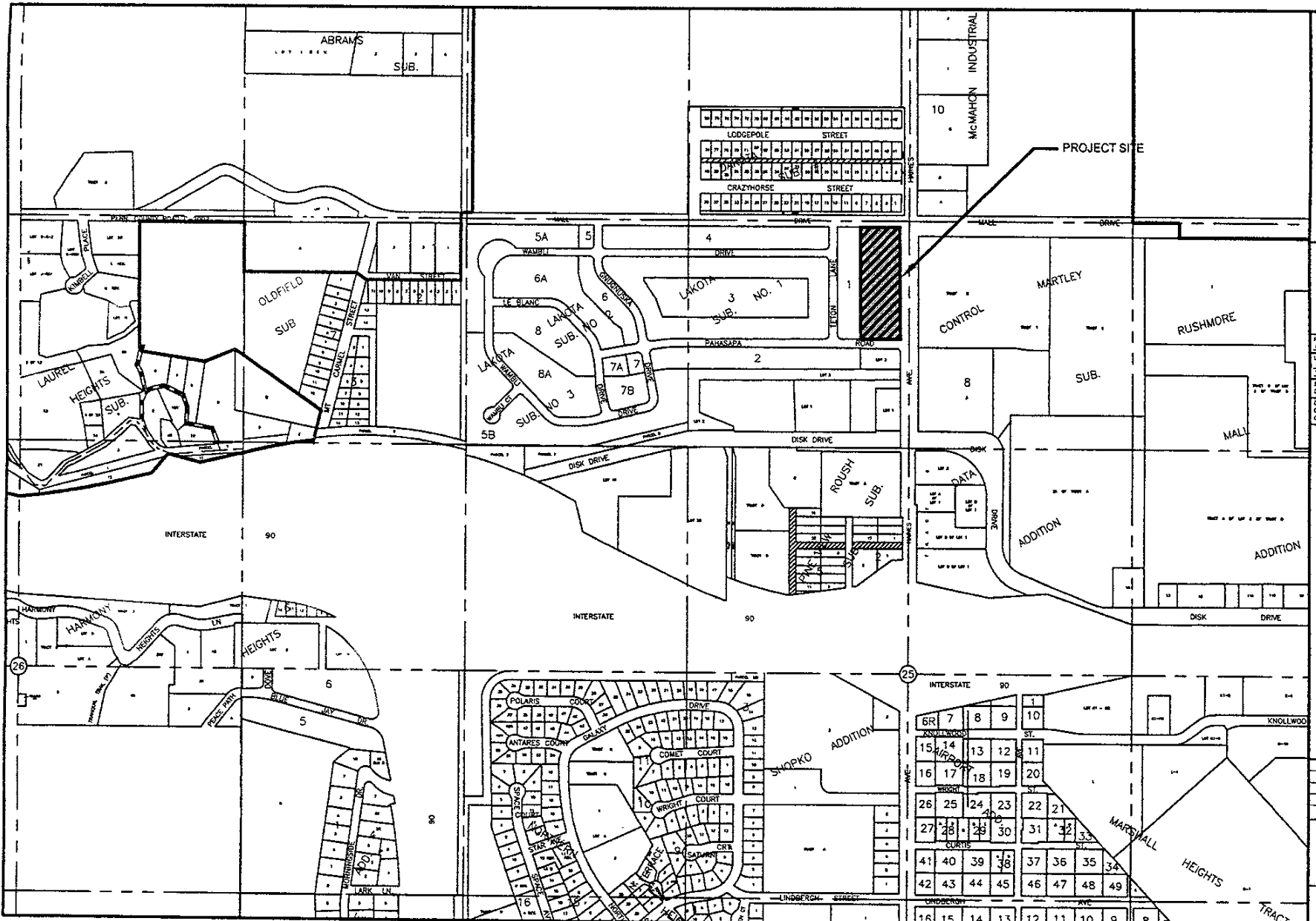
INITIAL PLANNED DEVELOPMENT
F & A PROPERTIES COMMERCIAL DEVELOPMENT
RAPID CITY, SD

Random Date
 Sheet Name
VICINITY MAP

VICINITY MAP
 SCALE 1" = 500'

04RZ057





File Number
100
Location
101 W. 1st St. S.W.
Subdivided by
100
Date
10/1/00
Designed by
100
Drawn by
100
Checked by
100

INITIAL PLANNED DEVELOPMENT
F & A PROPERTIES COMMERCIAL DEVELOPMENT
RAPID CITY, SD

Revision / Date
Sheet Name
MONTY MAP
Sheet Number
1 of 1

04VR012

E MONROE ST

E MADISON ST

SPRUCE ST

N CHERRY AVE

RILEY AVE

E WATERTOWN ST

E NORTH ST

E DENVER ST

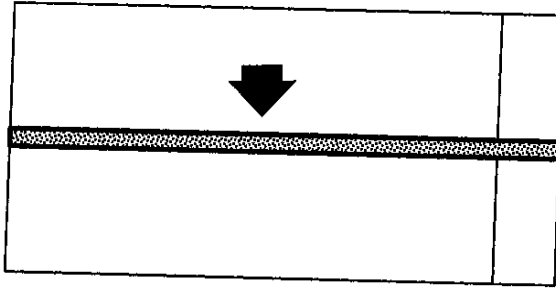


EXHIBIT A

NE¹/₄, NE¹/₄, Less Meadowlark Hills Sub & Less ROW, Section 31, T2N-R8E, Unplotted

E. MADISON STREET

BALANCE OF NORTH ¹/₂ OF BLOCK 4 OF FEIGELS SUBDIVISION, SECTION 31, T2N, R8E, BHM

Right-of-Way to be Vacated Containing 0.20 Acres, More or Less

Lot 1 Of Feigels Subdivision, Section 31, T2N, R8E, BHM

ALL OF BLOCK 1 OF FEIGELS SUBDIVISION, SECTION 31, T2N, R8E, BHM

535'

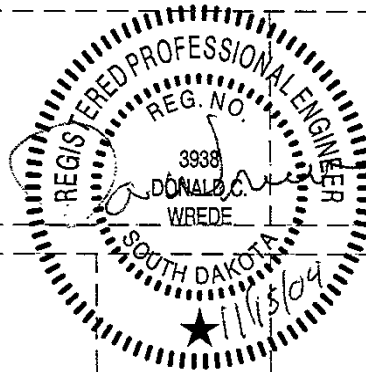
16'

BALANCE OF SOUTH ¹/₂ OF BLOCK 4 OF FEIGELS SUBDIVISION, SECTION 31, T2N, R8E, BHM

Lot 2 Of Feigels Subdivision, Section 31, T2N, R8E, BHM

E. WATERTOWN STREET

N. CHERRY AVE.



E. NORTH STREET

TSP
 TSP Three, Inc.
 600 Kansas City Street
 Rapid City, SD 57701-2712
 P (605) 343-6102
 F. (605) 343-7159
 E-Mail. tsptree@teamtsp.com

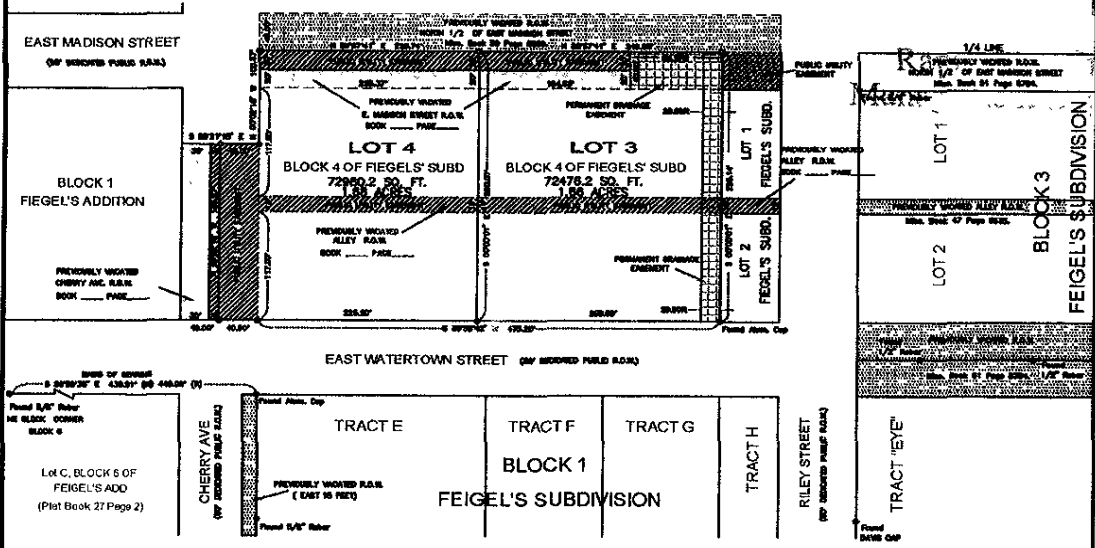
East Watertown Street Apartments		03040315	Exhibit A
Right-of-Way Vacation Document			
Scale: 1"=100'	11/15/04		

04PL176



**PLAT OF
LOT 3 & LOT 4, BLOCK 4, OF FIEGEL'S SUBDIVISION**

INCLUDING:
A PORTION OF VACATED CHERRY AVE., VACATED E. MADISON STREET
AND THE VACATED ALLEY IN BLOCK 4 OF FIEGEL'S SUBDIVISION,
FORMERLY ALL OF BLOCK FOUR (4), EXCEPT LOTS ONE (1) AND TWO (2) THEREOF,
IN FIEGEL'S SUBDIVISION, NE1/4SE14, S31, T2N., R6E, B14M,
CITY OF RAPID CITY, PENNINGTON COUNTY, SOUTH DAKOTA



SURVEYOR'S NOTES:

- 1) Note of record:
Fiegel Subdivision - Old Steel Pipe
Lots 3 & 4, Block 4 of Fiegel's Addition - Plat Book 27, Page 2.
- 2) Mark of starting to be herein shown.

LEGEND

- 5/8" REBAR & CAP "RLS6699" SET THIS SURVEY
- SURVEY MONUMENT FOUND THIS SURVEY
- RIGHT-OF-WAY VACATED PRIOR TO THIS PLAT
- RIGHT-OF-WAY VACATED PREVIOUSLY FOR THIS PLAT
- AREA DEDICATED AS PERMANENT PUBLIC UTILITY EASEMENT
- AREA DEDICATED AS PERMANENT DRAINAGE EASEMENT



SCALE 1" = 80 FEET
NOVEMBER 2004

CERTIFICATE OF HIGHWAY OR STREET AUTHORITY

The location of the proposed lot lines with respect to the Highway or Street as shown herein is hereby approved. Any approach or access to the Highway or Street will require additional approval.

Dated this _____ day of _____, 20____

Highway/Street Authority _____

CERTIFICATE OF DIRECTOR EQUALIZATION

I, Director of Equalization of Pennington County, do hereby certify that I have on record in my office a dated Copy of this within described plat.

Dated this _____ day of _____, 20____

Director of Equalization of Pennington County _____

APPROVED:

Director of Equalization of Pennington County _____

CERTIFICATE OF FINANCE OFFICER

I, Finance Officer of the City of Rapid City do hereby certify that the Growth Management Director and the Public Works Director of the City of Rapid City have approved this Plat as shown herein.

Dated this _____ day of _____, 20____

Finance Officer of the City of Rapid City _____

CERTIFICATE OF FINANCE OFFICER

I, Finance Officer of the City of Rapid City do hereby certify that all special assessments which are here upon the within described lands are fully paid according to the record in my office.

Dated this _____ day of _____, 20____

Finance Officer of the City of Rapid City _____

CERTIFICATE OF SURVEYOR

STATE OF SOUTH DAKOTA }
COUNTY OF PENNINGTON } SS

I, Ricky J. Bush, Registered Land Surveyor No. 5699 in the State of South Dakota, do hereby certify that at the request of the owner(s) listed herein I have surveyed that tract of land shown, and to the best of my knowledge and belief, the within plat is a representation of said survey. Experience or restrictions of miscellaneous record or private agreements that are not known to me are not shown herein.

IN WITNESS WHEREOF
I have hereunto set my hand and Seal,

Ricky J. Bush Date _____
Registered Land Surveyor No. 5699

CERTIFICATE OF OWNERSHIP

STATE OF SOUTH DAKOTA }
COUNTY OF PENNINGTON } SS

I, the undersigned do hereby certify that I am the Owner of the land shown and described herein; and that the survey was done at my request for the purpose indicated herein; that I do hereby approve the survey and within plat of said land; and that the development of this land shall conform to all existing applicable zoning, subdivision, and erosion and sediment control regulations.

Any land shown on the within plat as dedicated to public right of way is hereby dedicated to public use and public utility use as such, forever, but such dedication shall not be construed to be a donation of full fee of such land.

OWNER: _____

On the _____ day of _____, 2004, before me,
a Notary Public, personally appeared _____
known to me to be the person described in the foregoing instrument and acknowledged to me that (he/she) signed the same.

Notary Public _____

My Commission Expires: _____

CERTIFICATE OF GROWTH MANAGEMENT Director

I, Growth Management Director of the City of Rapid City, have reviewed this plat and found it to conform to the Subdivision requirements of Chapter 16.06.030 of the Rapid City Municipal Code and as such I have approved this Plat as a Final Plat.

Dated this _____ day of _____, 20____

Growth Management Director of the City of Rapid City _____

CERTIFICATE OF PUBLIC WORKS DIRECTOR

I, Public Works Director of the City of Rapid City have reviewed this plat and have found it to conform to the Subdivision requirements of Chapter 16.06.030 of the Rapid City Municipal Code and as such I have approved this Plat as a Final Plat.

Dated this _____ day of _____, 20____

Growth Management Director of the City of Rapid City _____

CERTIFICATE OF COUNTY TREASURER

I, Treasurer of Pennington County, do hereby certify that all taxes which are here upon the within described lands are fully paid according to the records of my office.

Dated this _____ day of _____, 20____

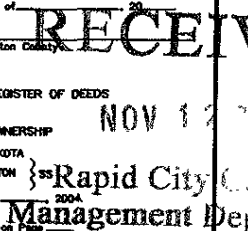
Treasurer of Pennington County _____

CERTIFICATE OF REGISTER OF DEEDS

CERTIFICATE OF OWNERSHIP

STATE OF SOUTH DAKOTA }
COUNTY OF PENNINGTON } ss
Filed this _____ day of _____, 2004.
In Book _____ of Plats, on Page _____

Register of Deeds _____



PRELIMINARY PLAT OF LOT 3 & LOT 4, BLOCK 4, OF FIEGEL'S SUBDIVISION

INCLUDING:
A PORTION OF VACATED CHERRY AVE., VACATED E. MADISON STREET
AND THE VACATED ALLEY IN BLOCK 4 OF FIEGEL'S SUBDIVISION,

FORMERLY: ALL OF BLOCK FOUR (4), EXCEPT LOTS ONE (1) AND TWO (2) THEREOF,
IN FIEGEL'S SUBDIVISION, NE 1/4 SE 1/4, S. 31, T. 2N., R. 8E., B. H.M.,
CITY OF RAPID CITY, PENNINGTON COUNTY, SOUTH DAKOTA.







1" = 100 Feet
NOVEMBER 2004

PROJECT OWNER:
Rob Poeppel
PO Box 7511
Rapid City, SD 57709

SURVEYOR'S NOTES

- 1) City of Rapid City Bench Mark # 2042 with an Elevation of 3245.28 (NGVD29) was used for Horizontal Control.
- 2) SD One Call Locations were used for all utility locations shown above.
- 3) Plats of record:
Fiegels Subdivision - Old Steel Files
Lots B & C, Block 6 of Fiegels Addition - Plat Book 27, Page 2.
- 4) Basis of Bearing is as shown - Along the 1/4 Line.

-  RIGHT-OF-WAY VACATED PRIOR TO THIS PROJECT
-  RIGHT-OF-WAY VACATED PREVIOUSLY FOR THIS PROJECT
-  AREA DEDICATED AS PERMANENT PUBLIC UTILITY EASEMENT
-  AREA DEDICATED AS PERMANENT DRAINAGE EASEMENT

EAST MADISON STREET

(60' DEDICATED PUBLIC R.O.W.)

ALL OF BLOCK 1
FIEGEL'S ADD.

PUBLIC UTILITY
EASEMENT

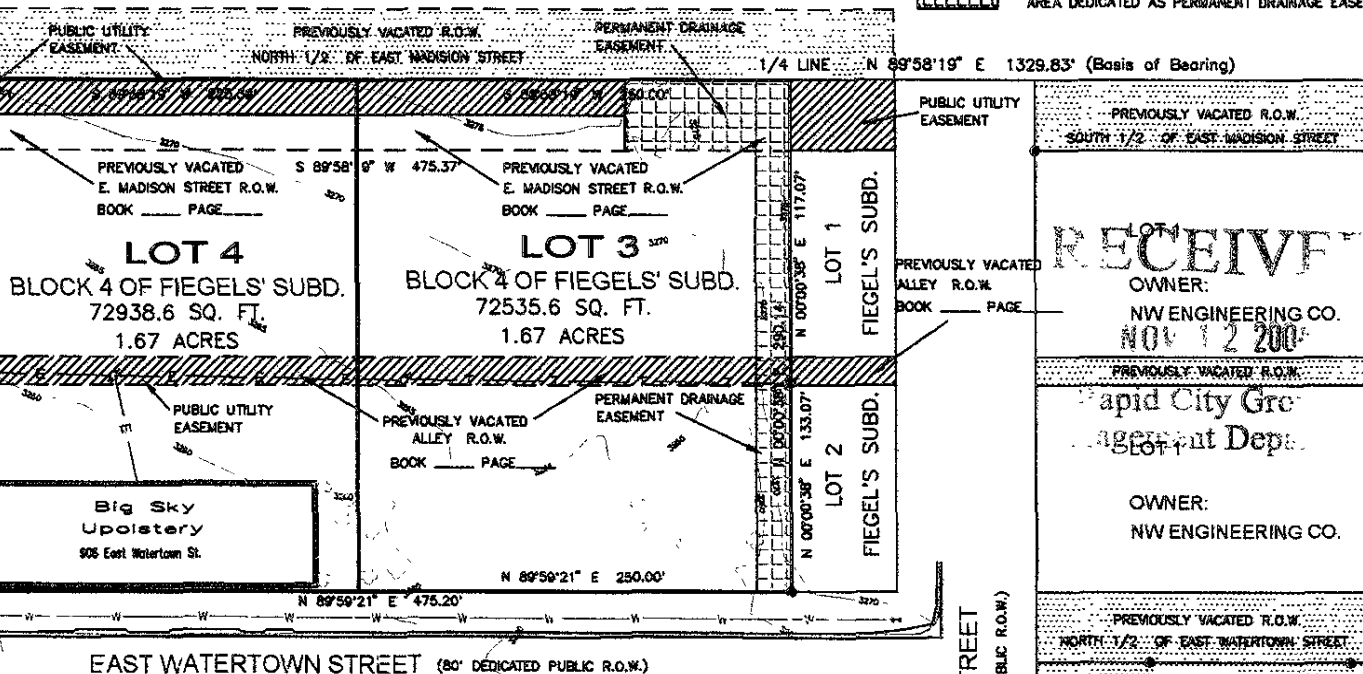
OWNER:
NW ENGINEERING CO.

PREVIOUSLY VACATED
CHERRY AVE. R.O.W.
BOOK _____ PAGE _____

Lot C, BLOCK 6 OF
FIEGEL'S ADD
(Plat Book 27 Page 2)

OWNER:
BIG D OIL CO.

