

IN PROGRESS  
NOT FOR  
CONSTRUCTION

OLD DOWNTOWN ELKS REMODEL  
529 MAIN STREET  
RAPID CITY, SD 57701

Stateline No 7  
ARCHITECTS  
107 N. 4th St., Suite 201  
RAPID CITY, SD 57701  
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**GENERAL NOTES:**

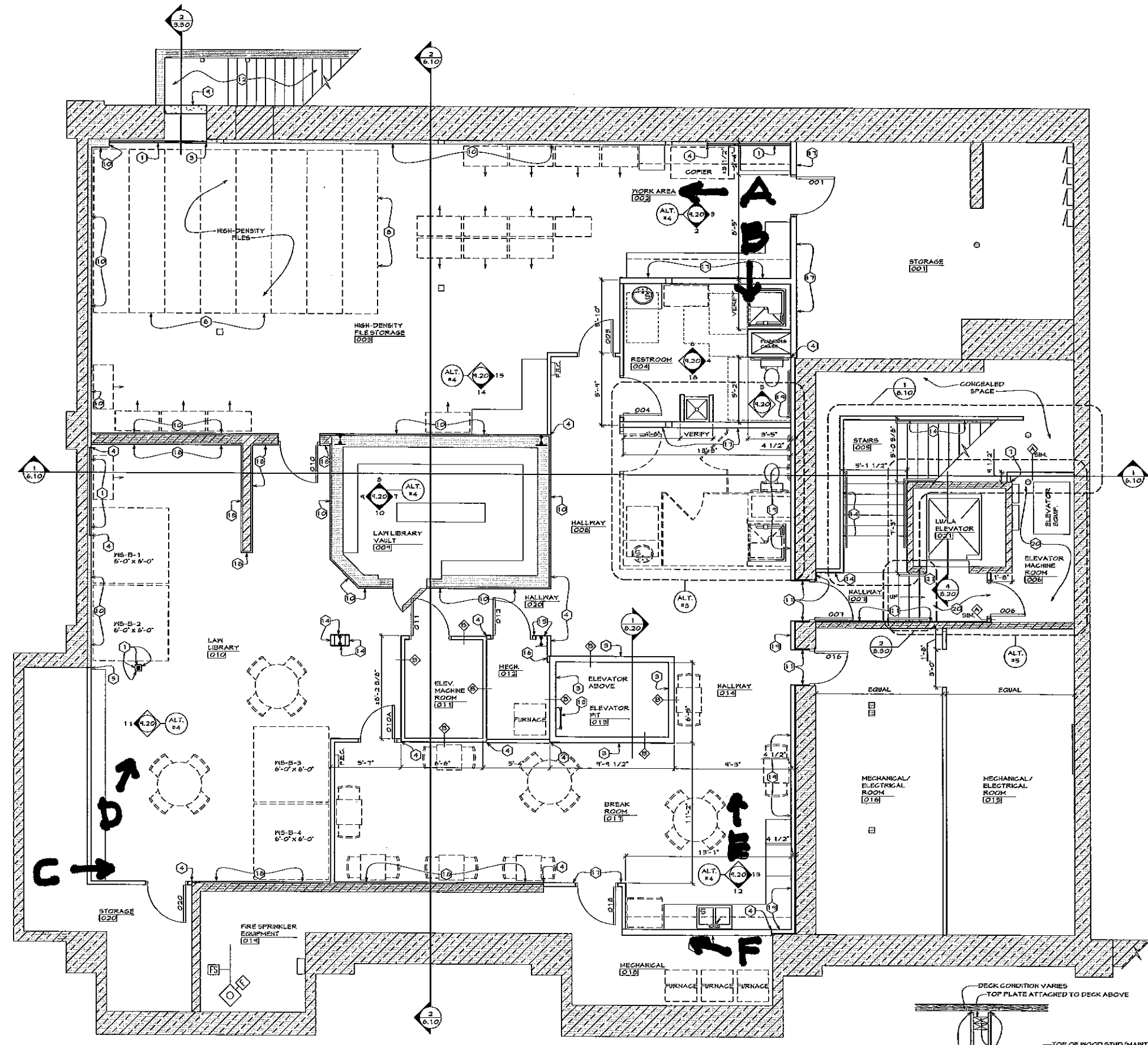
1. GENERAL NOTES, KEYNOTES, AND LEGEND ON THIS SHEET REFER TO THIS SHEET ONLY.
2. ALL DIMENSIONS TO EXISTING WALLS ARE TO FACE OF EXISTING STUD, FACE OF MASONRY, OR FACE OF STONE WALL, TYPICAL, UNLESS NOTED OTHERWISE.
3. ALL DIMENSIONS TO NEW WALLS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
4. ALL NEW INTERIOR WALL PARTITIONS TO BE CONSTRUCTED AS FOLLOWS UNLESS NOTED OTHERWISE. 2x4" WOOD STUDS @ 16" O.C. WITH 5/8" GYPSUM BOARD ON EACH SIDE, FLOOR TO EXISTING FLOOR DECK ABOVE. EXTEND BOTH LAYERS OF GYPSUM BOARD TO THE EXISTING DECK WITH DEFLECTION HEAD AT TOP OF WALL, SEE DETAIL 1 ON THIS SHEET. SEE SHEET 4.10 FOR ADDITIONAL INFORMATION.
5. PROVIDE MOISTURE-RESISTANT GYPSUM BOARD ON ALL WALLS IN THE FOLLOWING ROOMS: RESTROOM #004.
6. ALL 90° OUTSIDE DRYWALL CORNERS TO BE SQUARE, TYPICAL.
7. FURNITURE AND EQUIPMENT SHOWN DASHED IS PROVIDED BY OWNER/TENANT AND ARE SHOWN FOR REFERENCE AND COORDINATION PURPOSES ONLY.
8. ALL DOOR SIZES SHOWN ARE NOMINAL. CONTRACTOR TO VERIFY ROUGH OPENING SIZE WITH MANUFACTURER.
9. "E.C." DENOTES THE LOCATION OF A FIRE EXTINGUISHER CABINET AND FIRE EXTINGUISHER, SEE THE ACCESSORIES LEGEND ON SHEET 4.10.
10. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
11. ALL WOOD THAT COMES IN CONTACT WITH GEMENTIOUS MATERIALS SHALL BE PRESURE-TREATED OR BACK PRIMED.
12. ALL SHOWER STALLS TO BE PRE-MANUFACTURED A.D.A. UNITS, SET IN PLACE BEFORE ROOMS ARE CLOSED IN TO AVOID DELIVERING THROUGH NARROW OPENINGS.
13. SEE SHEET 4.10 FOR HALL TYPES.