CHERRY AVE.
(60' DEDICATED PUBLIC R.O.W.)



EAST WATERTOWN STREET (80' DEDICATED PUBLIC R.O.W.)

RILEY STREET
(60' DEDICATED PUBLIC R.O.W.)

TRACT E & E. 15' OF
VACATED CHERRY AVE.
FIEGEL'S SUB.

OWNER:
MARK TREADWELL

TRACT B & F
FIEGEL'S SUB.

OWNER:
RICHARD D. GRAHAM

TRACT C & G
FIEGEL'S SUB.

OWNER:
THOMAS P. WALSH
FAMILY LP

TRACT F
FIEGEL'S SUB.
OWNER:
WILLIAM STEWART

RECEIVED
OWNER:
NW ENGINEERING CO.
NOV 12 2004

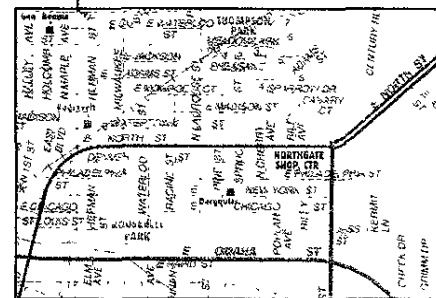
Rapid City Growth
Management Dept.

OWNER:
NW ENGINEERING CO.

PREVIOUSLY VACATED R.O.W.
NORTH 1/2 OF EAST WATERTOWN STREET

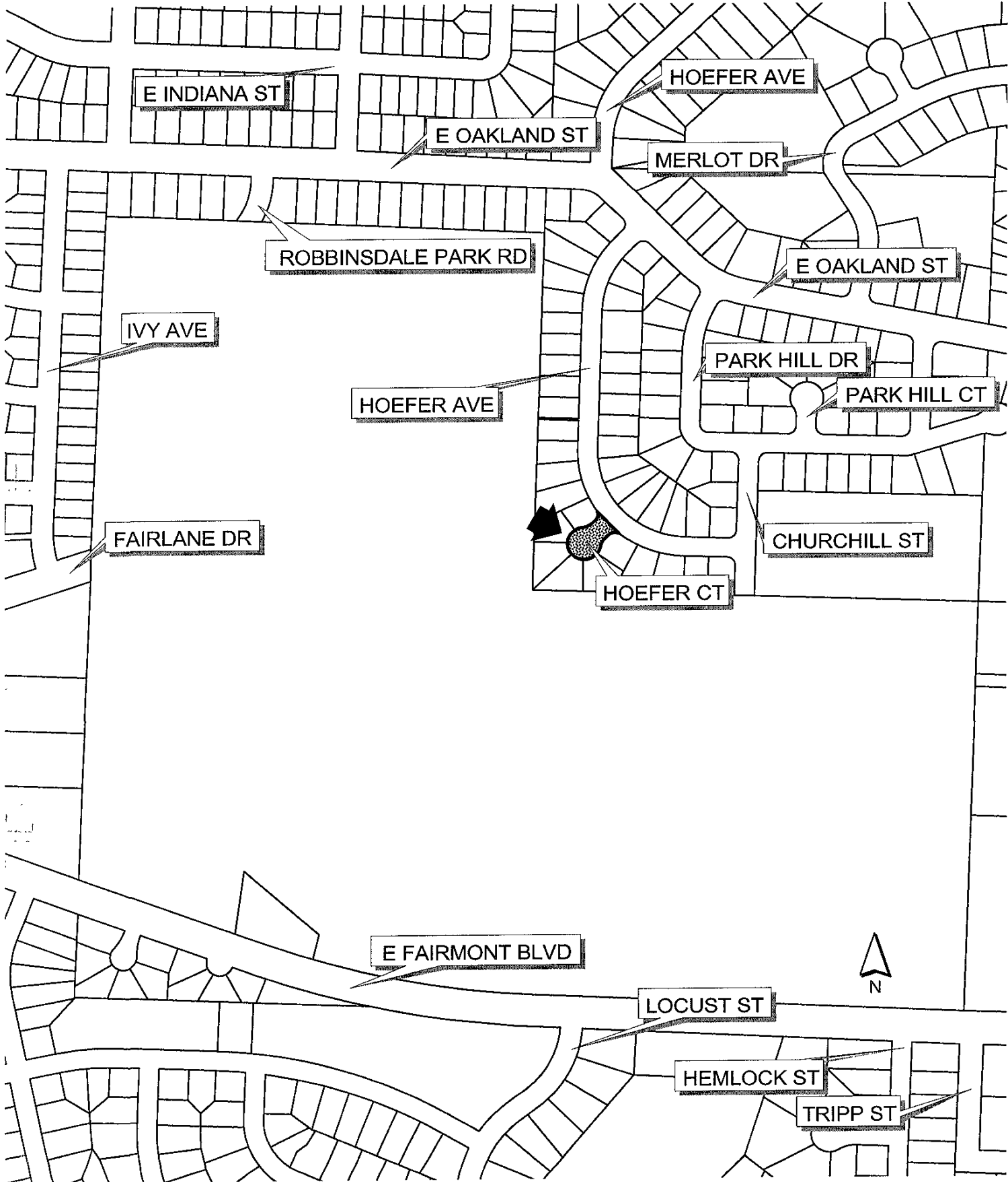
PREVIOUSLY VACATED R.O.W.
SOUTH 1/2 OF EAST WATERTOWN STREET

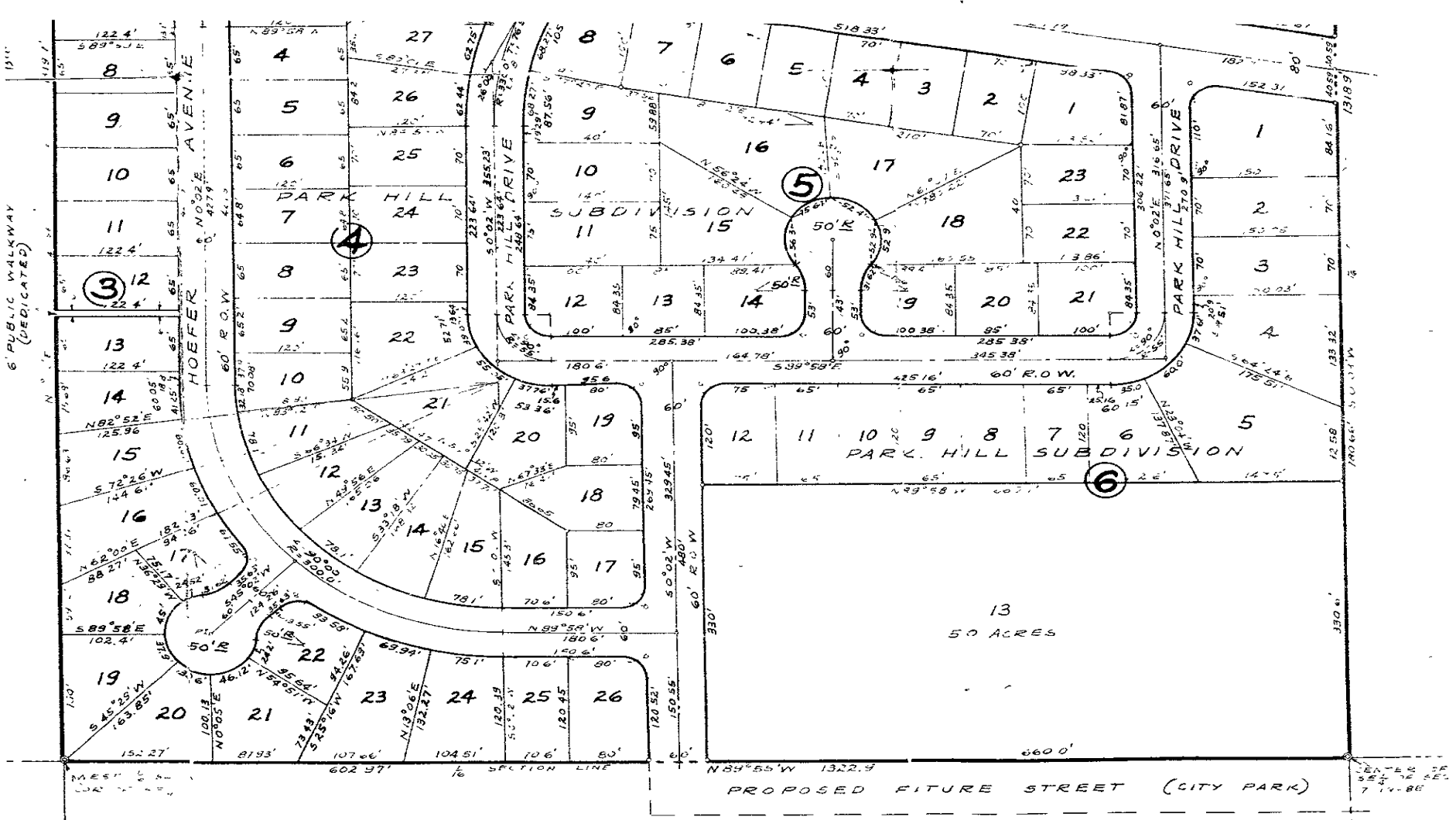
TRACT EYE
OWNER:
NW ENGINEERING CO.



VICINITY

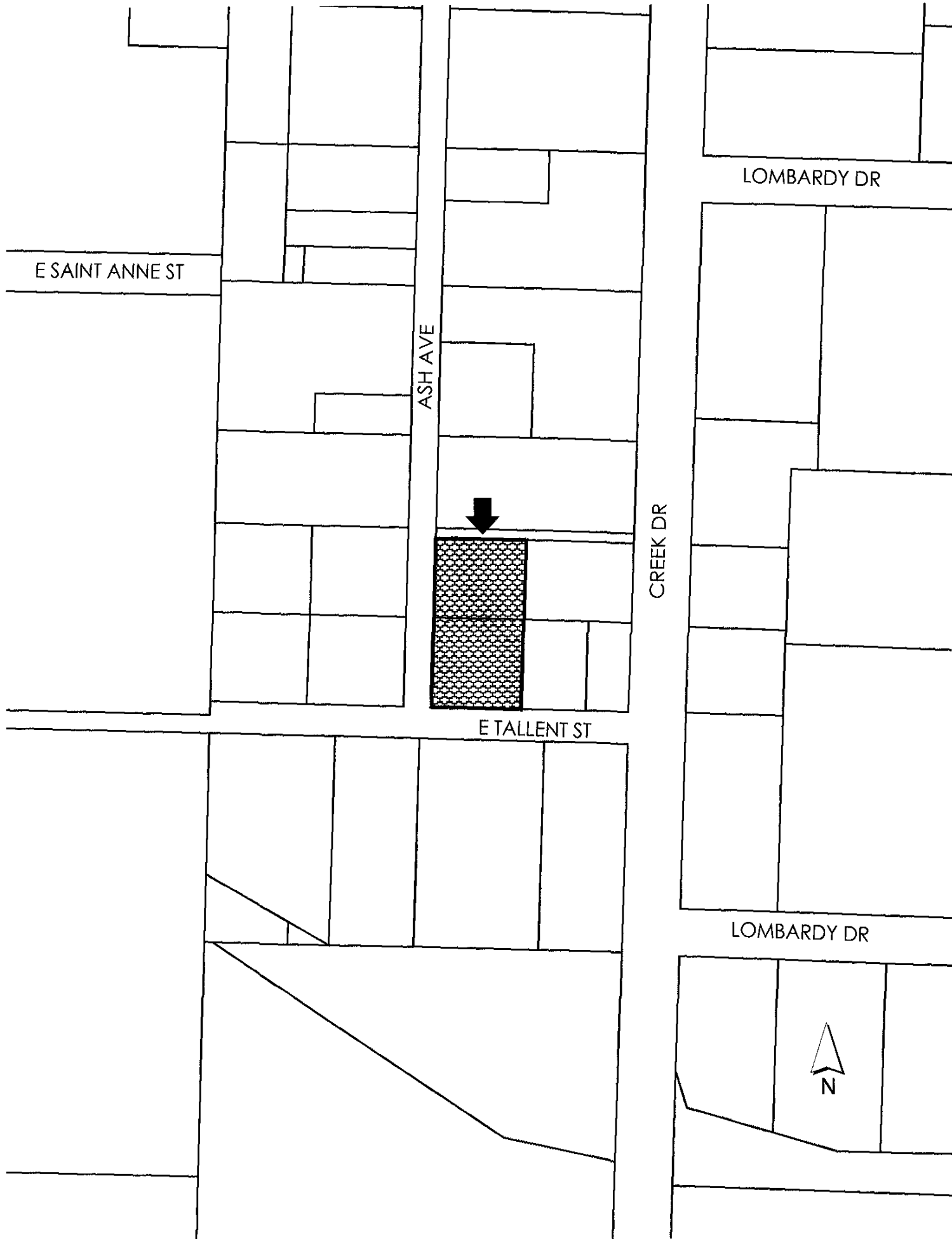
04RD002





NOTE: ALL BLOCK CORNER RADII ARE 25' UNLESS OTHERWISE INDICATED.
 DIMENSIONS ON CURVES ARE CHORD LENGTH UNLESS OTHERWISE INDICATED.

04PD071



PROJECT DATA (2003 IBC)

PROPOSED PROJECT: RELOCATION OF 4 DUPLEX BUILDINGS TO SITE.
R-3 OCCUPANCY.
MEDIUM DENSITY RESIDENTIAL.

PARCEL ZONING: MDR

ADJACENT PARCELS ZONING / SETBACKS:
NORTH PARCEL ZONING (REAR YARD): MDR 25 FEET 25 FEET (OK)
EAST PARCEL ZONING (SIDE YARD): MDR 8 FEET 8 FEET (OK)
SOUTH PARCEL ZONING (FRONT YARD): MDR 25 FEET 25 FEET (OK)
WEST PARCEL ZONING (FRONT YARD): MDR 25 FEET 25 FEET (OK)

OCCUPANCY TYPE(S): R-3 DUPLEXES

LOT(S) SF: 35,700 SF
LOT 9: 16,800 SF
LOT 10: 18,900 SF

BUILDING TYPE: V-B

ALLOWABLE STORIES / PROPOSED STORIES: 1 ALLOWED / 1 PROPOSED

ALLOWABLE BUILDING SF: UNLIMITED

UNITS ALLOWED / PROPOSED: 20 ALLOWED / 8 PROPOSED
(35,700 -5000) / 1500

BUILDING(S) SF: 9,408 SF TOTAL FOR ALL UNITS EACH FLOOR
MAIN LEVEL EACH BUILDING 2,352 SF X 4 = 9,408 SF
LOWER LEVEL EACH BUILDING 2,352 SF X 4 = 9,408 SF

LOT COVERAGE PERCENTAGE: 26.4% < 30% (OK)
(5856 / 28938)

FIRE FLOWS REQUIRED FOR 4704 SF EACH BUILDING: 1,750 GPM AT 20 PSI

FIRE FLOWS AVAILABLE: 4,836 GPM AT 20 PSI (OK)
(SEE ATTACHED TESTING SHEET DATED 1 NOVEMBER 04)

AUTOMATIC SPRINKLER SYSTEM REQUIREMENTS: NONE REQUIRED / NONE PROVIDED.

PARKING REQUIREMENTS: 12 SPACES REQUIRED
(8 UNITS X 1.5)

PARKING PROVIDED: 16 SPACES INCLUDING (1) HC SPACE

LANDSCAPING REQUIREMENTS: SEE LANDSCAPE PLAN

LANDSCAPING PROVIDED: SEE LANDSCAPE PLAN WITH SPRINKLER SYSTEM

DRAINAGE PLAN FOR SITE: SEE DESIGN BY ADVANCED ENGINEERING.
RONALD BENGS, PE.

ADDRESS: NOT ASSIGNED

PARCEL ID: 3808102008 / 3808102010

LEGAL DESCRIPTION: LOT 5K OF LOT B OF LOT 5 LESS THE N15 FEET OF TRACT 2, JAMES SUBDIVISION AND LOT 5G OF LOT C OF TRACT 2 OF LESTER SUBDIVISION, RAPID CITY, PENNINGTON COUNTY, SOUTH DAKOTA.

PROJECT
PLANNED RESIDENTIAL DEVELOPMENT
FOR
FOUR RELOCATED DUPLEX BUILDINGS
RAPID CITY, SD

CLIENT
DAN HOLSWORTH
2102 CREEK DRIVE
RAPID CITY, SD 57701
605.343.5213

DESIGNER
KENNEDY DESIGN GROUP INC.
4955 ENCHANTED PINES DRIVE
RAPID CITY, SD 57701
605.342.5314

SITE ENGINEER
ADVANCED ENGINEERING & SURVEYING, LLC
1030 WEST MAIN STREET
RAPID CITY, SD 57701
605.718.8825

RECEIVED

NOV 12 2004
Rapid City Growth
Management Department



CLIENT:
DAN HOLSWORTH
RAPID CITY, SD
605.343.5213

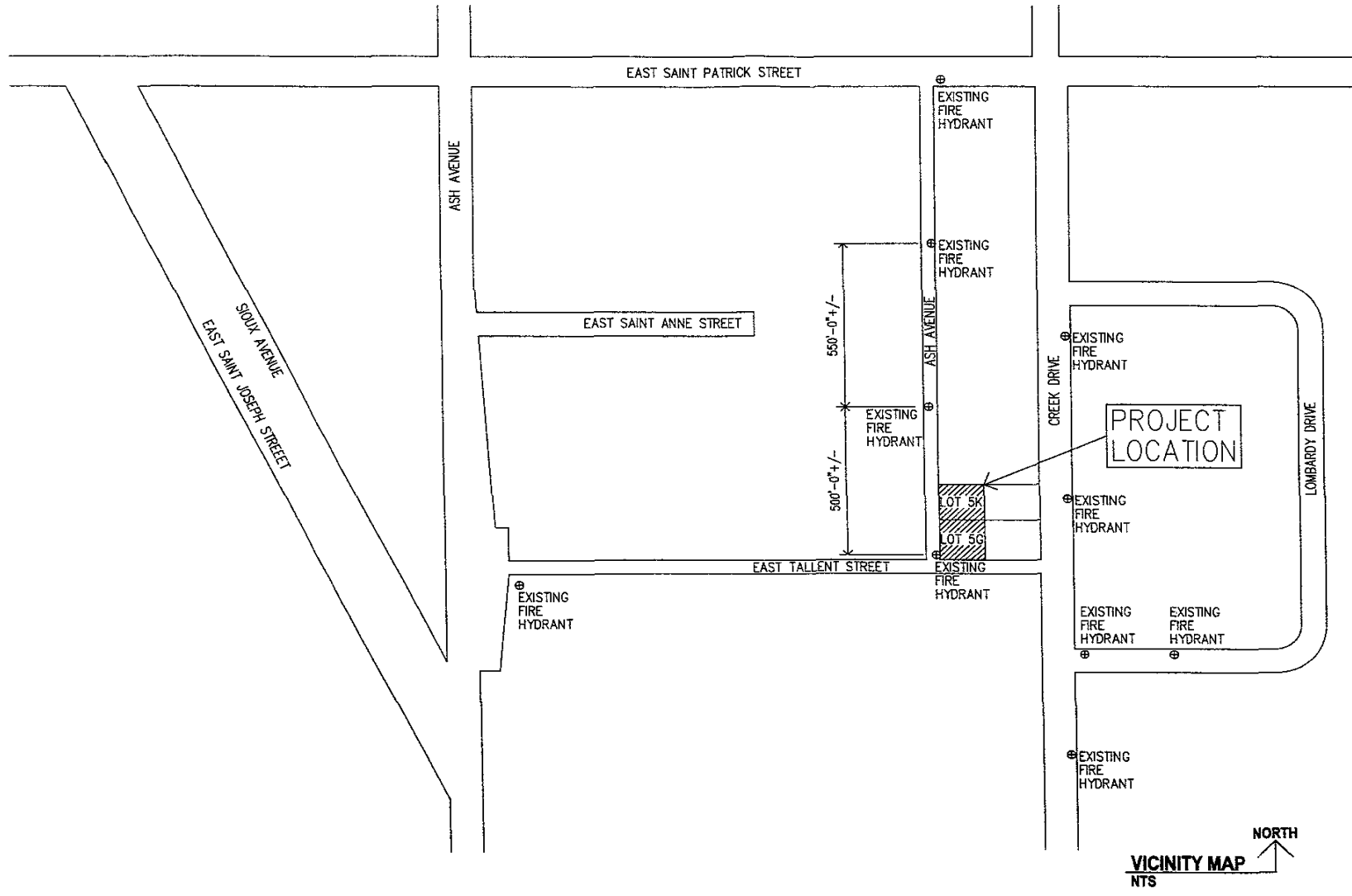
PROJECT:
FOUR DUPLEX
APARTMENT BUILDINGS
RAPID CITY, SD

COVER SHEET
PROJECT DATA

PROJECT NO: 428
FILE NO: 428-4
DRAWN BY: RCK
CHECK BY: RCK
DATE: 11.11.04
REVISIONS: XXXX

A.1

Drawing Number



CLIENT:
 DAN HOLSWORTH
 RAPID CITY, SD
 605.343.5213

PROJECT:
 FOUR DUPLEX
 APARTMENT BUILDINGS
 RAPID CITY, SD

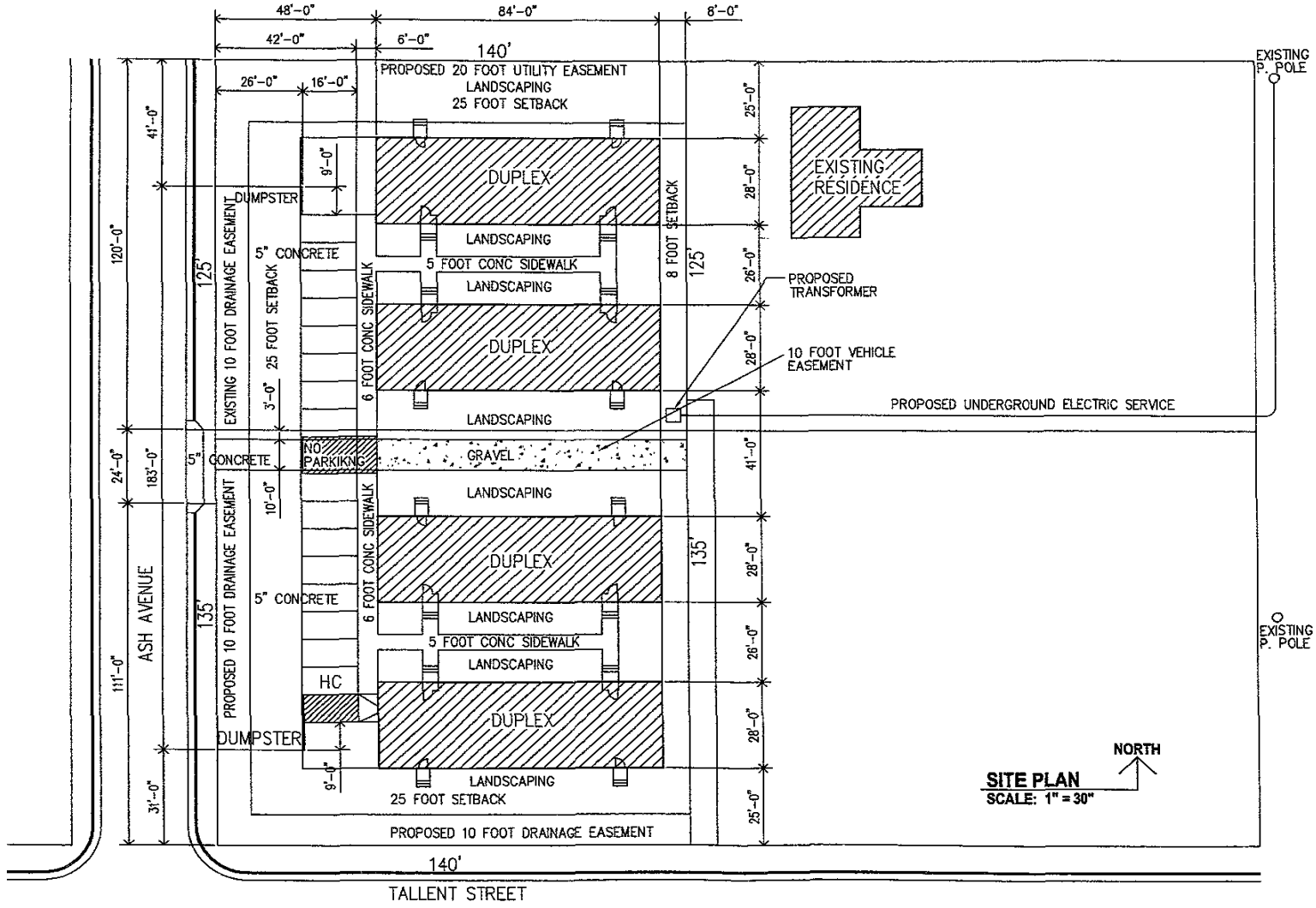
VICINITY MAP

PROJECT NO: 426
 FILE NO: 426-4
 DRAWN BY: RSK
 CHECK BY: RSK
 DATE: 11.11.04
 REVISIONS: XXXX

A.2

Drawing Number

VICINITY MAP
 NTS



CLIENT:
DAN HOLSWORTH
RAPID CITY, SD
605.343.5213

PROJECT:
FOUR DUPLEX
APARTMENT BUILDINGS
RAPID CITY, SD

SITE PLAN

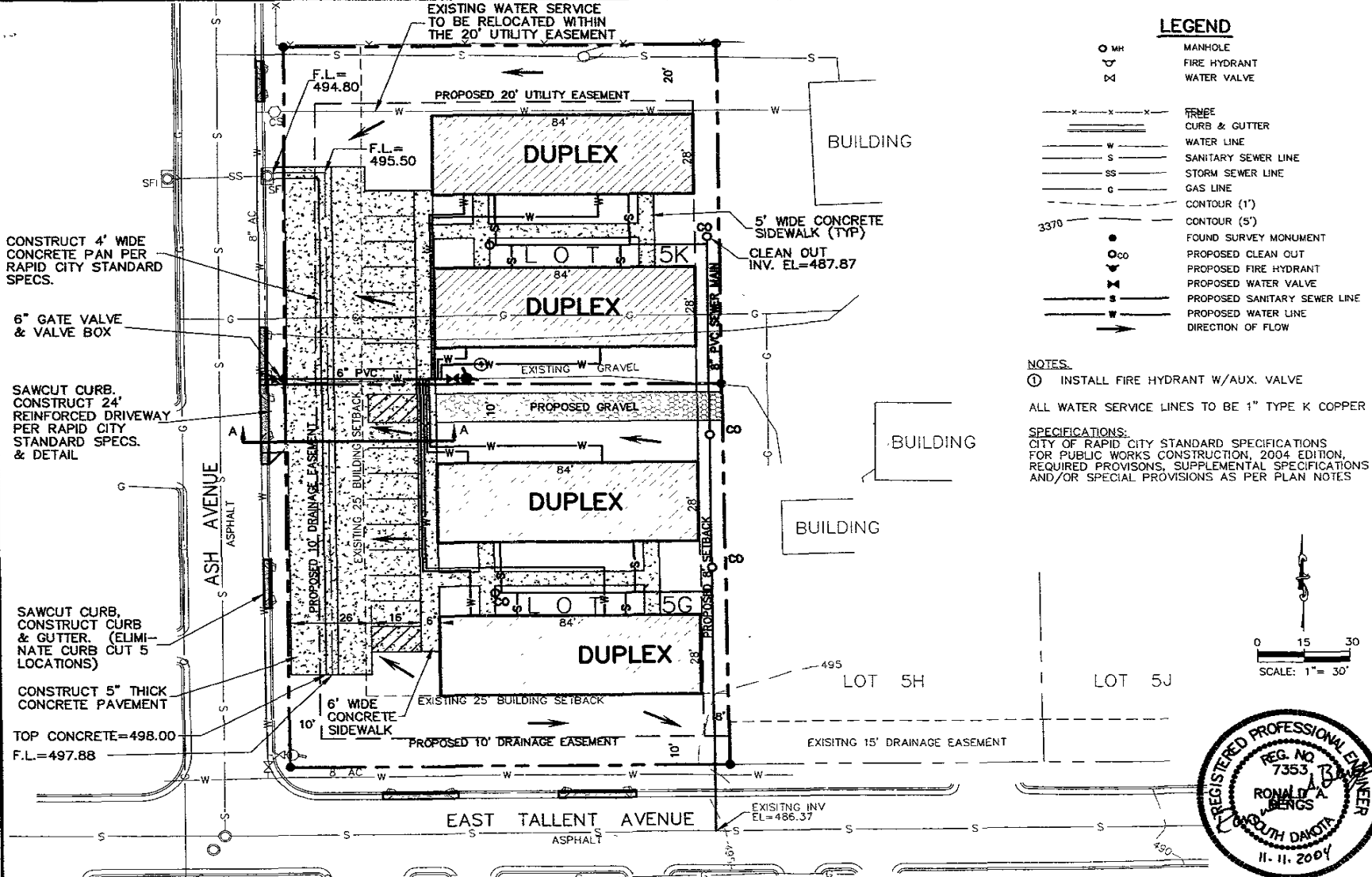
PROJECT NO: 426
FILE NO: 426-4
DRAWN BY: RJK
CHECK BY: RJK
DATE: 11.11.04
REVISIONS: XXXX

SITE PLAN
SCALE: 1" = 30'
NORTH

A.3

Drawing Number

C:\land Projects 2004\04-223_HD\SUBMIT\04-223_HD_SUBPRT1.DWG, 11/11/2004 4:58:28 PM



CONSTRUCT 4' WIDE CONCRETE PAN PER RAPID CITY STANDARD SPECS.

6" GATE VALVE & VALVE BOX

SAWCUT CURB, CONSTRUCT 24" REINFORCED DRIVEWAY PER RAPID CITY STANDARD SPECS. & DETAIL

SAWCUT CURB, CONSTRUCT CURB & GUTTER. (ELIMINATE CURB CUT 5 LOCATIONS)

CONSTRUCT 5" THICK CONCRETE PAVEMENT

TOP CONCRETE=498.00 F.L.=497.88

EXISTING WATER SERVICE TO BE RELOCATED WITHIN THE 20' UTILITY EASEMENT

PROPOSED 20' UTILITY EASEMENT

F.L.=494.80

F.L.=495.50

5' WIDE CONCRETE SIDEWALK (TYP)

CLEAN OUT INV. EL.=487.87

DUPLEX

DUPLEX

DUPLEX

DUPLEX

BUILDING

BUILDING

BUILDING

EAST TALLENT AVENUE ASPHALT

EXISTING INV EL.=486.37

LOT 5H

LOT 5J

EXISTING 15' DRAINAGE EASEMENT

LEGEND

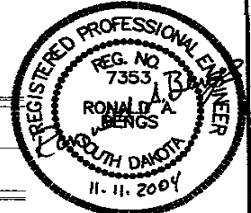
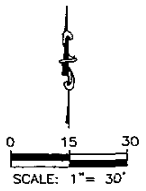
- MH MANHOLE
- FH FIRE HYDRANT
- ◇ V VALVE
- C CURB & GUTTER
- W WATER LINE
- S SANITARY SEWER LINE
- SS STORM SEWER LINE
- G GAS LINE
- - - C (1') CONTOUR (1')
- - - C (5') CONTOUR (5')
- FOUND SURVEY MONUMENT
- PROPOSED CLEAN OUT
- PROPOSED FIRE HYDRANT
- PROPOSED WATER VALVE
- PROPOSED SANITARY SEWER LINE
- PROPOSED WATER LINE
- DIRECTION OF FLOW

NOTES:

- ① INSTALL FIRE HYDRANT W/AUX. VALVE
- ALL WATER SERVICE LINES TO BE 1" TYPE K COPPER

SPECIFICATIONS:

CITY OF RAPID CITY STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 2004 EDITION, REQUIRED PROVISIONS, SUPPLEMENTAL SPECIFICATIONS AND/OR SPECIAL PROVISIONS AS PER PLAN NOTES

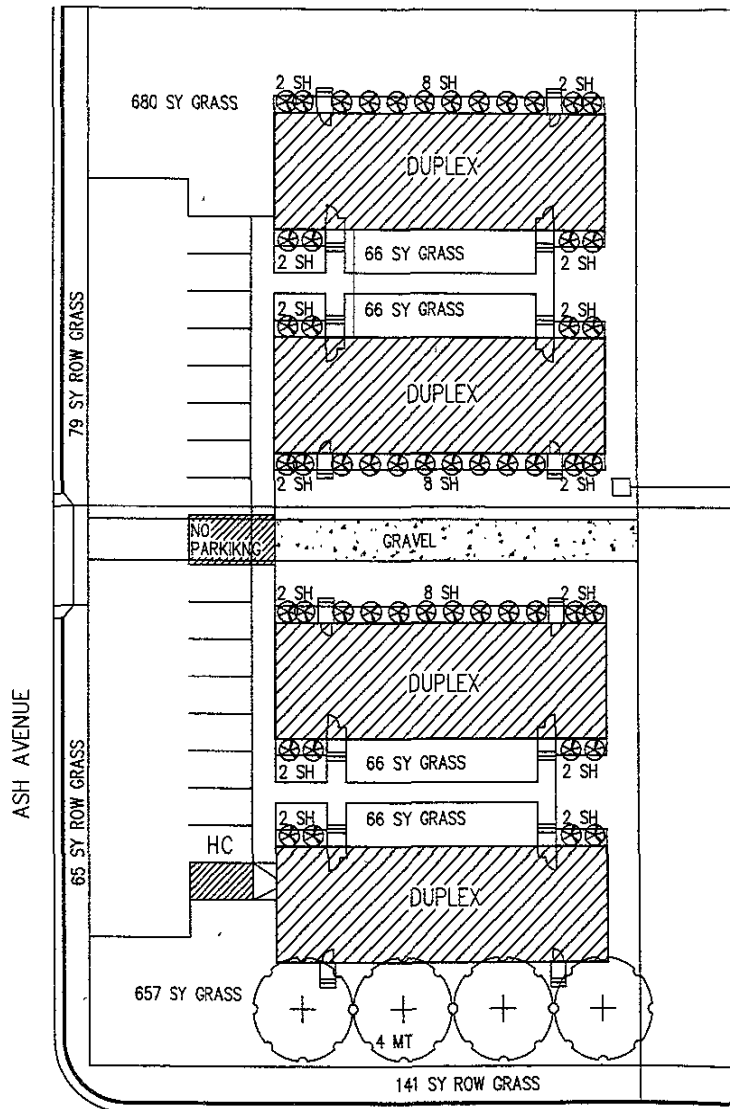


SITE PLAN
LOTS 5G AND 5K
2000 BLOCK ASH AVENUE
RAPID CITY, SOUTH DAKOTA

ADVANCED ENGINEERING & SURVEYING, LLC
100 WEST MAIN STREET, SUITE 200, RAPID CITY, SOUTH DAKOTA 57701
 PHONE: 605-342-8800 FAX: 605-342-8811 WWW.AESURVEYING.COM

DESIGNED:	RAE
DRAWN:	LAR
CHECKED:	RAE
DATE:	11/11/04

REVISIONS:	
DATE:	
DATE:	
FIG NO:	04-223
SHEET #	1 OF 2



LANDSCAPING REQUIRED 26,292 PTS.
(35,700 - 9,408)

SITE LANDSCAPING 35,860 PTS > 26,292 PTS (OK)
ON SITE 33,010 PTS
1,801 SY GRASS (GR) (10 PTS EA.) 18,010
52 SHRUBS (SH) (250 PTS EA.) 13,000
4 MEDIUM TREES (MT) (1000 PTS EA.) 4000
ROW 2850 PTS
285 SY GRASS (GR) (10 PTS PER SY) 2850

LANDSCAPING MATERIALS LEGEND (WITH SPRINKLER SYSTEM)



PROPOSED SHRUBS (250 PTS EACH)

DECIDUOUS CHOICES:

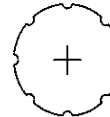
- BARBERRY (GOLDEN, ROSE GLOW)
- CURRANT (ALPINE)
- POTENTILLA (CORINATION TRIUMPH, GOLD DROP, GOLDFINGER)
- ROSES, HARDY SHRUB.
- SPIREA (GOLDMOUND)

EVERGREEN CHOICES:

- ARBORVITAE, GLOBE (HETZ MIDGET)
- JUNIPER (MINT JULEP, COMPACT PFITZER, SEA GREEN, SAVIN)

PROPOSED MEDIUM TREE (1000 PTS EACH)

- ASH, GREEN "PATMORE", "KINDRED", "PRAIRIE SPIRE".
- HONEYLOCUST, "IMPERIAL", "SKYLINE", "SHADEMASTER".
- LINDEN, LITTLE LEAF "GREENSPIRE".