**LEGEND:**

- EXISTING WALLS/ITEMS TO REMAIN
- NEW WALL, SEE GENERAL NOTE #4 ON THIS SHEET

**KEYNOTES:**

- 1 2x2 WOOD FURRING AT 16" O.C. WITH 3/8" GYPSUM BOARD ON FINISH SIDE. REMAINDER OF CONSTRUCTION IS SIMILAR TO DESCRIPTION IN GENERAL NOTE #4.
- 2 2x6 WOOD STUD PLUMBING WALL, 16" O.C. REMAINDER OF CONSTRUCTION IS SIMILAR TO GENERAL NOTE #4. SEE GENERAL NOTE #5 FOR GYPSUM BOARD TYPE.
- 3 2x6 WOOD STUD ELEVATOR SHAFT, 16" O.C. FLOOR TO STRUCTURE ABOVE, FULL BATT INSULATION, TWO (2) LAYERS OF 3/8" TYPE 'X' GYPSUM BOARD BOTH SIDES. SEE ALSO 1/8.20 AND 2/8.30
- 4 ALIGN FRAMING SO FINISH SURFACES ALIGN
- 5 NOT USED
- 6 NOT USED
- 7 ALIGN FRAMING OF NEW WALL SO FINISH SURFACE ALIGNS WITH FINISH SURFACE OF EXISTING BRICK
- 8 BUILT-UP FLOOR UNDER HIGH DENSITY SHELVING UNIT
- 9 6" THICK CONCRETE INFILL. INFILL TO EXTEND ENTIRE HEIGHT AND WIDTH OF EXISTING DOOR OPENING AND ALIGN WITH EXISTING STONE FOUNDATION WALL ON EXTERIOR. SEE DETAIL #2 THIS SHEET FOR WALL SECTION. SEE ALSO STRUCTURAL DRAWINGS.
- 10 PROVIDE 3/8" GYPSUM BOARD ON FINISH SIDE OF EXISTING WOOD FURRING AND/OR STUDS
- 11 1x WOOD FURRING AT 16" O.C. FLUSH WITH EXISTING STONE WALL WITH 3/8" GYPSUM BOARD ON FINISH SIDE. REMAINDER OF CONSTRUCTION IS SIMILAR TO DESCRIPTION IN GENERAL NOTE #4.
- 12 BACKFILL EXISTING EXTERIOR STAIRS WITH SOIL, COMPACT
- 13 PIT LADDER, SEE DETAIL 2/8.30
- 14 2x4 WOOD STUDS WITH 3/8" GYPSUM BOARD ON FINISH SIDE. REMAINDER OF CONSTRUCTION IS SIMILAR TO DESCRIPTION IN GENERAL NOTE #4. SEE GENERAL NOTE #5 FOR GYPSUM BOARD TYPE.
- 15 ALIGN 2x4 WOOD STUDS WITH FACE OF EXISTING COLUMN
- 16 ALIGN RIPPED WOOD STUDS SO FINISH SURFACE ALIGNS WITH FINISH SURFACE OF NEW 2x4 WOOD FRAMING. EXTEND RIPPED STUDS 6" PAST ELEVATOR SHAFT. PROVIDE 3/8" GYPSUM BOARD ON FINISH SIDE. REMAINDER OF CONSTRUCTION IS SIMILAR TO DESCRIPTION IN GENERAL NOTE #4.
- 17 2x6 WOOD STUD WALL, 16" O.C. REMAINDER OF CONSTRUCTION IS SIMILAR TO GENERAL NOTE #4.
- 18 2x2 WOOD FURRING AT 16" O.C. WITH 3/8" GYPSUM BOARD ON FINISH SIDE. REMAINDER OF CONSTRUCTION IS SIMILAR TO DESCRIPTION IN GENERAL NOTE #4.
- 19 2x4 WOOD STUDS AT 16" O.C. WITH 3/8" GYPSUM BOARD ON FINISH SIDE. REMAINDER OF CONSTRUCTION IS SIMILAR TO DESCRIPTION IN GENERAL NOTE #4. PROVIDE 1" AIR SPACE BETWEEN EXISTING WALL SURFACE AND FRAMING UNLESS NOTED OTHERWISE.
- 20 2" THICK RAISED CONCRETE FLOOR SLAB, SEE STRUCTURAL
- 21 PROVIDE 3 CONCRETE STEPS SEE SECTION 3/8.30

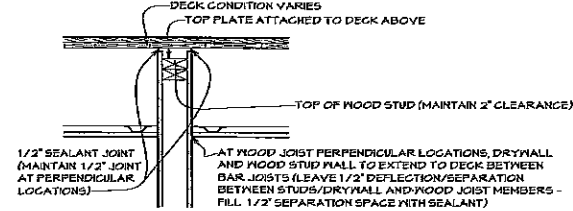
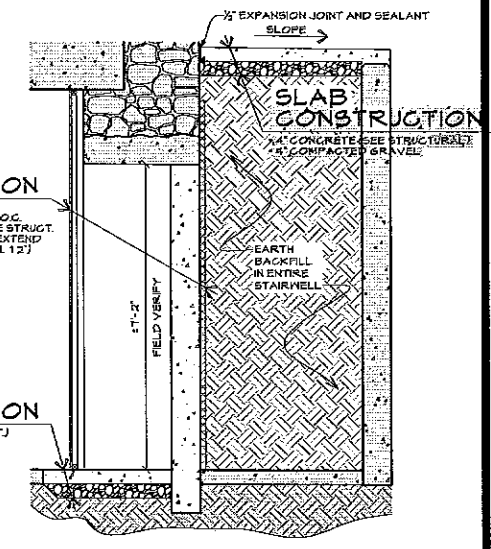


**WALL CONSTRUCTION**

- 3/8" GYPSUM BOARD
- 2x2 WOOD FURRING @ 16" O.C.
- 6" POURED CONCRETE (SEE STRUCT.)
- SHEET WATERPROOFING (EXTEND PAST CONCRETE INFILL MIN. 12")
- 1-1/2" RIGID INSULATION

**FLOOR CONSTRUCTION**

- 4" CONCRETE (SEE STRUCT.)
- 4" COMPACTED GRAVEL



1 DEFLECTION HEAD  
SCALE: 1" = 1'-0"

2 CMU INFILL WALL SECTION  
SCALE: 1/2" = 1'-0"

**BASEMENT DIMENSION AND REFERENCE PLAN**

SCALE 1/4" = 1'-0"

PROJECT NUMBER  
09-017

DATE  
JANUARY 28, 2011

DRAWN BY  
EDWARD KLISTER

DISK ID.  
09-017\_3.30.dwg

SHEET TITLE  
BASEMENT DIMENSION AND REFERENCE PLAN

SHEET NUMBER  
3.30

IN PROGRESS  
NOT FOR  
CONSTRUCTION

OLD DOWNTOWN ELKS REMODEL  
529 MAIN STREET  
RAPID CITY, SD 57701

Staline No 7  
ARCHITECTS  
107 N. Main Street  
Rapid City, SD 57701  
765-3411  
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**GENERAL NOTES:**

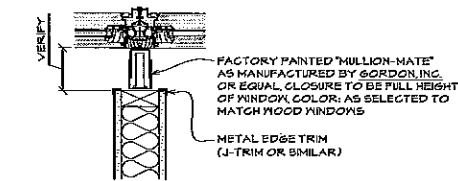
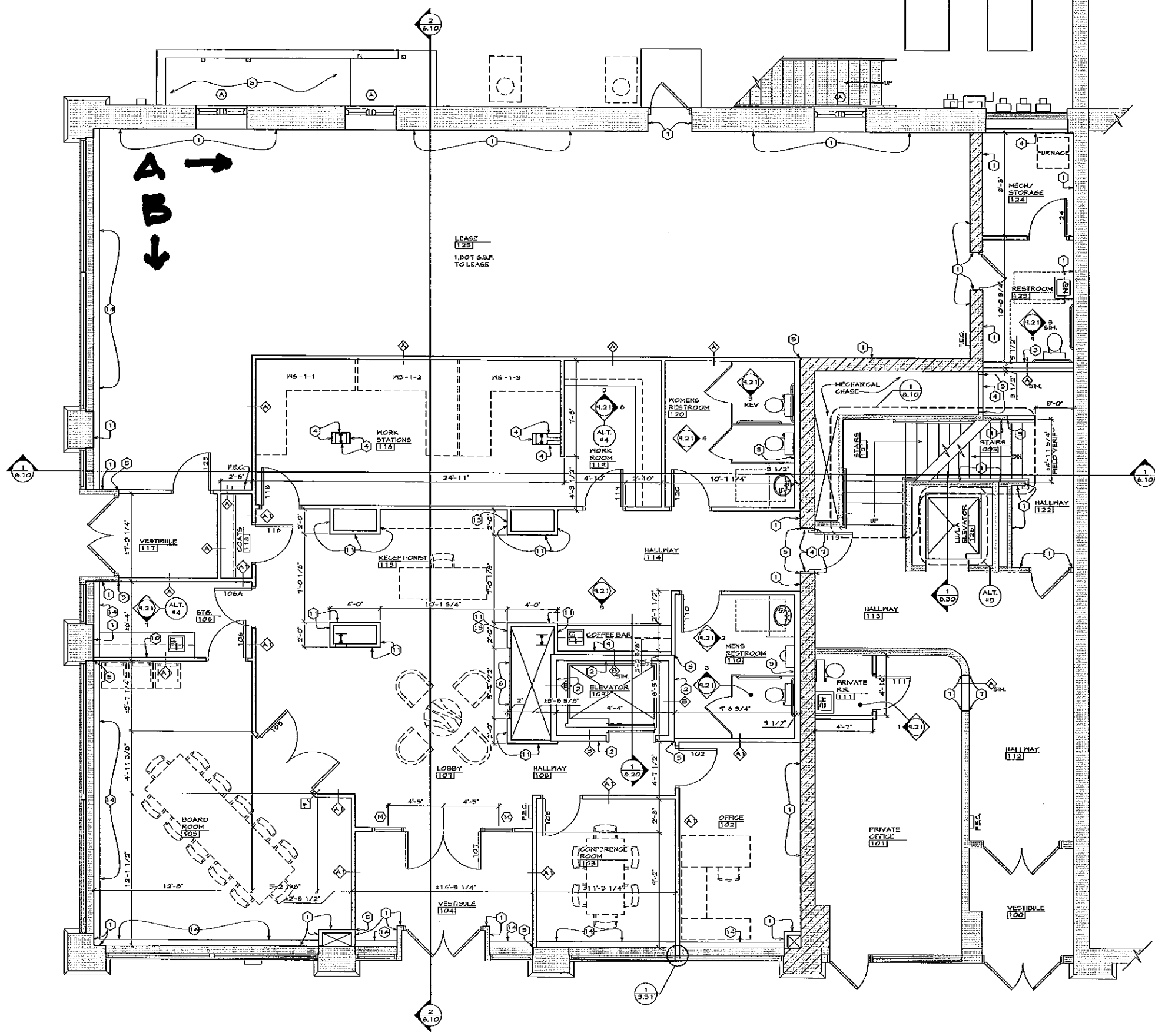
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2. ALL DIMENSIONS TO EXISTING WALLS ARE TO FACE OF EXISTING STUD/FURRING, FACE OF MASONRY, OR FACE OF STONE WALL, TYPICAL, UNLESS NOTED OTHERWISE.
3. ALL DIMENSIONS TO NEW WALLS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
4. ALL NEW INTERIOR WALL PARTITIONS TO BE CONSTRUCTED AS FOLLOWS UNLESS NOTED OTHERWISE: 2x4 WOOD STUDS @ 16" O.C. WITH 5/8" GYPSUM BOARD ON EACH SIDE, FLOOR TO EXISTING FLOOR DECK ABOVE. EXTEND BOTH LAYERS OF GYPSUM BOARD TO THE EXISTING DECK WITH DEFLECTION HEAD AT TOP OF WALL. SEE DETAIL 1/3.3.0. SEE SHEET 4.1.1 FOR ADDITIONAL INFORMATION.
5. PROVIDE MOISTURE-RESISTANT GYPSUM BOARD ON ALL WALLS IN THE FOLLOWING ROOMS: MENS R.R. # 110, PRIVATE R.R. # 111, WOMENS R.R. # 120, AND RESTROOM # 124.
6. ALL 90° OUTSIDE DRYWALL CORNERS TO BE SQUARE, TYPICAL.
7. FURNITURE AND EQUIPMENT SHOWN DASHED IS PROVIDED BY OWNER/TENANT AND ARE SHOWN FOR REFERENCE AND COORDINATION PURPOSES ONLY.
8. ALL DOOR AND WINDOW SIZES SHOWN ARE NOMINAL. CONTRACTOR TO VERIFY ROUGH OPENING SIZE WITH MANUFACTURER.
9. "F.E.C." DENOTES THE LOCATION OF A FIRE EXTINGUISHER CABINET AND FIRE EXTINGUISHER. SEE THE ACCESSORIES LEGEND ON SHEET 4.2.0.
10. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
11. ALL NEW EXTERIOR DOOR AND WINDOW OPENINGS IN THE EXTERIOR MASONRY WALL HAVE NOT BEEN DIMENSIONED BECAUSE THEY RE-USE THE EXISTING OR PREVIOUSLY FILLED MASONRY OPENING. FIELD VERIFY.
12. ALL WOOD THAT COMES IN CONTACT WITH CEMENTIOUS MATERIALS SHALL BE PRESSURE-TREATED OR BACK PRIMED.
13. ALL NEW OFFICE WALLS, CONFERENCE/BOARD ROOM WALLS, AND PARTY WALLS TO BE SOUND WALLS.
14. SEE SHEET 4.1.0 FOR WALL TYPES.
15. ALL ANGLED WALLS ARE 45°.
16. REPLACE ALL 1/2" UNDERLAMENT FLOORING WHEREVER IT OCCURS.

**LEGEND:**

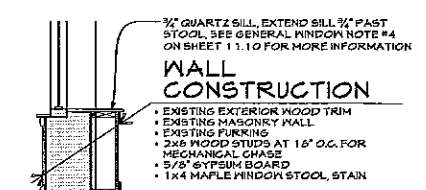
- EXISTING WALLS/SYSTEMS TO REMAIN
- NEW WALL, SEE GENERAL NOTE # 4 ON THIS SHEET

**KEYNOTES:**

1. PROVIDE 3/4" GYPSUM BOARD ON EXISTING WOOD FURRING AND/OR WOOD STUDS
2. 2x6 WOOD STUD ELEVATOR SHAFT, 16" O.C. FLOOR TO STRUCTURE ABOVE, FULL BATT INSULATION, TWO (2) LAYERS OF 3/4" TYPE 'X' GYPSUM BOARD BOTH SIDES, SEE ALSO 1/8.2.0 AND 2/8.2.0
3. 2x6 WOOD STUD PLUMBING WALL WITH 3/4" GYPSUM BOARD ON FINISH SIDE. REMAINDER OF CONSTRUCTION IS SIMILAR TO DESCRIPTION IN GENERAL NOTE # 4, SEE GENERAL NOTE # 5 FOR GYPSUM BOARD TYPE
4. 2x4 WOOD STUDS WITH 3/4" GYPSUM BOARD ON FINISH SIDE. REMAINDER OF CONSTRUCTION IS SIMILAR TO DESCRIPTION IN GENERAL NOTE # 4
5. ALIGN FRAMING SO FINISH SURFACES ALIGN
6. 2x2 WOOD FURRING WITH 3/4" GYPSUM BOARD ON FINISH SIDE. REMAINDER OF CONSTRUCTION IS SIMILAR TO DESCRIPTION IN GENERAL NOTE # 4
7. ALIGN FINISH SURFACE OF NEW WALL WITH FINISH SURFACE OF EXISTING WALL, FEATHER SMOOTH
8. BACKFILL EXISTING EXTERIOR STAIRS WITH SOIL, COMPACT
9. 2x4 WOOD STUD PLUMBING WALL WITH 3/4" GYPSUM BOARD ON FINISH SIDE. REMAINDER OF CONSTRUCTION IS SIMILAR TO DESCRIPTION IN GENERAL NOTE # 4
10. 2x4 WOOD STUDS AT 16" O.C. WITH 1/2" MAPLE VENEERED PLYWOOD AND 3/4" MAPLE PANEL, SEE ALTERNATE # 6 SHEET 4.1.0
11. NOT USED
12. ALIGN FINISH SURFACE OF WALLS ACROSS HALLWAY/REVEAL
13. EXTEND EXISTING WINDOW SILL, SEE DETAIL # 2 THIS SHEET



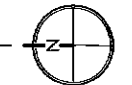
**1 MULLION DETAIL**  
SCALE: 1 1/2" = 1'-0"



**2 WALL SECTION**  
SCALE: 1/2" = 1'-0"

**FIRST FLOOR DIMENSION AND REFERENCE PLAN**

SCALE 1/4" = 1'-0"



PROJECT NUMBER  
09-017

DATE  
JANUARY 28, 2011

DRAWN BY  
EDWARD KLISTER

DISK ID.  
09-017\_3.31.dwg

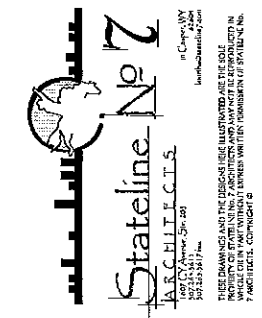
SHEET TITLE  
FIRST FLOOR DIMENSION AND REFERENCE PLAN