CLIENT:
DAN HOLSWORTH
RAPID CITY, SD
605.343.5213

PROJECT:
FOUR DUPLEX
APARTMENT BUILDINGS
RAPID CITY, SD

LANDSCAPING PLAN

PROJECT NO: 426
FILE NO: 426-4
DRAWN BY: RKK
CHECK BY: RKK
DATE: 11.11.04
REVISIONS: XXXX

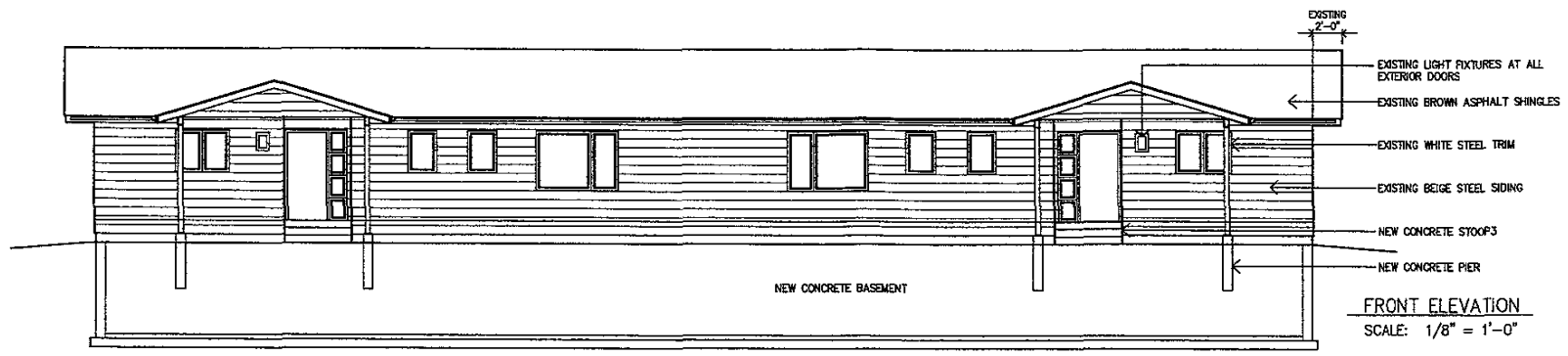
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Drawing Number

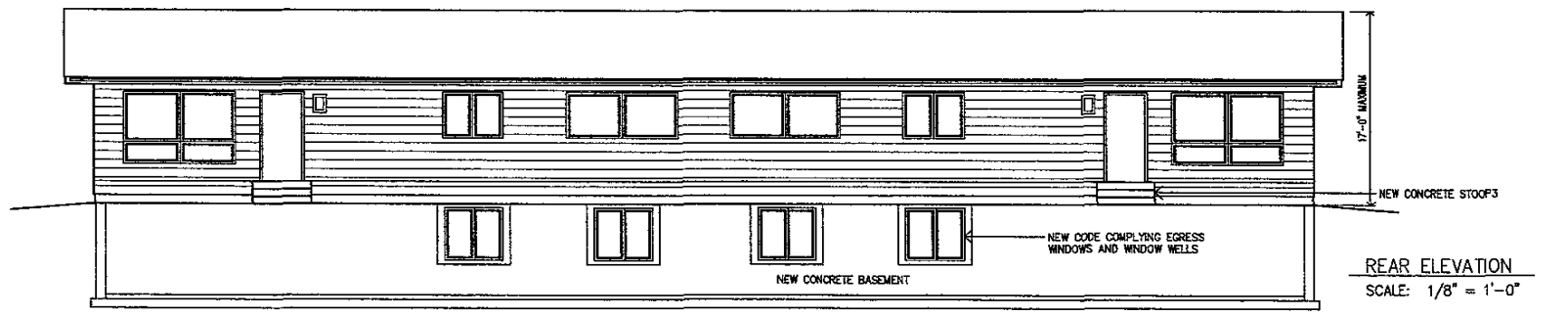
LANDSCAPING PLAN
SCALE: 1" = 30"

NORTH

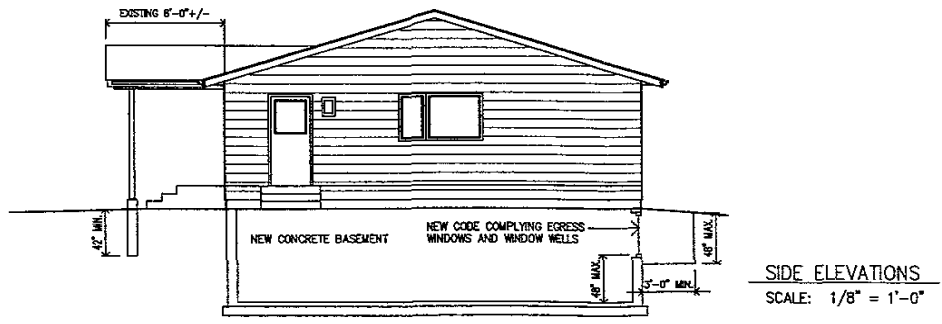




FRONT ELEVATION
 SCALE: 1/8" = 1'-0"



REAR ELEVATION
 SCALE: 1/8" = 1'-0"



SIDE ELEVATIONS
 SCALE: 1/8" = 1'-0"

EXTERIOR ELEVATIONS

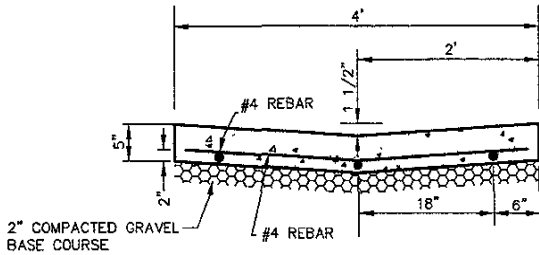
CLIENT:
 DAN HOLSWORTH
 RAPID CITY, SD
 605.343.5213

PROJECT:
 FOUR DUPLEX
 APARTMENT BUILDINGS
 RAPID CITY, SD

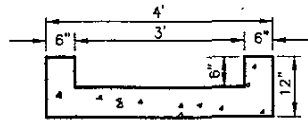
PROJECT NO: 426
 FILE NO: 426-4
 DRAWN BY: RSK
 CHECK BY: RSK
 DATE: 11.11.04
 REVISIONS: XXXX

A.5

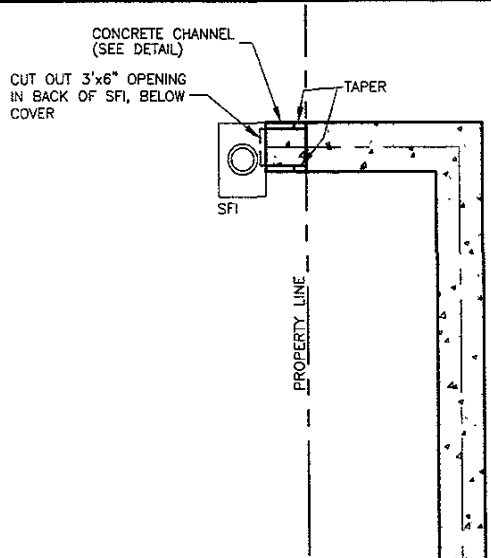
Drawing Number



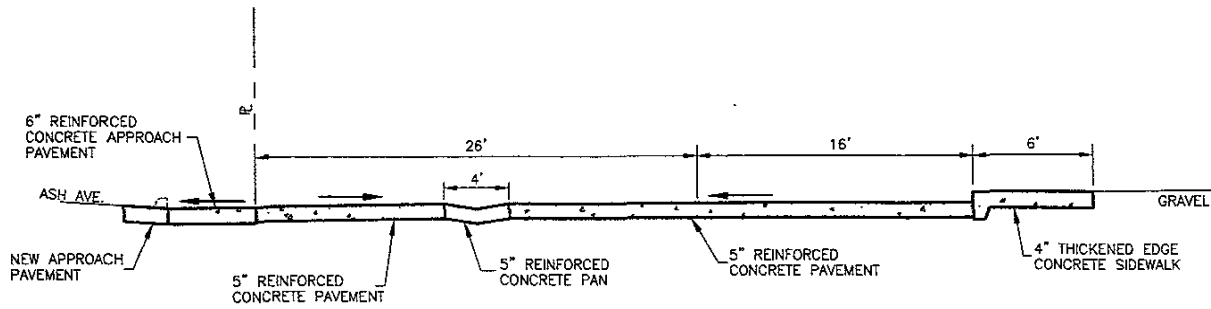
V-PAN
NO SCALE



CONCRETE CHANNEL
NO SCALE



CONCRETE V-PAN & CHANNEL
NO SCALE



NOTE:
REINFORCING #4 REBAR @ 24" O C EACH WAY

SECTION A-A
NO SCALE

TOP CONCRETE EL.=498.00
F.L. EL.=497.88



DETAILS
LOTS 5G AND 5K
2000 BLOCK ASH AVENUE
RAPID CITY, SOUTH DAKOTA

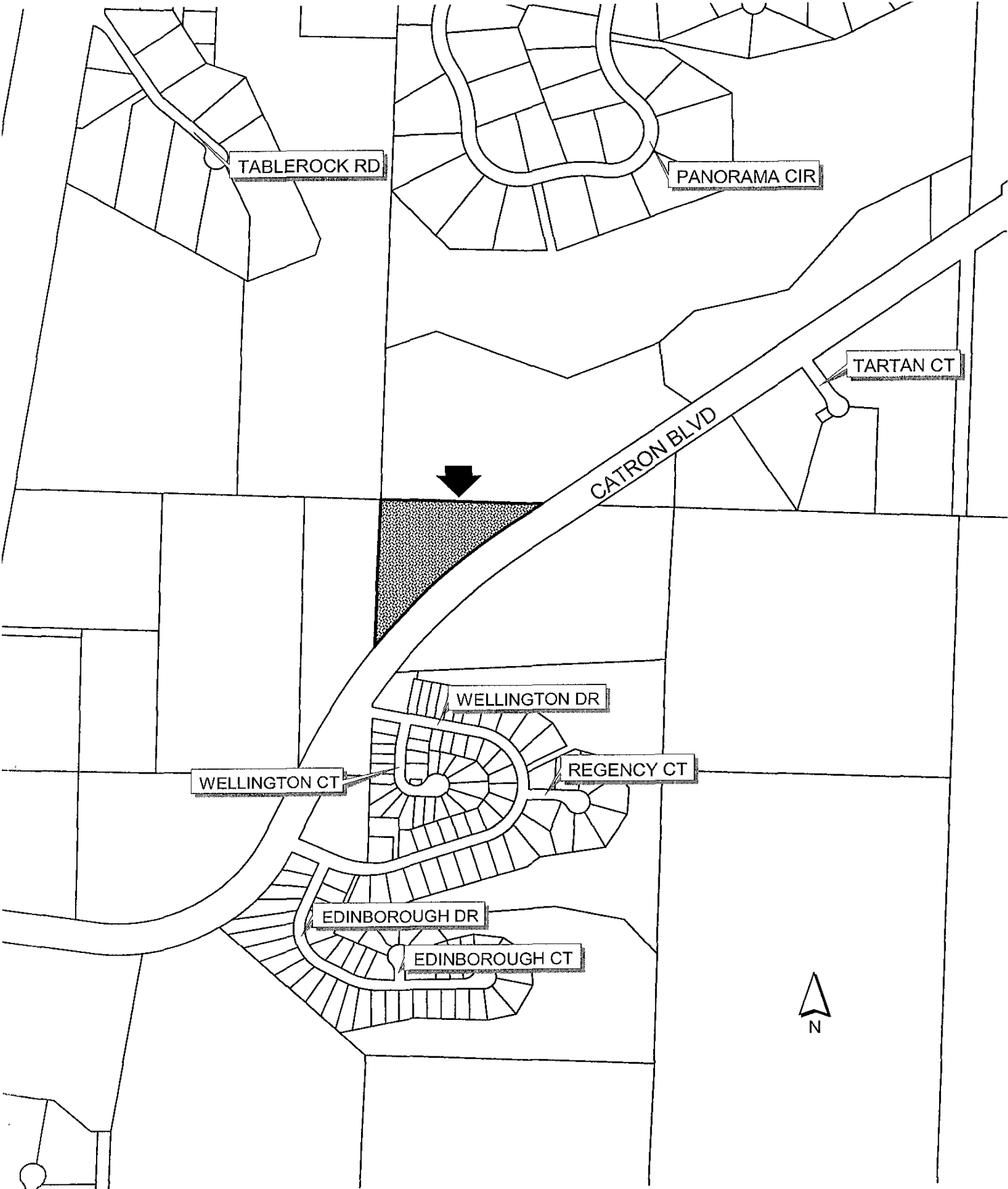
**ADVANCED ENGINEERING &
SURVEYING, LLC**
100 WEST MAIN STREET - RAPID CITY, SOUTH DAKOTA 57501
PHONE: 605-718-8805 - FAX: 605-718-8807 - EMAIL: info@aeandsurvey.com

DESIGNER:	RAB
DRAWER:	LAR
CHECKER:	RAB
DATE:	11/11/04

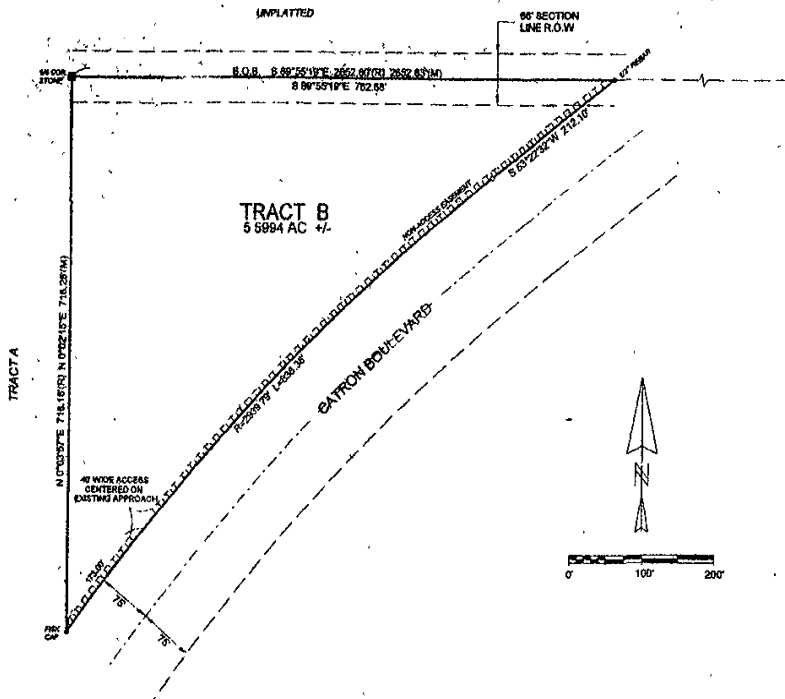
REVISIONS:	
DATE:	
BY:	
NO.:	01-223

SHEET #
2
OF
2

04SV071

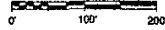
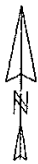


**PLAT OF TRACT B OF MEADOW VIEW SUBDIVISION
FORMERLY AN UNPLATTED PORTION OF NW 1/4 NW 1/4 NE 1/4 OF SECTION 26, T1N, R7E, B.H.M.
RAPID CITY, PENNINGTON COUNTY, SOUTH DAKOTA**



TRACT B
5.6994 AC +/-

PATRON BOULEVARD



- LEGEND**
- Found Survey Monument as Described
 - Set 5/8" Rebar with Plastic Cap marked "Hanson #9251"
 - (M) Measured This Survey
 - (R) Survey Information of Record
 - ⊃ Non-Access Easement

Prepared by
Hanson Surveying & Mapping
832 Horace Mann Drive
Rapid City, SD 57701
605-388-0652

Nov 11, 2004

Minor Drainage and Utility Easements:
B' on the interior side of all lot lines

CERTIFICATE OF OWNERSHIP
State of South Dakota, County of Pennington

We, the undersigned, do hereby certify that we are the owners of the tract of land shown and described hereon, that said land is free from any encumbrance and that we do authorize and do hereby approve the survey and within plat of said land, and that the development of this land shall conform to all existing applicable zoning, subdivision, and other state and sediment control regulations.

Any land shown on the within plat as public right-of-way is hereby dedicated to public use and public utility use as such forever but such dedication shall not be construed to be a donation of the fee of such land.

In witness whereof, I have set my hand and seal:

Owner: Barbara J. Butler Thomas H. Foy

Owner: Donald R. Stultz Frankie J. Stultz

On the _____ day of _____, 2004 before me, a Notary Public, personally appeared the above signed persons described in the foregoing instrument, and acknowledged to me that they signed the same.

Notary Public: _____
My Commission Expires: _____

CERTIFICATE OF GROWTH MANAGEMENT DIRECTOR

I, Growth Management Director of the City of Rapid City, have reviewed this plat and have found it to conform to the subdivision requirements of Chapter 16.05.025 of the Rapid City Municipal Code and as such I have approved this as a Final Plat.

Dated this _____ day of _____, 2004

Growth Management Director of the City of Rapid City

CERTIFICATE OF FINANCE OFFICER

I, Finance Officer of the City of Rapid City, do hereby certify that the Growth Management Director of the City of Rapid City, has approved this Final Plat as shown hereon.

Dated this _____ day of _____, 2004

CERTIFICATE OF FINANCE OFFICER

I, Finance Officer of the City of Rapid City, do hereby certify that all special assessments which are liens upon the within described lands, are fully paid according to the records of my office.

Dated this _____ day of _____, 2004

Finance Officer of the City of Rapid City

CERTIFICATE OF SURVEYOR
State of South Dakota, County of Pennington

I, Michael R. Hanson, Registered Land Surveyor No. 6251 of the State of South Dakota, do hereby certify that at the request of the owners listed hereon, I have surveyed the tract of land shown, and to the best of my knowledge and belief, the within plat is a representation of said survey. Easements or Restrictions of miscellaneous record or private agreements that are not known to me are not shown hereon.

In witness whereof, I have hereunto set my hand and Seal,

Registered Land Surveyor: _____ Date: _____

CERTIFICATE OF DIRECTOR OF EQUALIZATION
State of South Dakota, County of Pennington

I, Director of Equalization of Pennington County, do hereby certify that I have on record in my office a Dated this Copy of the within described plat.

Dated this _____ day of _____, 2004

Director of Equalization of Pennington County

Approved _____

CERTIFICATE OF COUNTY TREASURER
State of South Dakota, County of Pennington

I, Treasurer of Pennington County, do hereby certify that all taxes which are liens upon the within described lands, are fully paid according to the records of my office.

Dated this _____ day of _____, 2004

Treasurer of Pennington County

CERTIFICATION OF REGISTER OF DEEDS
State of South Dakota, County of Pennington

Filed this _____ day of _____, 2004 at _____ o'clock _____ AM
Book _____ Page _____

Register of Deeds

By _____ Fee _____

CERTIFICATE OF STREET AUTHORITY

The location of the proposed property lines abutting the State Highway or the County Road or the City Street as shown hereon, is hereby approved. Any change in the location of the proposed access shall require additional approval.

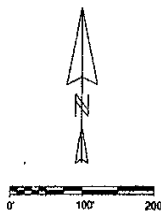
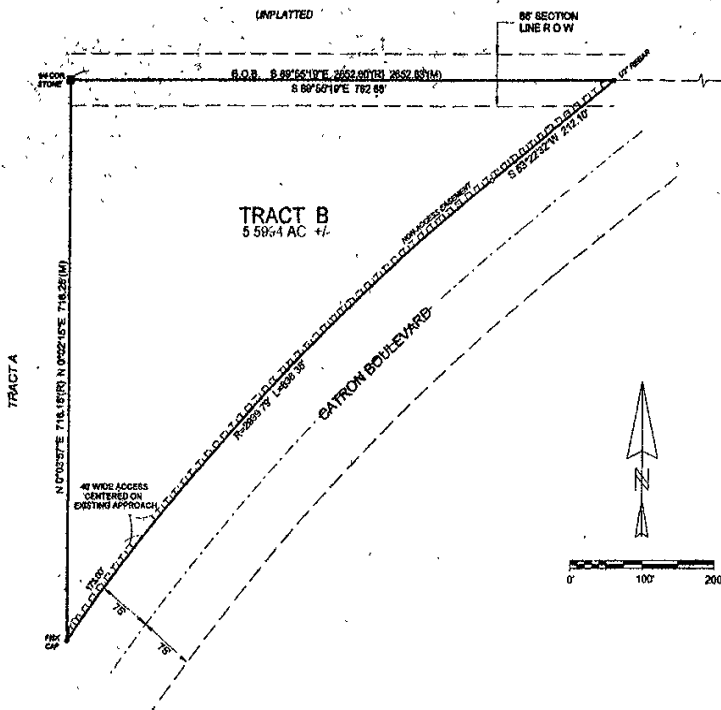
Dated this _____ day of _____, 2004.

Street or Highway Authority

04PL174



**PLAT OF TRACT B OF MEADOW VIEW SUBDIVISION
FORMERLY AN UNPLATTED PORTION OF NW1/4NW1/4NE1/4 OF SECTION 26, T1N, R7E, B.H.M
RAPID CITY, PENNINGTON COUNTY, SOUTH DAKOTA**



Minor Drainage and Utility Easements 5' on the Interior side of all lot lines.