SHEET NUMBER

3.31

IN PROGRESS  
NOT FOR  
CONSTRUCTION

OLD DOWNTOWN ELKS REMODEL  
529 MAIN STREET  
RAPID CITY, SD 57701



PROJECT NUMBER  
09-017

DATE  
JANUARY 28, 2011

DRAWN BY  
EDWARD KLISTER

DISK ID.  
09-017\_3.32.dwg

SHEET TITLE  
SECOND FLOOR  
DIMENSION AND  
REFERENCE PLAN

SHEET NUMBER  
3.32

**GENERAL NOTES:**

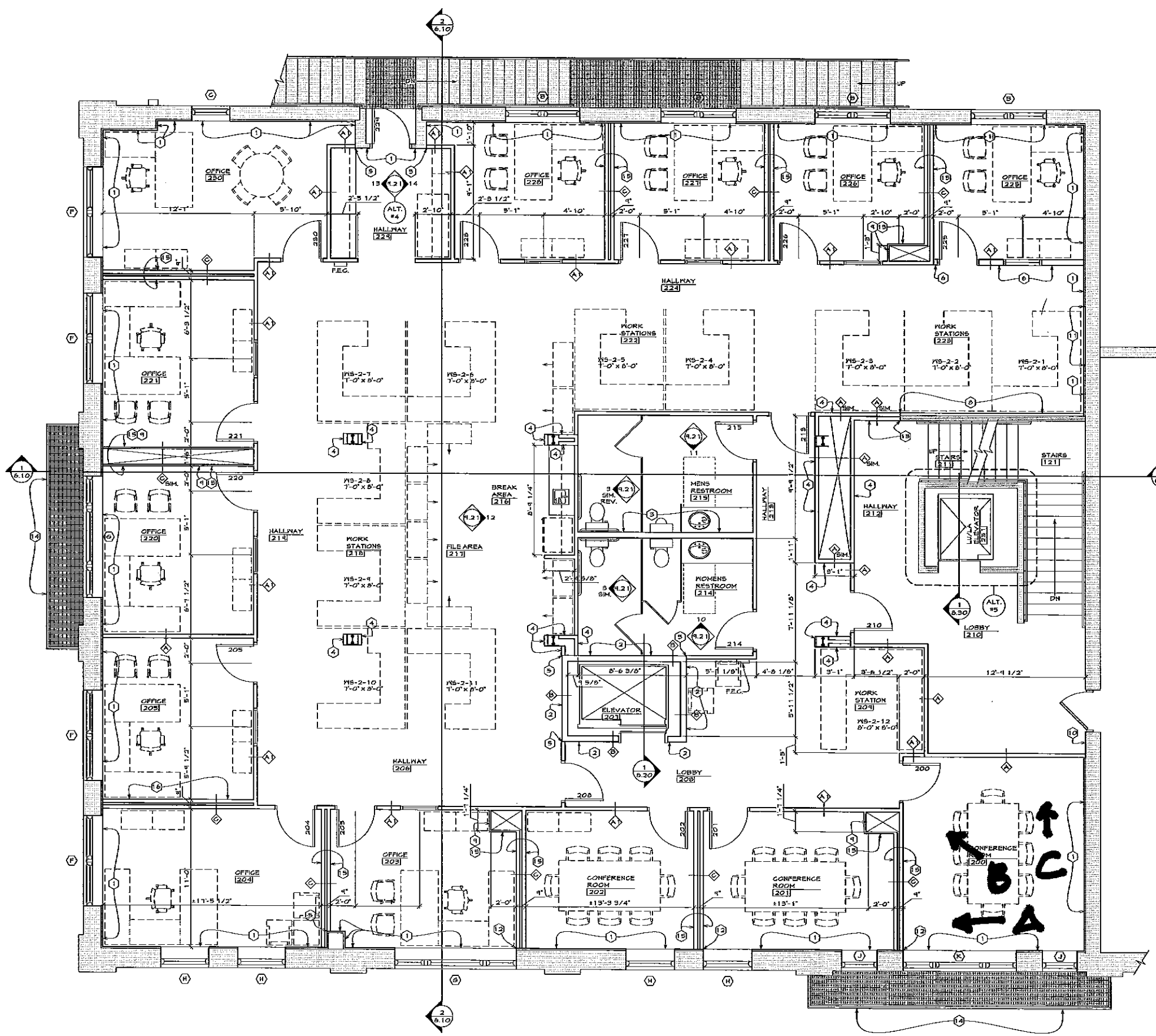
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3. ALL DIMENSIONS TO NEW WALLS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
4. ALL NEW INTERIOR WALL PARTITIONS TO BE CONSTRUCTED AS FOLLOWS UNLESS NOTED OTHERWISE: 2x4 WOOD STUDS @ 16" O.C. WITH 5/8" GYPSUM BOARD ON EACH SIDE, FLOOR TO EXISTING FLOOR DECK ABOVE. EXTEND BOTH LAYERS OF GYPSUM BOARD TO THE EXISTING DECK WITH DEFLECTION HEAD AT TOP OF WALL. SEE DETAIL 1 ON THIS SHEET. SEE SHEET 4.12 FOR ADDITIONAL INFORMATION.
5. PROVIDE MOISTURE-RESISTANT GYPSUM BOARD ON ALL WALLS IN THE FOLLOWING ROOMS: WOMENS RR. #214, MENS RR. #215.
6. ALL 40" OUTSIDE DRYMALL CORNERS TO BE SQUARE TYPICAL.
7. FURNITURE AND EQUIPMENT SHOWN DASHED IS PROVIDED BY OWNER/TENANT AND ARE SHOWN FOR REFERENCE AND COORDINATION PURPOSES ONLY.
8. ALL DOOR AND WINDOW SIZES SHOWN ARE NOMINAL. CONTRACTOR TO VERIFY ROUGH OPENING SIZE WITH MANUFACTURER.
9. F.E.C. DENOTES THE LOCATION OF A FIRE EXTINGUISHER CABINET AND FIRE EXTINGUISHER. SEE THE ACCESSORIES LEGEND ON SHEET 4.20.
10. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
11. ALL NEW EXTERIOR DOOR AND WINDOW OPENINGS IN THE EXTERIOR MASONRY WALL HAVE NOT BEEN DIMENSIONED BECAUSE THEY RE-USE THE EXISTING OR PREVIOUSLY FILLED MASONRY OPENING. FIELD VERIFY.
12. ALL WOOD THAT COMES IN CONTACT WITH CEMENTITIOUS MATERIALS SHALL BE PRESSURE-TREATED OR BACK PRIMED.
13. ALL NEW OFFICE WALLS AND CONFERENCE ROOM WALLS TO BE SOUND WALLS.
14. SEE SHEET 4.10 FOR WALLS TYPES.
15. RE-NAIL EXISTING SUBFLOOR AND INSTALL NEW 3/4" SUBFLOORING.

**LEGEND:**

- EXISTING WALLS/ITEMS TO REMAIN
- NEW WALL. SEE GENERAL NOTE #4 ON THIS SHEET

**KEYNOTES:**

- 1 PROVIDE 3/8" GYPSUM BOARD ON EXISTING WOOD FURRING AND/OR WOOD STUDS
- 2 2x6 WOOD STUD ELEVATOR SHAFT, 16" O.C. FLOOR TO STRUCTURE ABOVE, FULL BATT INSULATION, TWO (2) LAYERS OF 1/2" TYPE 'X' GYPSUM BOARD BOTH SIDES. SEE ALSO 1/8.20 AND 2/8.20
- 3 2x6 WOOD STUD PLUMBING WALL, REMAINDER OF CONSTRUCTION IS SIMILAR TO DESCRIPTION IN GENERAL NOTE #4. SEE GENERAL NOTE #5 FOR GYPSUM BOARD TYPE
- 4 2x4 WOOD STUDS WITH 3/8" GYPSUM BOARD ON FINISH SIDE. REMAINDER OF CONSTRUCTION IS SIMILAR TO DESCRIPTION IN GENERAL NOTE #4
- 5 ALIGN FRAMING SO FINISH SURFACES ALIGN
- 6 2x6 WOOD STUD PLUMBING WALL, REMAINDER OF CONSTRUCTION IS SIMILAR TO DESCRIPTION IN GENERAL NOTE #4
- 7 NOT USED
- 8 ALIGN RIPPED WOOD STUDS SO FINISH SURFACE OF NEW RIPPED STUDS ALIGNS WITH FINISH SURFACE OF NEW WALL. PROVIDE 3/8" TYPE 'X' GYPSUM BOARD ON FINISH SIDE. REMAINDER OF CONSTRUCTION IS SIMILAR TO DESCRIPTION IN GENERAL NOTE #4 AND WALL TYPE 'A'
- 9 2x2 WOOD FURRING AT 16" O.C. WITH 3/8" GYPSUM BOARD ON FINISH SIDE. REMAINDER OF CONSTRUCTION IS SIMILAR TO DESCRIPTION IN GENERAL NOTE #4
- 10 PROVIDE GYP. BD. WALL PATCH. ALIGN FINISH WALL SURFACE OF PATCH WITH FINISH SURFACE OF EXISTING WALL. TAPE, TEXTURE AND FEATHER SMOOTH TO EXISTING WALL
- 11 ALIGN SURFACE OF WOOD FURRING, AT 16" O.C., WITH SURFACE OF EXISTING FURRING. 3/8" GYPSUM BOARD ON FINISH SIDE, REMAINDER OF CONSTRUCTION IS SIMILAR TO DESCRIPTION IN GENERAL NOTE #4
- 12 ALIGN FRAMING OF NEW WALL WITH FRAMING/FURRING OF EXISTING WINDOW OPENING
- 13 ALIGN FINISH SURFACE OF NEW WALL WITH FINISH SURFACE OF EXISTING WALL. FEATHER SMOOTH. REMAINDER OF CONSTRUCTION IS SIMILAR TO DESCRIPTION IN GENERAL NOTE #4 AND WALL TYPE 'A'
- 14 REMOVE BALCONY GRATING
- 15 MECHANICAL CHASE WALLS ON 3RD FLOOR TO BE DIRECTLY ABOVE
- 16 MECHANICAL CHASE WALL ON 3RD FLOOR TO BE DIRECTLY ABOVE, THIS SIDE ONLY



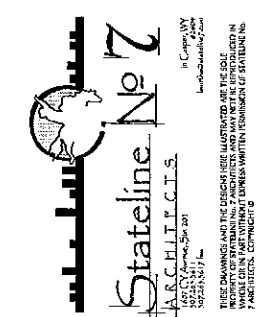
**SECOND FLOOR DIMENSION AND REFERENCE PLAN**

SCALE 1/4" = 1'-0"



IN PROCESS  
NOT FOR  
CONSTRUCTION

OLD DOWNTOWN ELKS REMODEL  
529 MAIN STREET  
RAPID CITY, SD 57701



PROJECT NUMBER  
09-017

DATE  
JANUARY 28, 2011

DRAWN BY  
EDWARD KLISTER

DISK ID.  
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SHEET TITLE  
THIRD FLOOR DIMENSION AND REFERENCE PLAN

SHEET NUMBER  
3.33

**GENERAL NOTES:**

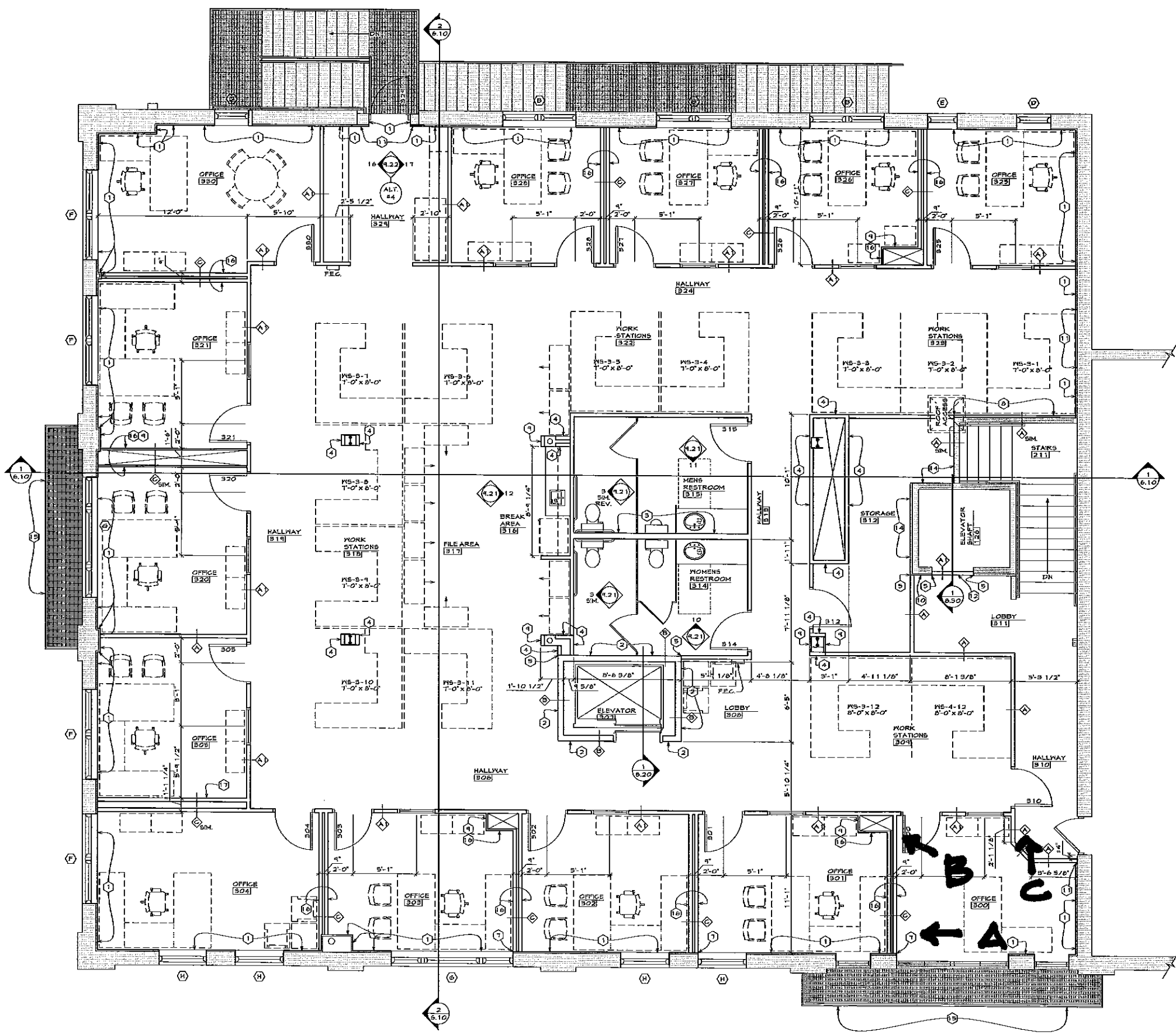
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3. ALL DIMENSIONS TO NEW WALLS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
4. ALL NEW INTERIOR WALL PARTITIONS TO BE CONSTRUCTED AS FOLLOWS UNLESS NOTED OTHERWISE: 2x4 WOOD STUDS @ 16" O.C. WITH 5/8" GYPSUM BOARD ON EACH SIDE, FLOOR TO EXISTING FLOOR DECK ABOVE. EXTEND BOTH LAYERS OF GYPSUM BOARD TO THE EXISTING DECK WITH DEFLECTION HEAD AT TOP OF WALL. SEE DETAIL 1 ON THIS SHEET. SEE SHEET 4.15 FOR ADDITIONAL INFORMATION.
5. PROVIDE MOISTURE-RESISTANT GYPSUM BOARD ON ALL WALLS IN THE FOLLOWING ROOMS: WOMENS R.R. #S 14, MENS R.R. #S 13.
6. ALL 90° OUTSIDE DRYWALL CORNERS TO BE SQUARE, TYPICAL.
7. FURNITURE AND EQUIPMENT SHOWN DASHED IS PROVIDED BY OWNER/TENANT AND ARE SHOWN FOR REFERENCE AND COORDINATION PURPOSES ONLY.
8. ALL DOOR AND WINDOW SIZES SHOWN ARE NOMINAL. CONTRACTOR TO VERIFY ROUGH OPENING SIZE WITH MANUFACTURER.
9. "F.E.C." DENOTES THE LOCATION OF A FIRE EXTINGUISHER CABINET AND FIRE EXTINGUISHER. SEE THE ACCESSORIES LEGEND ON SHEET 4.20.
10. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
11. ALL NEW EXTERIOR DOOR AND WINDOW OPENINGS IN THE EXTERIOR MASONRY WALL HAVE NOT BEEN DIMENSIONED BECAUSE THEY RE-USE THE EXISTING OR PREVIOUSLY INFILLED MASONRY OPENING. FIELD VERIFY.
12. ALL WOOD THAT COMES IN CONTACT WITH CEMENTITIOUS MATERIALS SHALL BE PRESSURE-TREATED OR BACK PRIMED.
13. ALL NEW OFFICE WALLS TO BE SOUND WALLS.
14. ALL ANGLED WALLS ARE 45°.
15. RE-NAIL EXISTING SUBFLOOR AND INSTALL NEW 3/4" SUBFLOORING.