Prepared by:
Hanson Surveying & Mapping
832 Horace Mann Drive
Rapid City, SD 57701
605-388-9652

Nov 11, 2004

- LEGEND**
- Found Survey Monument as Described
 - Set 5/8" Rebar with Plastic Cap marked "Hanson #5251"
 - (M) Measured This Survey
 - (R) Survey Information of Record
 - Non-Access Easement

CERTIFICATE OF OWNERSHIP
State of South Dakota, County of Pennington

We, the undersigned, do hereby certify that we are the owners of the tract of land shown and described hereon, that said land is free from any encumbrance and that we do authorize and do hereby approve the survey and within plat of said land, and that the development of this land shall conform to all existing applicable zoning, subdivision, and erosion and sediment control regulations.

Any land shown on the within plat as public right-of-way is hereby dedicated to public use and public utility use as such forever, but such dedication shall not be construed to be a donation of the fee of such land.

In witness whereof, I have set my hand and seal:

Owner: Barbara J. Butler Thomas H. Foye

Owner: Donald R. Shultz Frankie J. Shultz

On the 11 day of November, 2004 before me, a Notary Public, personally appeared the above signed persons described in the foregoing instrument, and acknowledge to me that they signed the same.

Notary Public: _____

My Commission Expires: _____

CERTIFICATE OF GROWTH MANAGEMENT DIRECTOR

I, Growth Management Director of the City of Rapid City, have reviewed this plat and have found it to conform to the subdivision requirements of Chapter 16.06.035 of the Rapid City Municipal Code and as such I have approved this as a Final Plat.

Dated this 11 day of November, 2004

Growth Management Director of the City of Rapid City

CERTIFICATE OF FINANCE OFFICER

I, Finance Officer of the City of Rapid City, do hereby certify that the Growth Management Director of the City of Rapid City, has approved this Final Plat as shown hereon.

Dated this 11 day of November, 2004

CERTIFICATE OF FINANCE OFFICER

I, Finance Officer of the City of Rapid City, do hereby certify that all special assessments which are liens upon the within described lands, are fully paid according to the records of my office.

Dated this 11 day of November, 2004.

Finance Officer of the City of Rapid City

CERTIFICATE OF SURVEYOR
State of South Dakota, County of Pennington

I, Michael R. Hanson, Registered Land Surveyor No. 6251 of the State of South Dakota, do hereby certify that at the request of the owners listed hereon, I have surveyed the tract of land shown, and to the best of my knowledge and belief, the within plat is a representation of said survey. Easements or Restrictions of miscellaneous record or private agreements that are not known to me are not shown hereon.

In witness whereof, I have hereunto set my hand and seal.

Registered Land Surveyor _____ Date _____

CERTIFICATE OF DIRECTOR OF EQUALIZATION
State of South Dakota, County of Pennington

I, Director of Equalization of Pennington County, do hereby certify that I have on record at my office a Dated this Copy of the within described plat.

Dated this 11 day of November, 2004

Director of Equalization of Pennington County

Approved, _____

CERTIFICATE OF COUNTY TREASURER
State of South Dakota, County of Pennington

I, Treasurer of Pennington County, do hereby certify that all taxes which are liens upon the within described lands, are fully paid according to the records of my office.

Dated this 11 day of November, 2004

Treasurer of Pennington County

CERTIFICATION OF REGISTER OF DEEDS
State of South Dakota, County of Pennington

Filed this 11 day of November, 2004 at 10 o'clock AM
Book _____ Page _____

Register of Deeds

By _____ Fee _____

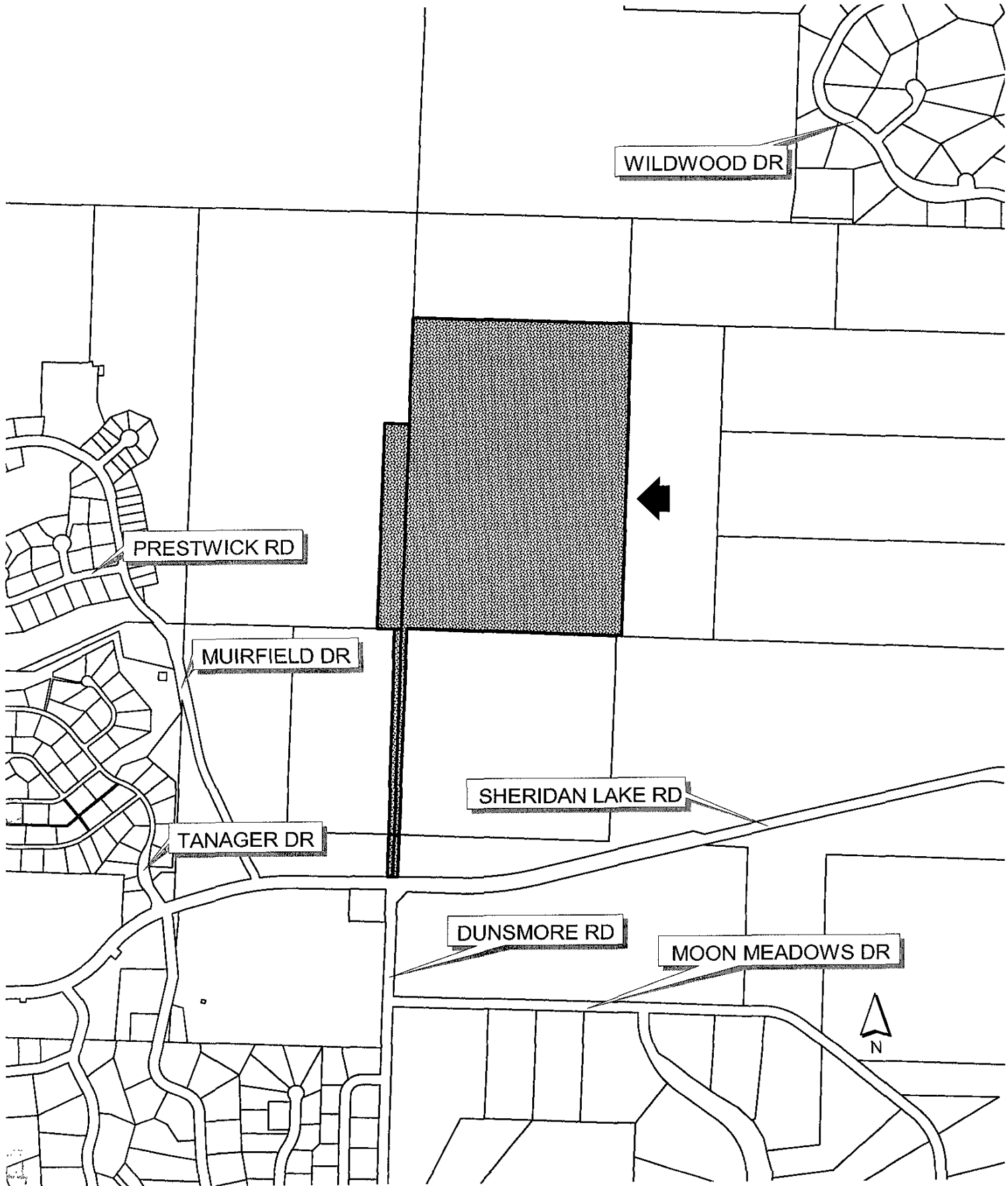
CERTIFICATE OF STREET AUTHORITY

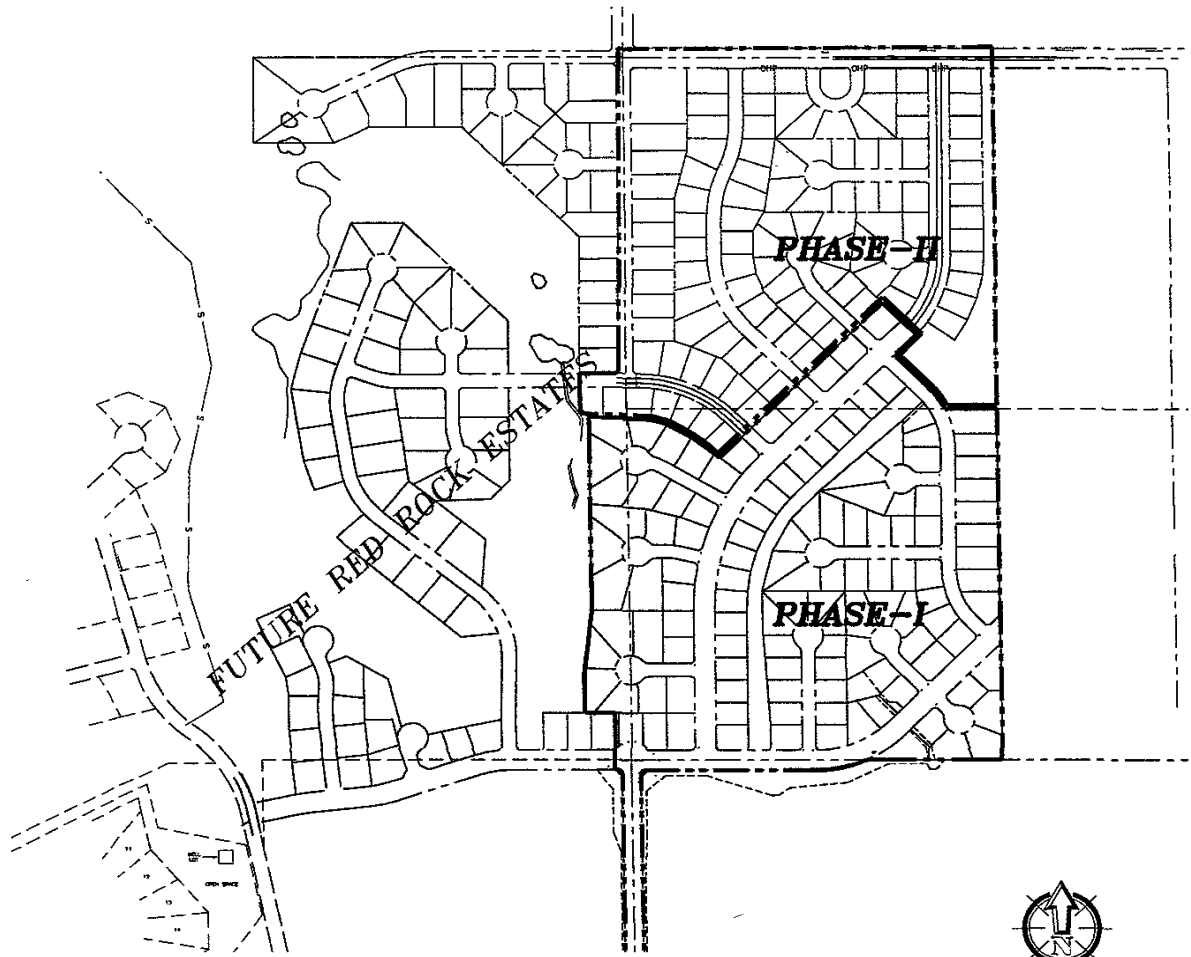
The location of the proposed property lines abutting the State Highway or the County Road or the City Street as shown hereon, is hereby approved. Any change in the location of the proposed access shall require additional approval.

Dated this 11 day of November, 2004

Street or Highway Authority

04PL165





**RED ROCK MEADOWS & RED ROCK ESTATES
MASTER LAYOUT & PHASING PLAN**



SCALE: 1" = 200'

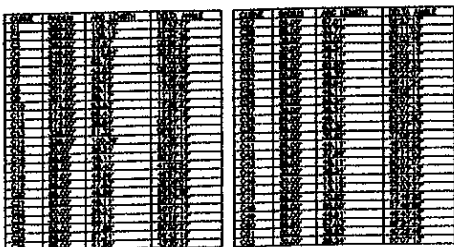
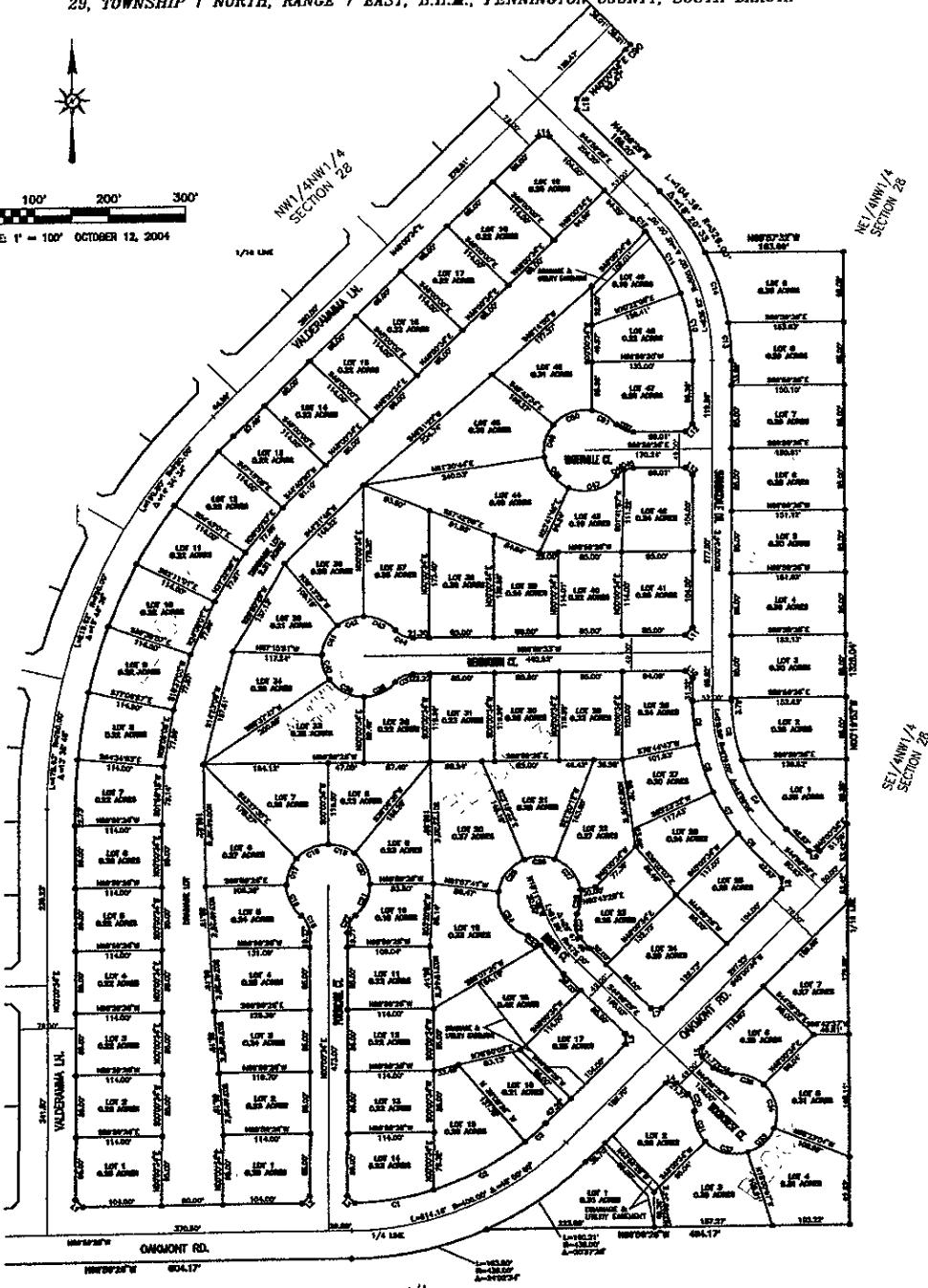
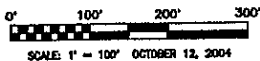
PREPARED BY:



D.D.I.
DREAM DESIGN INTERNATIONAL, INC.
 PROFESSIONAL CITY & STRUCTURAL ENGINEERING CONSULTANTS
 620 KANSAS CITY ST., SUITE 4, RAPID CITY, SD 57701
 PH. 605-343-0230 FAX. 605-343-0643 EMAIL: engineers@dreamdesigninc.com

PLAT OF REDROCK MEADOWS (PHASE 1)

LOTS 1-7, BLOCK 1; LOTS 1-9, BLOCK 2; LOTS 1-49, BLOCK 3; LOTS 1-19, BLOCK 4;
 LOTS 1-31, BLOCK 5; LOTS 1-2, BLOCK 6; LOTS 1-2, BLOCK 7; LOT1, BLOCK 8;
 DEDICATED STREETS AND DRAINAGE LOT LOCATED IN THE NW1/4 NW1/4, SW1/4 NW1/4
 AND NE1/4 SW1/4 OF SECTION 28 AND THE NE1/4 SE1/4, SE1/4 NW1/4 OF SECTION
 29, TOWNSHIP 1 NORTH, RANGE 7 EAST, B.H.M., PENNINGTON COUNTY, SOUTH DAKOTA



LEGEND

- BOUNDS SET 5' FROM NEAR SURVEY CAP MARKED 'RESURVEY'
- BOUNDS FOUND SURVEY MONUMENT

LOT	ACRES	REMARKS
LOT 1	0.25	
LOT 2	0.25	
LOT 3	0.25	
LOT 4	0.25	
LOT 5	0.25	
LOT 6	0.25	
LOT 7	0.25	
LOT 8	0.25	
LOT 9	0.25	
LOT 10	0.25	
LOT 11	0.25	
LOT 12	0.25	
LOT 13	0.25	
LOT 14	0.25	
LOT 15	0.25	
LOT 16	0.25	
LOT 17	0.25	
LOT 18	0.25	
LOT 19	0.25	
LOT 20	0.25	
LOT 21	0.25	
LOT 22	0.25	
LOT 23	0.25	
LOT 24	0.25	
LOT 25	0.25	
LOT 26	0.25	
LOT 27	0.25	
LOT 28	0.25	
LOT 29	0.25	
LOT 30	0.25	
LOT 31	0.25	
LOT 32	0.25	
LOT 33	0.25	
LOT 34	0.25	
LOT 35	0.25	
LOT 36	0.25	
LOT 37	0.25	
LOT 38	0.25	
LOT 39	0.25	
LOT 40	0.25	
LOT 41	0.25	
LOT 42	0.25	
LOT 43	0.25	
LOT 44	0.25	
LOT 45	0.25	
LOT 46	0.25	
LOT 47	0.25	
LOT 48	0.25	
LOT 49	0.25	

NOTES:

1. MAJOR DRAINAGE AND UTILITY EASEMENTS ARE HEREBY ESTABLISHED BY WIDE ON THE INTERIOR SIDE OF ALL LOT LINES AND RIGHT-OF-WAY, (EXCEPT WHERE MAJOR DRAINAGE EASEMENTS ARE LOCATED)
2. TOTAL PLATED AREA: 48.81 ACRES; LOTS: 32.90 ACRES; DEDICATED PUBLIC RIGHT-OF-WAY: 11.6 ACRES; DRAINAGE LOT: 2.31 ACRES.
3. ANY MAJOR DRAINAGE EASEMENT SHOWN HEREON SHALL BE KEPT FREE OF ALL OBSTRUCTIONS INCLUDING BUT NOT LIMITED TO BUILDINGS, WALLS, FENCES, HEDGES, TREES, AND SHRUBS. THESE EASEMENTS GRANT TO ALL PUBLIC AUTHORITIES THE RIGHT TO CONSTRUCT, OPERATE, MAINTAIN, INSPECT AND REPAIR SUCH IMPROVEMENTS AND STRUCTURES AS IT DEEMS EXPEDIENT TO FACILITATE DRAINAGE FROM ANY SOURCE.
4. NON-ACCESS EASEMENTS ARE HEREBY ESTABLISHED ALONG THE FIRST FIFTY FEET OF CORNER LOTS OR AS INDICATED HEREON.



PREPARED BY:
ARLETH & ASSOCIATES

382 MAIN STREET
 DEADWOOD, SD 57732
 606-578-1637

JOB NO.

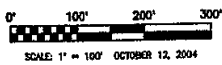
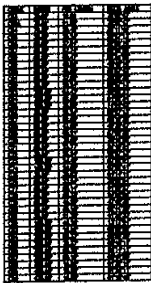
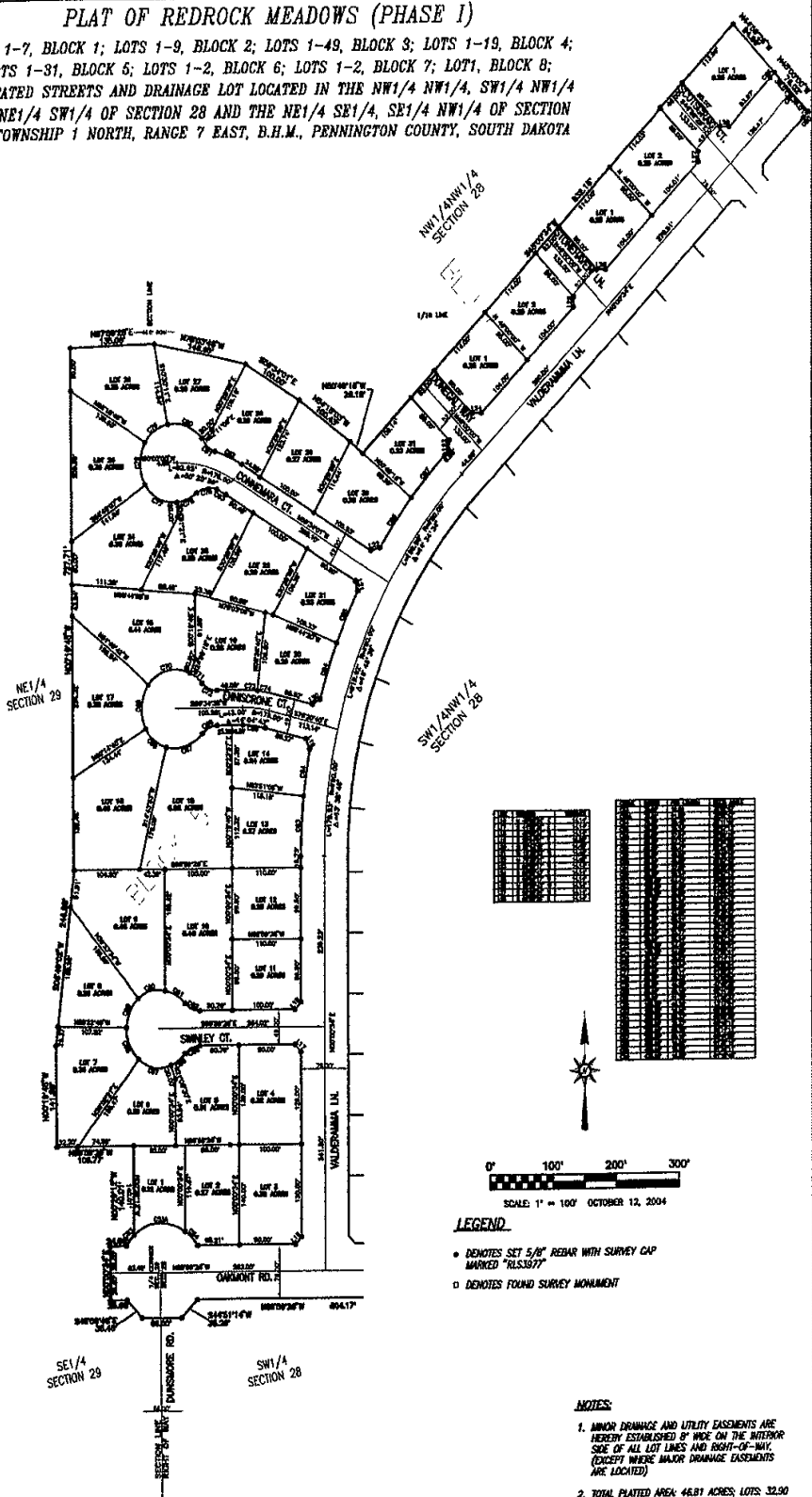
DATE: **OCTOBER 2004**
 SCALE: **1" = 60'**
 DRAWN: **TV/SB**

APPROVED: **JMA**
 DWG: **RE-DESIGN_PLAT.dwg**

PREPARED FOR:
 DREAM DESIGN INTERNATIONAL, INC
 528 KANSAS CITY STREET, SUITE 4
 RAPID CITY, SOUTH DAKOTA 57701
 (605) 348-6558

PLAT OF REDROCK MEADOWS (PHASE I)

LOTS 1-7, BLOCK 1; LOTS 1-9, BLOCK 2; LOTS 1-49, BLOCK 3; LOTS 1-19, BLOCK 4;
 LOTS 1-31, BLOCK 5; LOTS 1-2, BLOCK 6; LOTS 1-2, BLOCK 7; LOT 1, BLOCK 8;
 DEDICATED STREETS AND DRAINAGE LOT LOCATED IN THE NW1/4 NW1/4, SW1/4 NW1/4
 AND NE1/4 SW1/4 OF SECTION 28 AND THE NE1/4 SE1/4, SE1/4 NW1/4 OF SECTION
 29, TOWNSHIP 1 NORTH, RANGE 7 EAST, B.H.M., PENNINGTON COUNTY, SOUTH DAKOTA



SCALE: 1" = 100' OCTOBER 12, 2004

LEGEND

- DENOTES SET 5/8" REBAR WITH SURVEY CAP MARKED "RLS3077"
- DENOTES FOUND SURVEY MONUMENT

NOTES:

1. MINOR DRAINAGE AND UTILITY EASEMENTS ARE HEREBY ESTABLISHED 6" WIDE ON THE INTERIOR SIDE OF ALL LOT LINES AND RIGHT-OF-WAY, (EXCEPT WHERE MAJOR DRAINAGE EASEMENTS ARE LOCATED)
2. TOTAL PLATTED AREA: 46.81 ACRES; LOTS: 32.90 ACRES; DEDICATED PUBLIC RIGHT-OF-WAY: 11.6 ACRES; DRAINAGE LOT: 2.31 ACRES.
3. ANY MAJOR DRAINAGE EASEMENT SHOWN HEREON SHALL BE KEPT FREE OF ALL OBSTRUCTIONS INCLUDING BUT NOT LIMITED TO BUILDINGS, WALLS, FENCES, HEDGES, TREES, AND SHRUBS. THESE EASEMENTS GRANT TO ALL PUBLIC AUTHORITIES THE RIGHT TO CONSTRUCT, OPERATE, MAINTAIN, INSPECT AND REPAIR SUCH IMPROVEMENTS AND STRUCTURES AS IT DEEMS EXPEDIENT TO FACILITATE DRAINAGE FROM ANY SOURCE.
4. NON-ACCESS EASEMENTS ARE HEREBY ESTABLISHED ALONG THE FIRST FIFTY FEET OF CORNER LOTS OR AS INDICATED HEREON.

04SV070

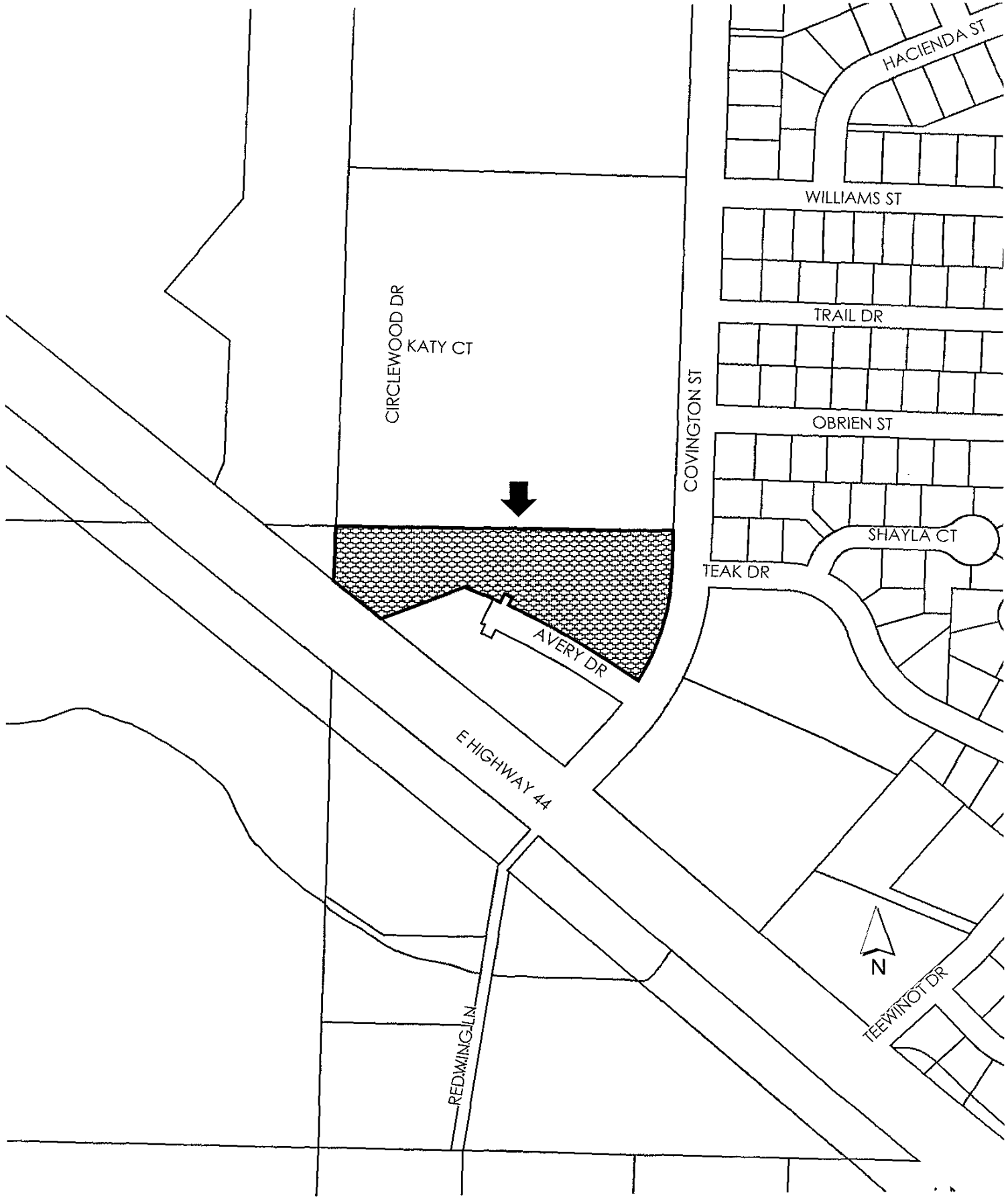


EXHIBIT 'A'
LOT BR,
TRAILWOOD VILLAGE

(formerly a portion of Tract T of Trailwood Village and Lot B of Trailwood Village)
LOCATED IN THE SE $\frac{1}{4}$ OF THE SW $\frac{1}{4}$,
SECTION 10, T1N, R8E, B.H.M.,
PENNINGTON COUNTY, SOUTH DAKOTA

Utility and Minor Drainage Easements:
8' on the interior sides of all lot
lines, except where major drainage
easements exist.

LOT A OF
TRAILWOOD VILLAGE

8' WIDE UTILITY AND
MINOR DRAINAGE EASEMENT
AS SHOWN IN PLAT BOOK
30 PAGE 66 (1&2)
TO BE VACATED

LOT BR
3.170 Ac.±

LOT B

EXISTING ACCESS RESTRICTION
AS SHOWN IN PLAT BOOK 30
PAGE 66 (1&2)

5/8" REBAR

PREVIOUS LOT LINE

8'

5/8" REBAR

5/8" REBAR

SD STATE HIGHWAY 44
150' R.O.W. OF RECORD

PORTION OF TRACT T
TRAILWOOD VILLAGE
FUTURE PLATTING

AVERY DRIVE
60' R.O.W. OF RECORD

COMINGTON STREET
80' R.O.W. OF RECORD



AUGUST 13, 2004



SCALE: 1" = 100'

DMM

04PL175

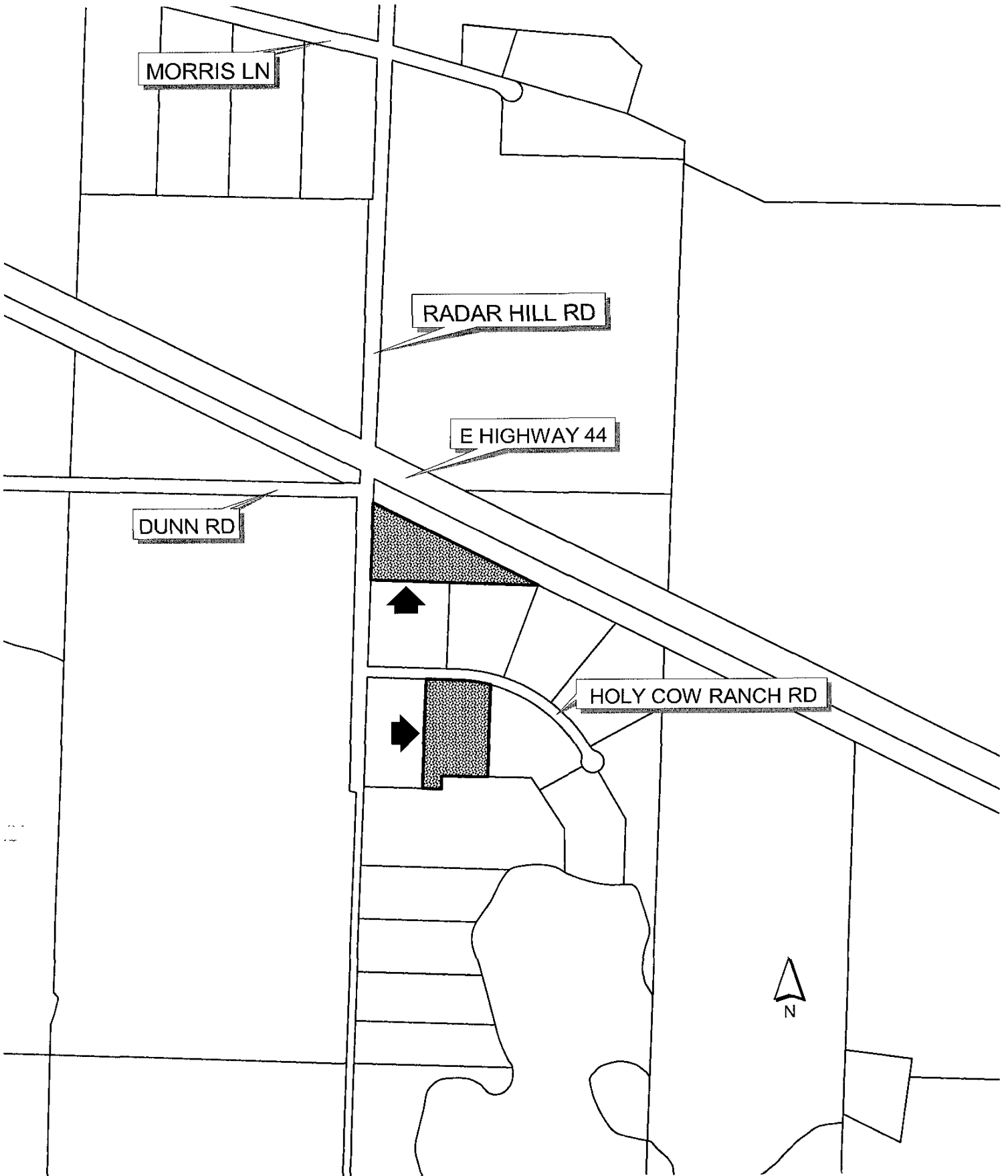
MORRIS LN

RADAR HILL RD

E HIGHWAY 44

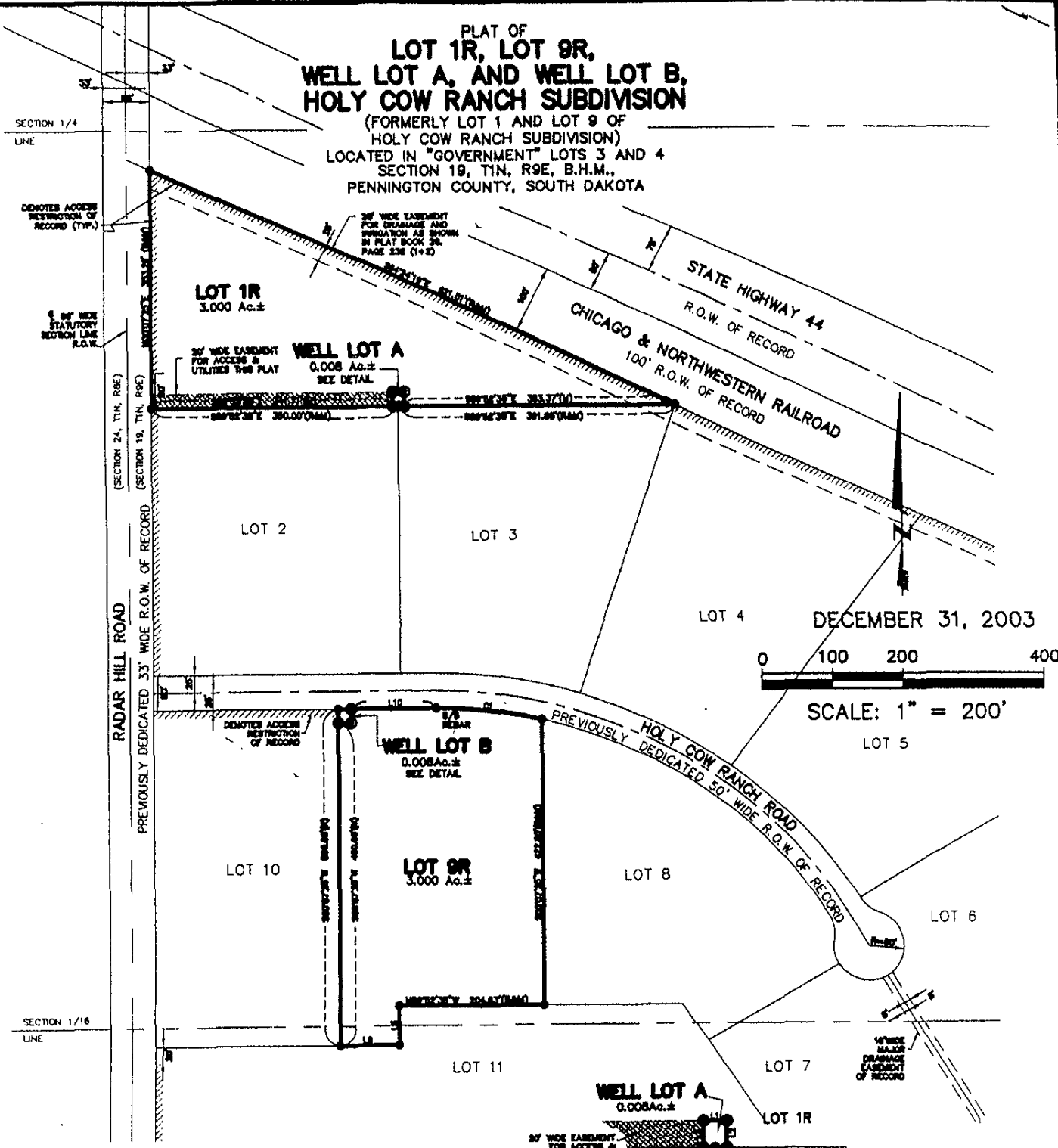
DUNN RD

HOLY COW RANCH RD

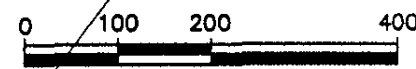


**PLAT OF
LOT 1R, LOT 9R,
WELL LOT A, AND WELL LOT B,
HOLY COW RANCH SUBDIVISION**

(FORMERLY LOT 1 AND LOT 9 OF
HOLY COW RANCH SUBDIVISION)
LOCATED IN "GOVERNMENT" LOTS 3 AND 4
SECTION 19, T1N, R9E, B.H.M.,
PENNINGTON COUNTY, SOUTH DAKOTA



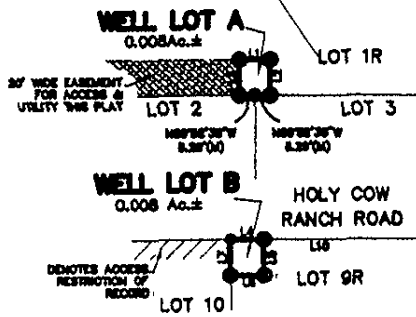
DECEMBER 31, 2003



SCALE: 1" = 200'

- NOTES:**
- Denotes set 5/8" rebar with survey cap marked "LAWKE-LS 5228"
 - Denotes Found Survey Monument marked LS 2852 unless otherwise noted
 - Denotes set 5/8" rebar with no cap for R.O.W. PC's & PT's
 - (R) Denotes Recorded in previous plat or description.
 - (M) Denotes Measured in this survey.
 - CD Denotes Chord Bearing
 - CD Denotes Chord Distance
 - Bole of Bearings: Spher Observatio
 - UTILITY and other Drainage Easements 'B' on the interior sides of all of lines, except the interior lot lines of Well Lot A and Well Lot B.