**LEGEND:**

- EXISTING WALLS/ITEMS TO REMAIN
- NEW WALL, SEE GENERAL NOTE #4 ON THIS SHEET

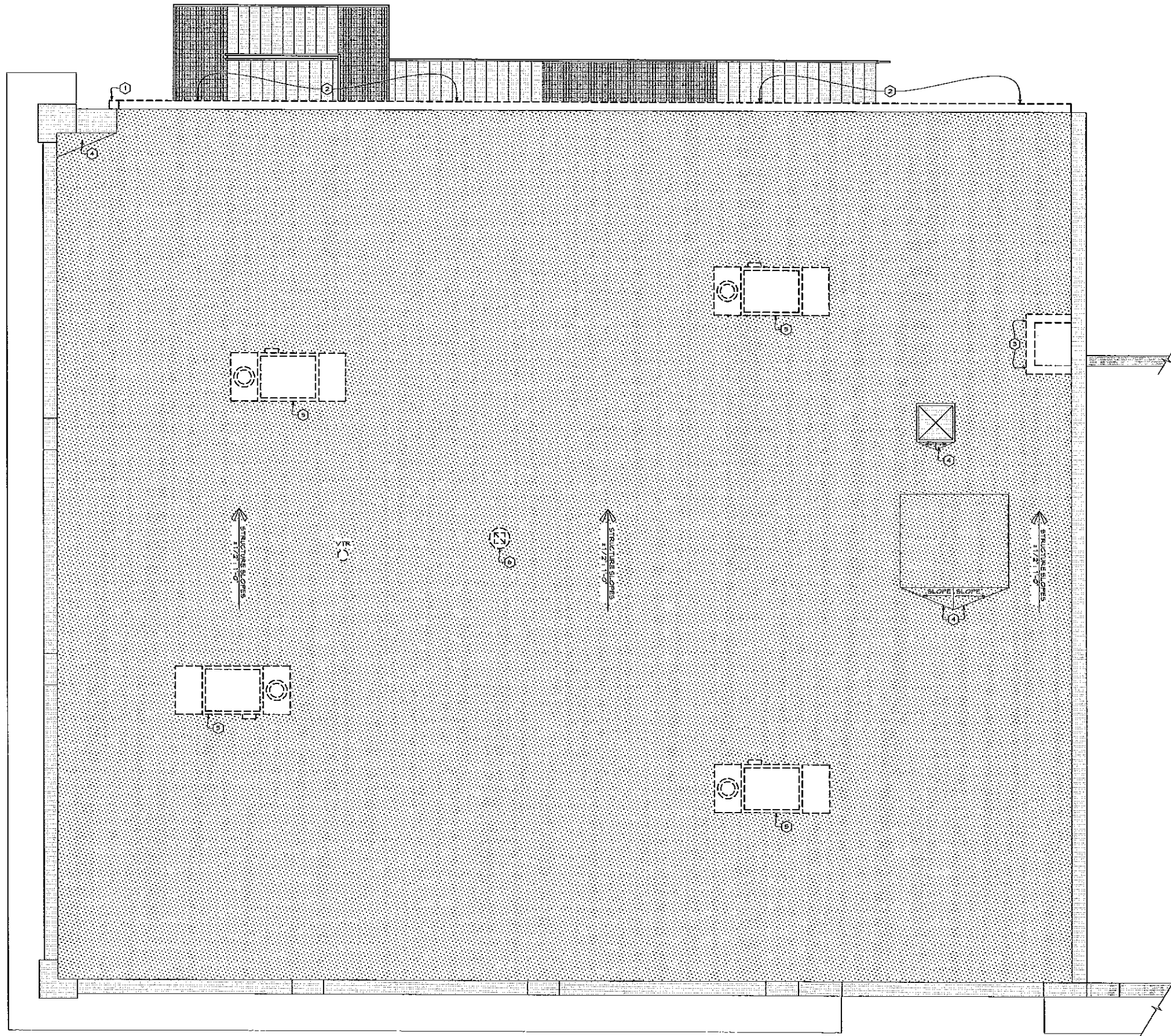
**KEYNOTES:**

- 1 PROVIDE 3/4" GYPSUM BOARD ON EXISTING WOOD FURRING AND/OR WOOD STUDS
- 2 2x6 WOOD STUD ELEVATOR SHAFT, 16" O.C. FLOOR TO STRUCTURE ABOVE. FULL BATT INSULATION. TWO (2) LAYERS OF 5/8" TYPE 'X' GYPSUM BOARD BOTH SIDES. SEE ALSO 1/8.20 AND 2/8.20
- 3 2x6 WOOD STUD PLUMBING WALL. REMAINDER OF CONSTRUCTION IS SIMILAR TO DESCRIPTION IN GENERAL NOTE #4. SEE GENERAL NOTE #5 FOR GYPSUM BOARD TYPE
- 4 2x4 WOOD STUDS WITH 5/8" GYPSUM BOARD ON FINISH SIDE. REMAINDER OF CONSTRUCTION IS SIMILAR TO DESCRIPTION IN GENERAL NOTE #4
- 5 ALIGN FRAMING SO FINISH SURFACES ALIGN
- 6 NOT USED
- 7 ALIGN FRAMING OF NEW WALL WITH FRAMING/FURRING OF EXISTING WINDOW OPENING
- 8 ALIGN RIPPED WOOD STUDS SO FINISH SURFACE OF NEW RIPPED STUDS ALIGNS WITH FINISH SURFACE OF NEW WALL. PROVIDE 5/8" TYPE 'X' GYPSUM BOARD ON FINISH SIDE. REMAINDER OF CONSTRUCTION IS SIMILAR TO DESCRIPTION IN GENERAL NOTE #4 AND WALL TYPE 'A'
- 9 2x2 WOOD FURRING AT 16" O.C. WITH 5/8" GYPSUM BOARD ON FINISH SIDE. REMAINDER OF CONSTRUCTION IS SIMILAR TO DESCRIPTION IN GENERAL NOTE #4
- 10 PROVIDE GYP. BD. HALL PATCH. ALIGN FINISH WALL SURFACE OF PATCH WITH FINISH SURFACE OF EXISTING WALL. TAPE, TEXTURE AND FEATHER SMOOTH TO EXISTING WALL
- 11 ALIGN SURFACE OF WOOD FURRING AT 16" O.C. WITH SURFACE OF EXISTING FURRING. 3/4" GYPSUM BOARD ON FINISH SIDE. REMAINDER OF CONSTRUCTION IS SIMILAR TO DESCRIPTION IN GENERAL NOTE #4
- 12 2x4 WOOD STUD INFILL WITH 5/8" GYPSUM BOARD ON FINISH SIDE. REMAINDER OF CONSTRUCTION IS SIMILAR TO DESCRIPTION IN GENERAL NOTE #4
- 13 NOT USED
- 14 PROVIDE 5/8" TYPE 'X' GYPSUM BOARD ON FINISH SIDE
- 15 REMOVE EXISTING BALCONY GRATINGS
- 16 MECHANICAL CHASE TO ALIGN DIRECTLY ABOVE CHASE ON SECOND FLOOR. SEE SHEET 3.32 FOR DIMENSIONS
- 17 MECHANICAL CHASE WALL TO ALIGN DIRECTLY ABOVE CHASE ON SECOND FLOOR, THIS SIDE ONLY. SEE SHEET 3.32 FOR DIMENSIONS



**THIRD FLOOR DIMENSION AND REFERENCE PLAN**  
SCALE 1/4" = 1'-0"







**GENERAL NOTES:**

1. GENERAL NOTES, KEYNOTES, AND LEGEND ON THIS SHEET REFER TO THIS SHEET ONLY.
2. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
3. PATCH AND SEAL ALL ROOF PENETRATIONS.
4. REMOVE ALL EXISTING VENTS - THRU-ROOF UNLESS NOTED OTHERWISE.
5. VERIFY CONDITION OF EXISTING ROOF INSULATION. REPLACE ANY MET OR DETERIORATED ROOF INSULATION - BASE REPLACEMENT BY SQUARE FOOT.
6. ROOFING CONTRACTOR TO VERIFY EXISTING ROOF CONDITIONS AND REPORT ANY DISCREPANCIES TO ARCHITECT PRIOR TO BID DATE.
7. SALVAGE ALL EXISTING FLASHINGS AS ALLOWABLE FOR REUSE.

**LEGEND:**

-  EXISTING PVC ROOFING MEMBRANE TO BE REMOVED
- VTR  VENT-THRU-ROOF TO BE REMOVED, SEE THE MECHANICAL DRAWINGS FOR MORE INFORMATION

**KEYNOTES:**

- 1 REMOVE EXISTING METAL DOWNSPOUT
- 2 REMOVE EXISTING METAL GUTTER
- 3 REMOVE EXISTING CHIMNEY AND PROVIDE PATCH IN ROOF SHEATHING TO COVER EXISTING OPENING
- 4 EXISTING ROOF CRICKET
- 5 REMOVE EXISTING ROOFTOP MECHANICAL UNIT AND ALL ASSOCIATED HARDWARE AND ACCESSORIES. REMOVE ROOFTOP UNIT'S CURB IF PROVIDED
- 6 REMOVE EXISTING VENT

IN PROCESS  
NOT FOR  
CONSTRUCTION

OLD DOWNTOWN ELKS REMODEL  
529 MAIN STREET  
RAPID CITY, SD 57701

**StateLine No 7**  
ARCHITECTS  
1001 W. 10th Street  
Rapid City, SD 57701  
P: 605.342.1111  
F: 605.342.1112  
www.stateline7.com

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PROJECT NUMBER  
09-017

DATE  
JANUARY 28, 2011

DRAWN BY  
EDWARD KLISTER

DISK ID.  
09-017\_3.50.dwg

SHEET TITLE  
ROOF  
DEMOLITION PLAN

SHEET NUMBER  
3.50

**ROOF DEMOLITION PLAN**

SCALE 1/4" = 1'-0"



IN PROCESS  
NOT FOR  
CONSTRUCTION

OLD DOWNTOWN ELKS REMODEL  
529 MAIN STREET  
RAPID CITY, SD 57701

Stateline No 7  
ARCHITECTS  
1000 14th Street, Suite 200  
Rapid City, SD 57701  
TEL: 605.343.1177  
FAX: 605.343.1178  
www.stateline7.com