Any major drainage easement shown hereon shall be kept free of all obstructions including but not limited to buildings, walls, fences, hedger, trees and shrubs. These easements grant to all public authorities the right to construct, operate, maintain, inspect, and repair such improvements and structure or it seems expedient to facilitate drainage from any source.

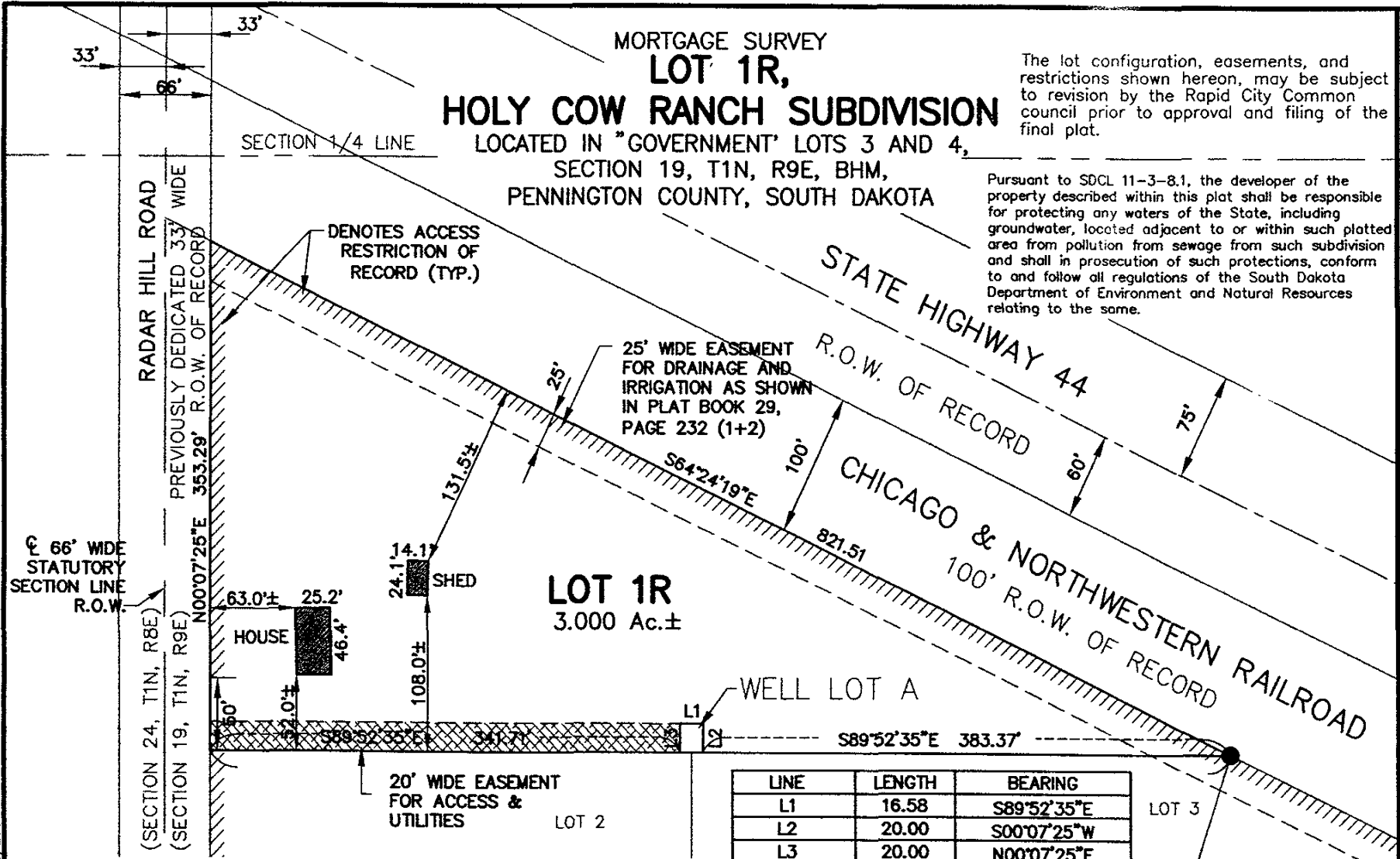


D:\Drawings_ADP\1571WELL LOTS.dwg 01/06/04 09:40:50 AM MST

MORTGAGE SURVEY
LOT 1R,
HOLY COW RANCH SUBDIVISION
 LOCATED IN "GOVERNMENT" LOTS 3 AND 4,
 SECTION 19, T1N, R9E, BHM,
 PENNINGTON COUNTY, SOUTH DAKOTA

The lot configuration, easements, and restrictions shown hereon, may be subject to revision by the Rapid City Common Council prior to approval and filing of the final plat.

Pursuant to SDCL 11-3-8.1, the developer of the property described within this plat shall be responsible for protecting any waters of the State, including groundwater, located adjacent to or within such platted area from pollution from sewage from such subdivision and shall in prosecution of such protections, conform to and follow all regulations of the South Dakota Department of Environment and Natural Resources relating to the same.



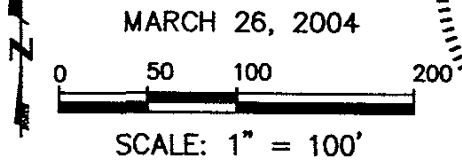
LINE	LENGTH	BEARING
L1	16.58	S89°52'35"E
L2	20.00	S00°07'25"W
L3	20.00	N00°07'25"E

CERTIFICATE OF SURVEYOR

I, the Registered Land Surveyor in the State of South Dakota as signed hereon, do hereby certify that on the 11th day of March, 2004, a survey was performed and this drawing was prepared by me or under my direct supervision. The boundary lines of the parcel of land shown and described hereon are the deed lines of the property as described on the record plat of said property. The location of the major improvements are geometrically calculated from the nearest reliable property corners. This is not a boundary survey and the precise property lines were not determined at the time of survey. The dimensions to the deed lines are shown to the degree of accuracy required to satisfy the needs of a lending institution or title company and should not be used to establish the true boundary. Easements or restrictions of miscellaneous record or private agreements that are not known to me are not shown hereon.

3-26-04
 Date: Melvin B. (Ben) Lamke, Registered Land Surveyor, No. 5225

Utility and Minor Drainage Easements:
 8' on the interior sides of all lot lines,
 except the interior lot lines of Well
 Lot A and Well Lot B.



PREPARED BY: SPERLICH CONSULTING, INC. * 821 1/2 COLUMBUS STREET RAPID CITY SD 57701 * (605) 721-4040

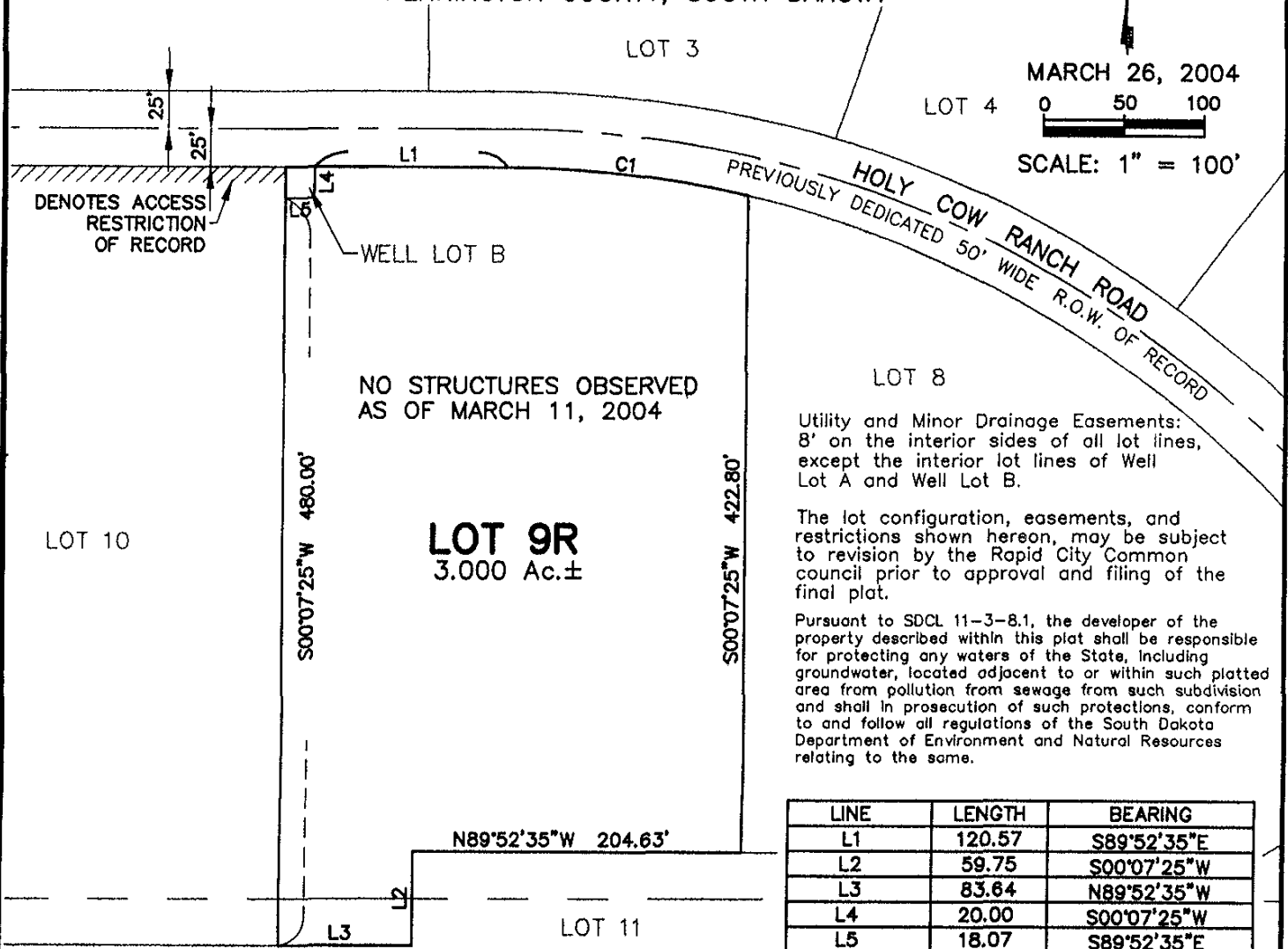
MORTGAGE SURVEY
LOT 9R
HOLY COW RANCH SUBDIVISION
 LOCATED IN "GOVERNMENT" LOTS 3 AND 4
 SECTION 19, T1N, R9E, BHM,
 PENNINGTON COUNTY, SOUTH DAKOTA



MARCH 26, 2004



SCALE: 1" = 100'



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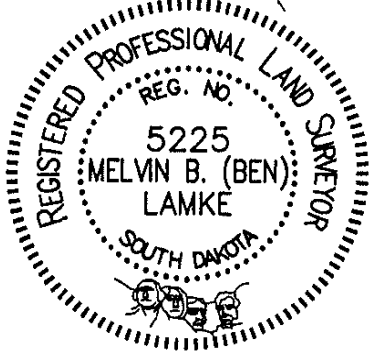
LINE	LENGTH	BEARING
L1	120.57	S89°52'35"E
L2	59.75	S00°07'25"W
L3	83.64	N89°52'35"W
L4	20.00	S00°07'25"W
L5	18.07	S89°52'35"E

CURVE	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD DISTANCE
C1	150.98	650.00	13°18'31"	S83°13'19"E	150.64

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3-26-04
 Date: Melvin B. (Ben) Lamke, Registered Land Surveyor, No. 5225



04SV072

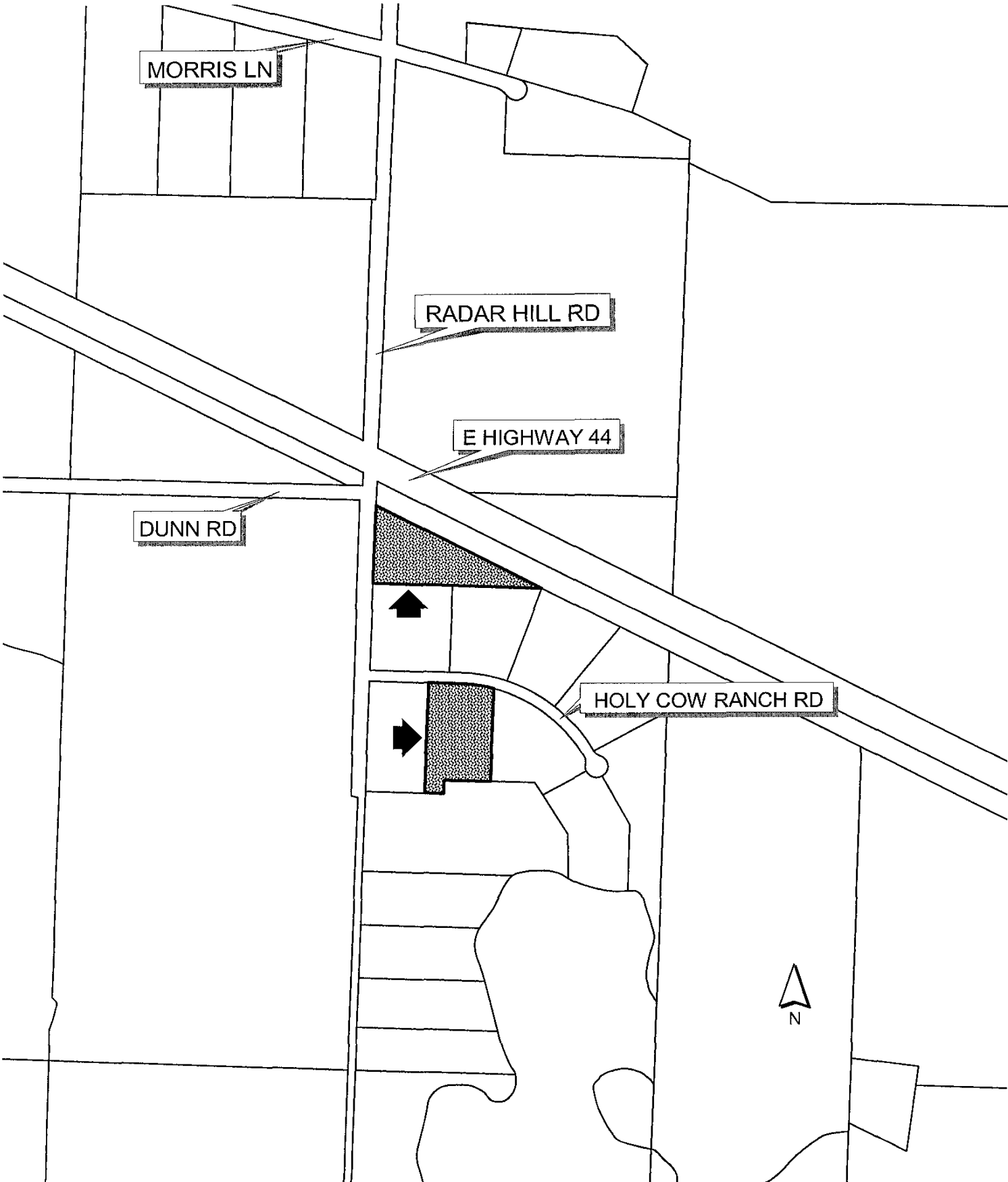
MORRIS LN

RADAR HILL RD

E HIGHWAY 44

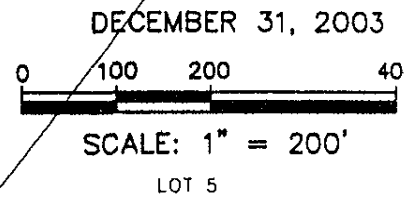
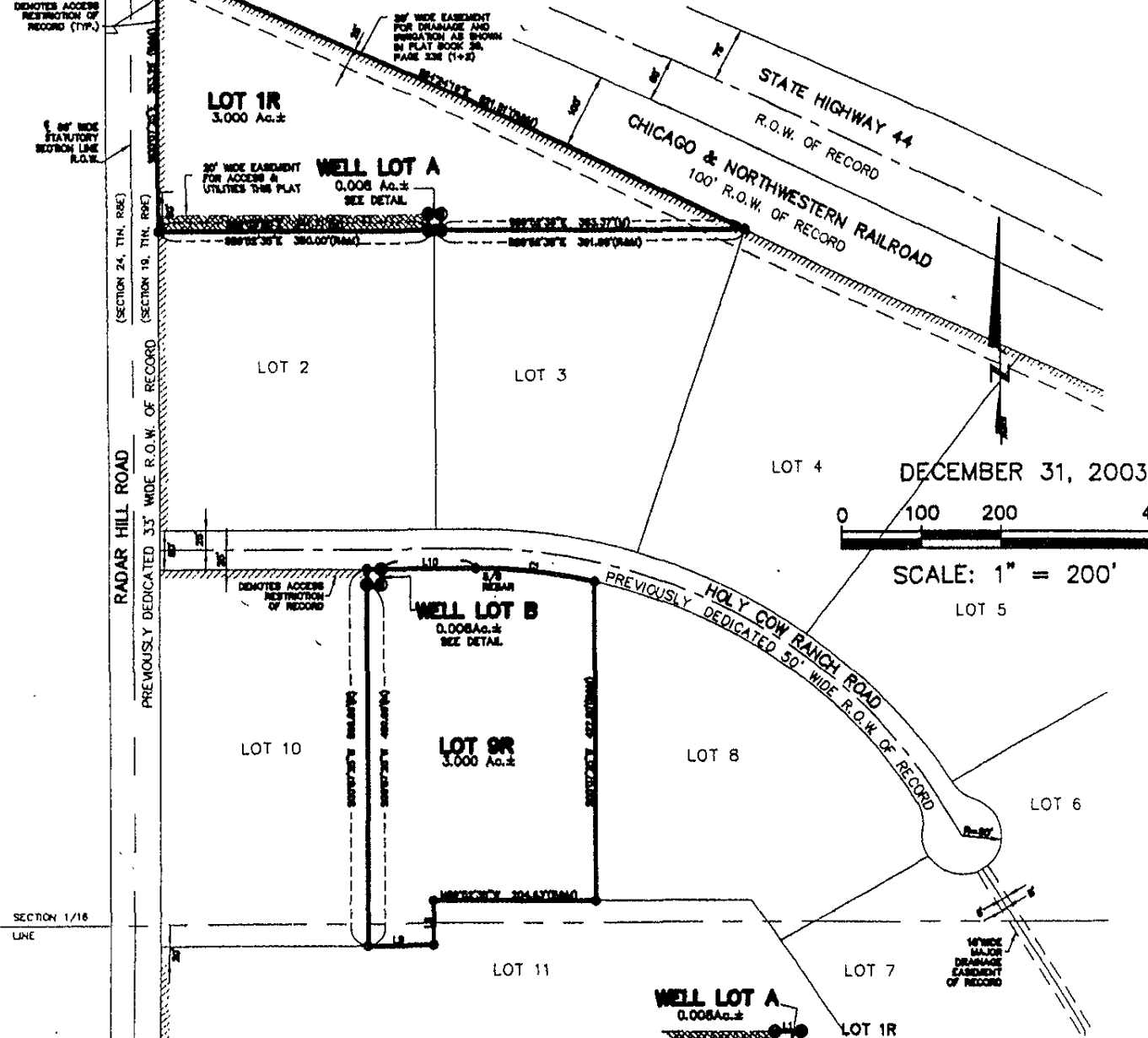
DUNN RD

HOLY COW RANCH RD



PLAT OF
**LOT 1R, LOT 9R,
 WELL LOT A, AND WELL LOT B,
 HOLY COW RANCH SUBDIVISION**

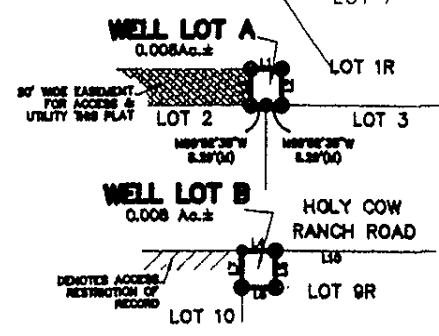
(FORMERLY LOT 1 AND LOT 9 OF
 HOLY COW RANCH SUBDIVISION)
 LOCATED IN "GOVERNMENT" LOTS 3 AND 4
 SECTION 19, T1N, R9E, B.H.M.,
 PENNINGTON COUNTY, SOUTH DAKOTA



NOTES:

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 - (R) Denotes Re-recorded in previous plat or description.
 - (M) Denotes Measured in this survey.
 - CB Denotes Chord Bearing
 - CD Denotes Chord Distance
- Basis of Bearings: Solar Observation
 Utility and Minor Drainage Easements: 5' on the interior side of all of lines, except the interior lot lines of Well Lot A and Well Lot B.

Any major drainage easement shown herein shall be kept free of all obstructions including but not limited to buildings, walls, fences, hedges, trees and shrubs. These easements grant to all public authorities the right to construct, operate, maintain, inspect and repair such improvements and structures as it seems expedient to facilitate drainage from any source.



DETAILS
 SCALE: 1" = 50'

Drawings: ADP\1571\WELL LOTS.dwg 01/06/04 09:40:50 AM MST

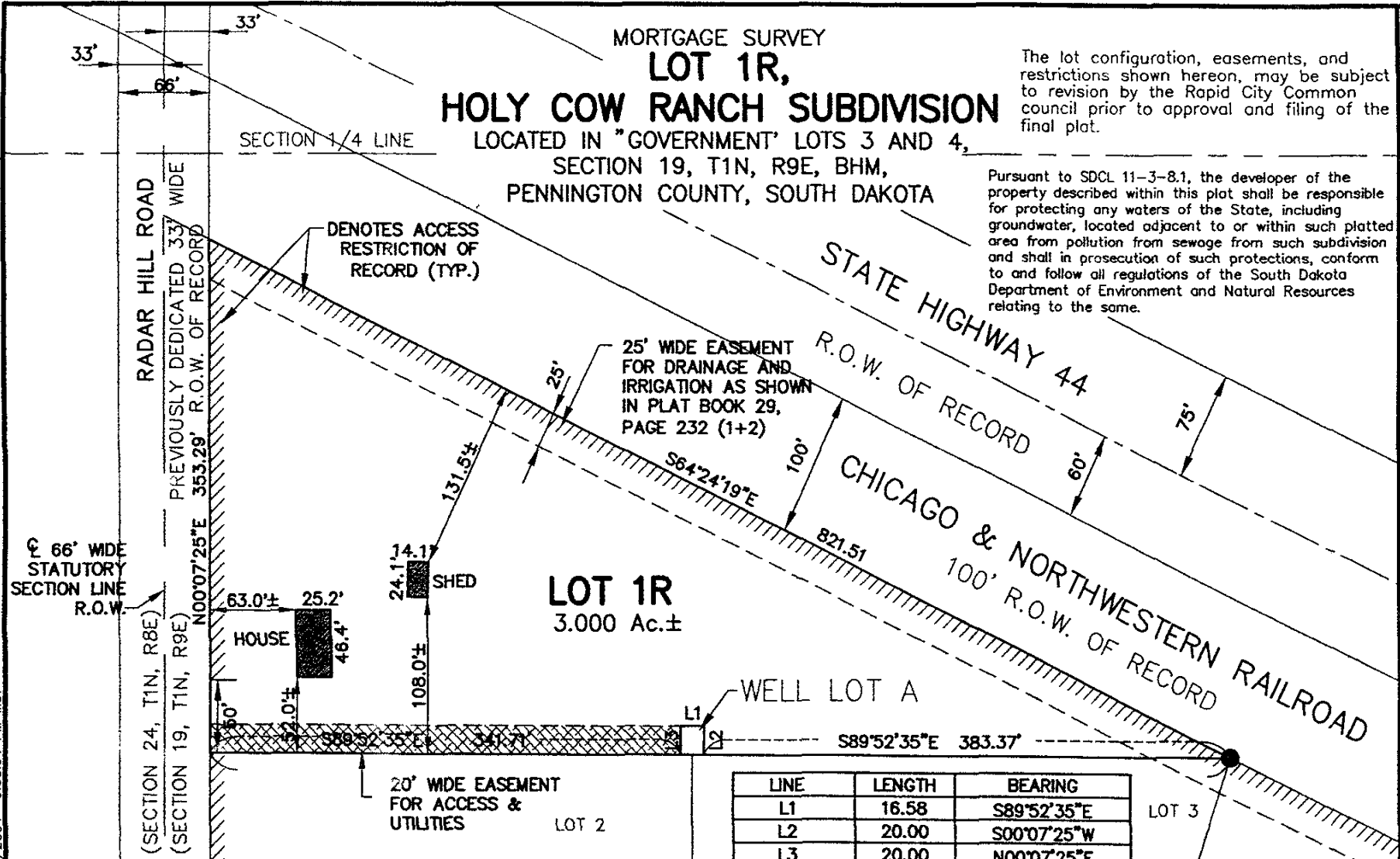
MORTGAGE SURVEY

LOT 1R, HOLY COW RANCH SUBDIVISION

LOCATED IN "GOVERNMENT" LOTS 3 AND 4,
SECTION 19, T1N, R9E, BHM,
PENNINGTON COUNTY, SOUTH DAKOTA

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Pursuant to SDCL 11-3-8.1, the developer of the property described within this plat shall be responsible for protecting any waters of the State, including groundwater, located adjacent to or within such platted area from pollution from sewage from such subdivision and shall in prosecution of such protections, conform to and follow all regulations of the South Dakota Department of Environment and Natural Resources relating to the same.




LOT 1R
3.000 Ac.±

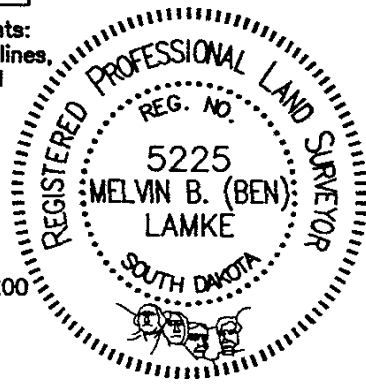
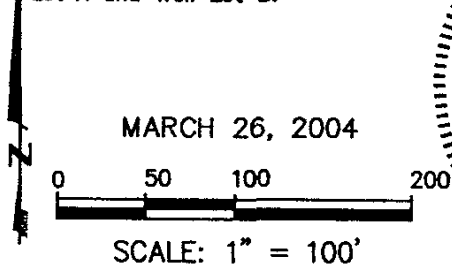
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Date: 3-26-04 
Melvin B. (Ben) Lamke, Registered Land Surveyor, No. 5225

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Lot A and Well Lot B.



PREPARED BY: SPERLICH CONSULTING, INC. * 821 1/2 COLUMBUS STREET RAPID CITY SD 57701 * (605) 721-4040

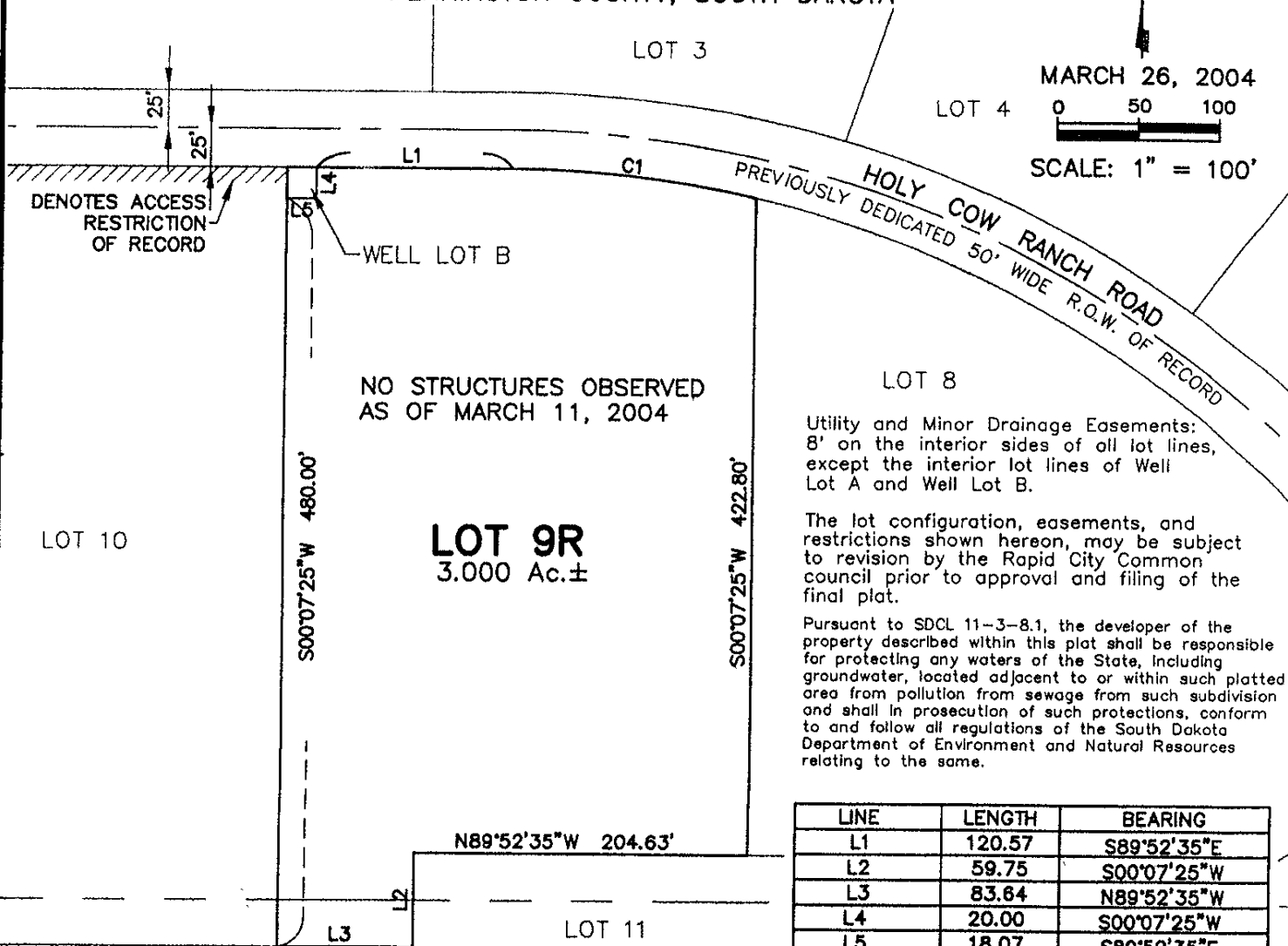
MORTGAGE SURVEY
LOT 9R
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MARCH 26, 2004



SCALE: 1" = 100'



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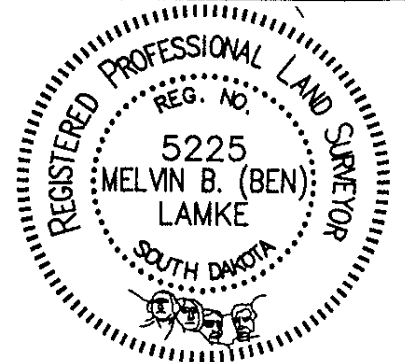
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3-26-04
 Date:

Melvin B. Lamke
 Melvin B. (Ben) Lamke, Registered Land Surveyor, No. 5225



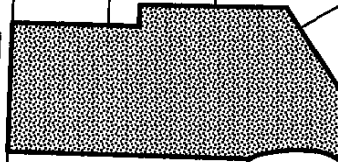
04PL173

DUNN RD

E HIGHWAY 44

RADAR HILL RD

HOLY COW RANCH RD



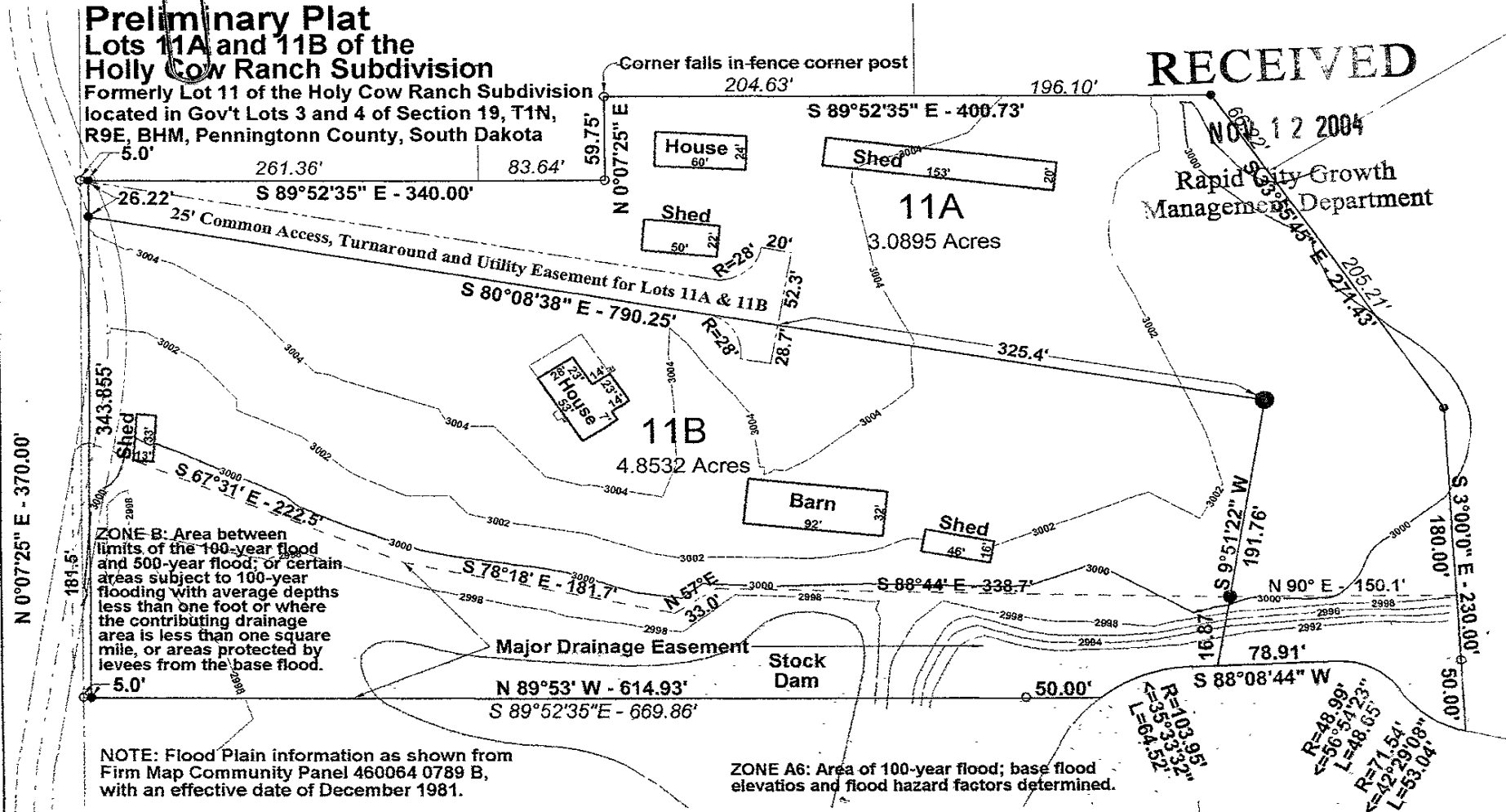
Preliminary Plat Lots 11A and 11B of the Holy Cow Ranch Subdivision

Formerly Lot 11 of the Holy Cow Ranch Subdivision
located in Gov't Lots 3 and 4 of Section 19, T1N,
R9E, BHM, Pennington County, South Dakota

RECEIVED

NOV 12 2004

Rapid City Growth
Management Department

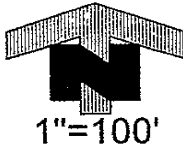


N 0°07'25" E - 370.00'

ZONE B: Area between limits of the 100-year flood and 500-year flood; or certain areas subject to 100-year flooding with average depths less than one foot or where the contributing drainage area is less than one square mile, or areas protected by levees from the base flood.

NOTE: Flood Plain information as shown from Firm Map Community Panel 460064 0789 B, with an effective date of December 1981.

ZONE A6: Area of 100-year flood; base flood elevations and flood hazard factors determined.



- Denotes: Found Corner 5/8" rebar with cap #4224
- Denotes: Set Corner 5/8" rebar with cap #4224

Prepared by:
Angle Surveys
Jerry Wendland
6909 Ridgeview Drive
Black Hawk, SD 57718

CERTIFICATE OF COUNTY TREASURER
I, Treasurer of Pennington County, do hereby certify that all taxes which are liens upon the within described lands have been fully paid according to the records of my office.

Utility & Minor Drainage Easements:
8' wide on the interior side of all lot lines

Pennington County Treasurer _____ Date: _____