PROJECT NUMBER  
09-017

DATE  
JANUARY 28, 2011

DRAWN BY  
EDWARD KLISTER

DISK ID.  
09-017\_3.51.dwg

SHEET TITLE  
ROOF PLAN

SHEET NUMBER  
3.51

**GENERAL NOTES:**

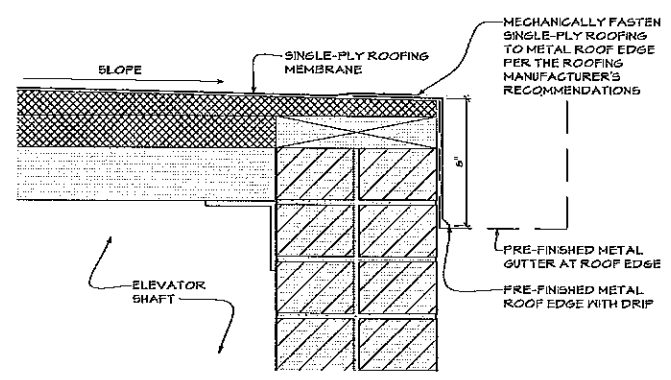
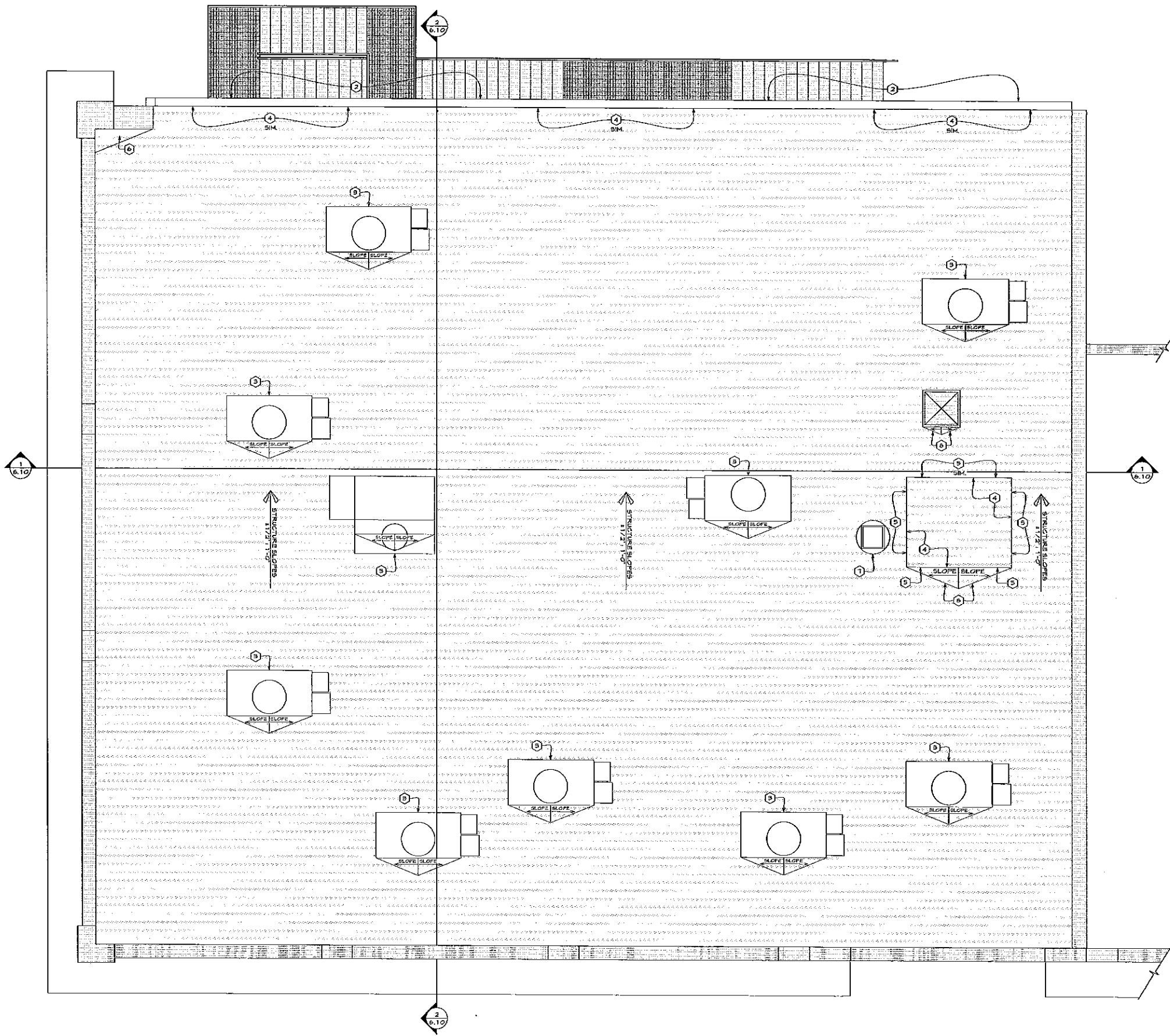
1. GENERAL NOTES, KEYNOTES, AND LEGEND ON THIS SHEET REFER TO THIS SHEET ONLY.
2. ANY CONGEALED ROOF USED FOR BLOCKING, BACKING, OR OTHERWISE MUST BE PRESSURE TREATED.
3. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION. SEAL ALL ROOF PENETRATIONS PER ROOFING MANUFACTURER'S RECOMMENDATIONS.
4. VERIFY CONDITION OF EXISTING ROOF INSULATION. REPLACE ANY NET OR DETERIORATED ROOF INSULATION - BASE REPLACEMENT BY SQUARE FOOT.
5. ROOFING CONTRACTOR TO VERIFY EXISTING ROOF CONDITIONS AND REPORT ANY DISCREPANCIES TO ARCHITECT PRIOR TO BID DATE.
6. REUSE ALL EXISTING FLASHINGS AS ALLOWABLE.

**LEGEND:**

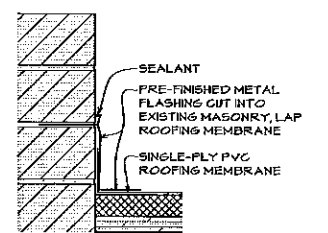
- 60 MIL SINGLE-PLY RE-REINFORCED PVC ROOFING MEMBRANE, MECHANICALLY FASTEN, COLOR: WHITE
- VTR VENT-THRU-ROOF, SEE THE MECHANICAL DRAWINGS. SEAL ALL ROOF PENETRATIONS PER ROOFING MANUFACTURER'S RECOMMENDATIONS, TYPICAL

**KEYNOTES:**

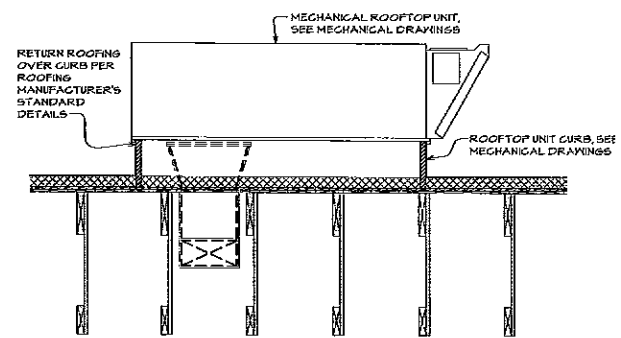
- 1 VENT-THRU-ROOF, SEE MECHANICAL DRAWINGS
- 2 PRE-FINISHED METAL GUTTER AND DOWNSPOUT, COLOR: TO BE SELECTED. SEE BUILDING ELEVATIONS FOR PLACEMENT OF DOWNSPOUT LOCATION
- 3 ROOFTOP UNIT, SEE S/3.21 AND MECHANICAL DRAWINGS
- 4 PRE-FINISHED METAL ROOF EDGE, SEE DETAIL 1/3.50
- 5 FLASHING DETAIL ROOF MEMBRANE AT ELEVATOR SHAFT CONNECTION. SEE DETAIL 2/3.50
- 6 EXISTING ROOF CRICKET
- 7 EXHAUST VENT
- 8 ROOF CRICKET TO DIVERT WATER FLOW AROUND ROOF PROJECTION. CONSTRUCT OF TAPERED RIGID INSULATION BENEATH ROOFING MEMBRANE. SLOPE 1/2" PER FOOT. FIELD VERIFY EXACT SIZE AND LOCATION



1 ROOF EDGE  
SCALE: 3" = 1'-0"

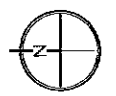


2 FLAT ROOF FLASHING  
SCALE: 3" = 1'-0"



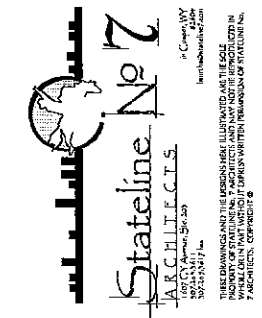
3 ROOFTOP UNIT CURB DETAIL  
SCALE: 1/2" = 1'-0"

ROOF DIMENSION AND REFERENCE PLAN  
SCALE 1/4" = 1'-0"



IN PROGRESS  
NOT FOR  
CONSTRUCTION

OLD DOWNTOWN ELKS REMODEL  
529 MAIN STREET  
RAPID CITY, SD 57701



PROJECT NUMBER  
09-017

DATE  
JANUARY 28, 2011

DRAWN BY  
EDWARD KLISTER

DISK ID.  
09-017\_9.10.dwg

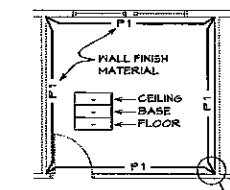
SHEET TITLE  
BASEMENT FINISH FLOOR PLAN

SHEET NUMBER  
9.10

**GENERAL NOTES:**

- MECHANICAL AND ELECTRICAL EQUIPMENT HAS NOT BEEN SHOWN ON THIS PLAN FOR CLARITY; SEE THE MECHANICAL AND ELECTRICAL DRAWINGS.
- SEE THE INTERIOR ELEVATIONS AND REFLECTED CEILING PLANS FOR ADDITIONAL FINISHES NOT SHOWN/INDICATED ON THIS PLAN.
- PROVIDE TRANSITION STRIPS AT ALL CHANGES IN FLOOR MATERIAL. TRANSITION STRIPS TO BE OF MATERIAL APPROPRIATE TO ADJOINING MATERIALS.
- PROVIDE MOISTURE-RESISTANT GYPSUM BOARD ON THE WALLS IN THE FOLLOWING LOCATIONS TO 6'-0" ABOVE FINISH FLOOR: RESTROOM #005.
- ALL GYPSUM BOARD CEILINGS/SOFFITS ARE TO BE PAINTED ONE SINGLE COLOR (P 1 PAINT COLOR) UNLESS NOTED OTHERWISE.
- ALL FINISHES EXTEND FROM THE FLOOR TO CEILING UNLESS NOTED OTHERWISE.
- ALL PAINTED GYPSUM BOARD WALLS TO RECEIVE A LIGHT ORANGE PEEL TEXTURE.
- LEGEND, GENERAL NOTES, AND KEYNOTES ON THIS SHEET REFER TO SHEETS 4.10-4.15 ONLY.
- ALL 90° OUTSIDE (VERTICAL AND HORIZONTAL) CORNERS TO BE SQUARE, TYPICAL.

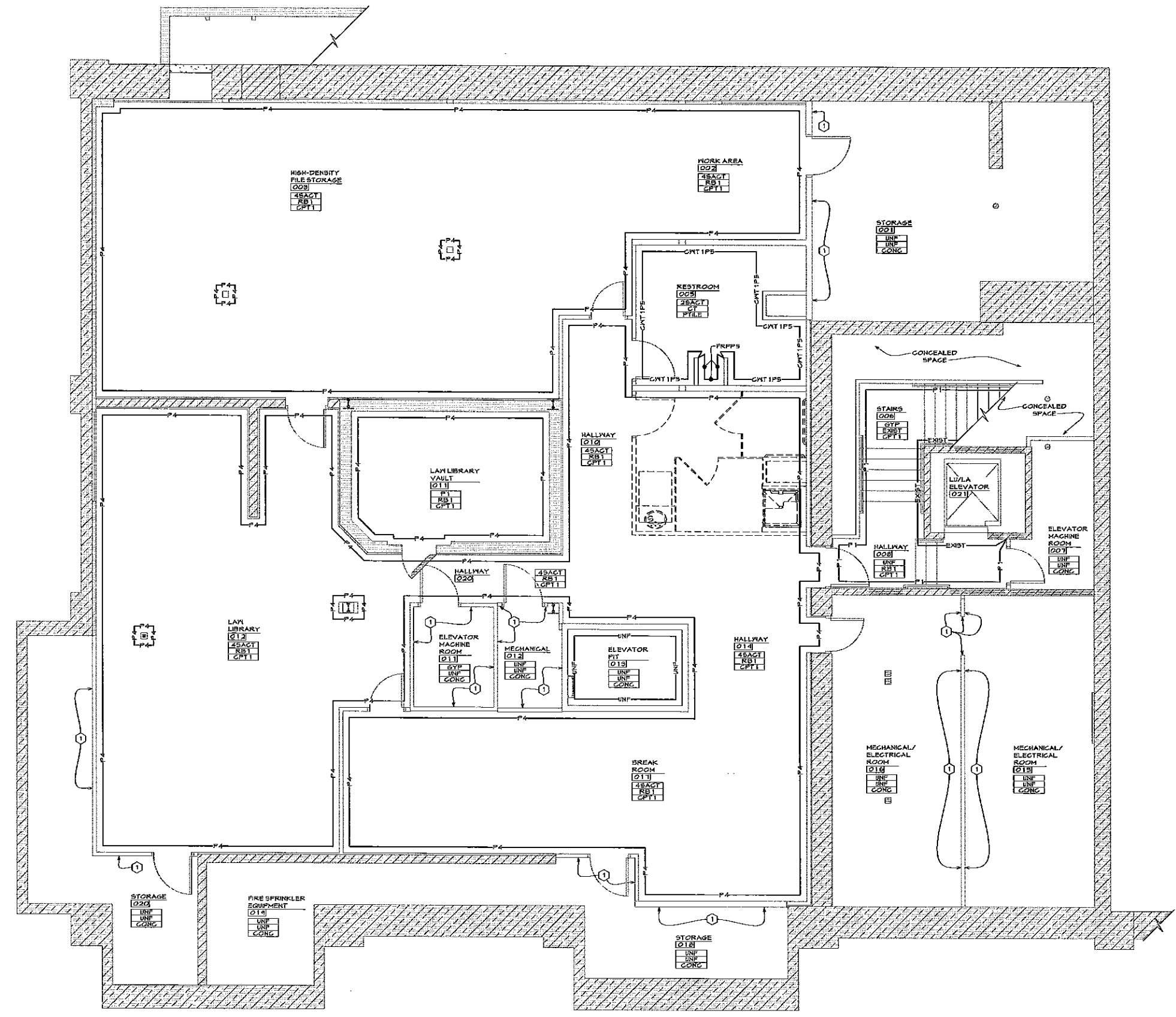
**LEGEND**



- 25ACT - 2x2 SUSPENDED ACOUSTICAL CEILING TILE, SEE THE REFLECTED CEILING PLAN  
 45ACT - 2x4 SUSPENDED ACOUSTICAL CEILING TILE, SEE THE REFLECTED CEILING PLAN  
 GPT1 - CARPET (ROLL) TO BE SELECTED  
 GONG - SEALED CONCRETE FLOOR  
 GPT1 - CARPET (ROLL) TO BE SELECTED  
 GNT1PX - 4x4 CERAMIC WALL TILE FROM FLOOR TO 4'-2" HEIGHT WITH 'X' INDICATING COLOR OF PAINT (P 1, P 2, P 3, ETC.) WALL ABOVE FROM 4'-2" HEIGHT TO CEILING. COVERED TILE BASE (SAME AS GT) AND BULLNOSED TOP AND EXPOSED SIDE EDGES: TO BE SELECTED. (ROUT) TO BE SELECTED  
 GT - 6" COVERED CERAMIC TILE BASE: TO BE SELECTED  
 GT2 - 6" CERAMIC TILE: TO BE SELECTED  
 DIF - DIFFUSED CEILING LIGHTING (ELEVATOR CAB ONLY): TO BE SELECTED  
 EXIST - EXISTING FINISH  
 FRFPX - FIBERGLASS REINFORCED PANEL, COLOR: TO BE SELECTED, FROM FLOOR TO 4'-0" HEIGHT WITH 'X' INDICATING COLOR OF PAINT (P 1, P 2, P 3, ETC.) WALL ABOVE FROM 4'-0" HEIGHT  
 GYP - GYPSUM BOARD CEILING, SEE REFLECTED CEILING PLAN, PAINT COLOR P 1  
 LR - LINOLEUM (ROLL): TO BE SELECTED  
 P1 - LATEX PAINT, PAINTED GYPSUM BOARD, ONE COAT OF LATEX PRIMER, TWO COATS OF LATEX ACRYLIC ENAMEL (SATIN), PRO-MAR 200 MANUFACTURED BY SHERWIN-WILLIAMS OR EQUAL, COLOR: TO BE SELECTED  
 P2 - LATEX PAINT, PAINTED GYPSUM BOARD, ONE COAT OF LATEX PRIMER, TWO COATS OF LATEX ACRYLIC ENAMEL (SATIN), PRO-MAR 200 MANUFACTURED BY SHERWIN-WILLIAMS OR EQUAL, COLOR: TO BE SELECTED  
 P3 - LATEX PAINT, PAINTED GYPSUM BOARD, ONE COAT OF LATEX PRIMER, TWO COATS OF LATEX ACRYLIC ENAMEL (SATIN), PRO-MAR 200 MANUFACTURED BY SHERWIN-WILLIAMS OR EQUAL, COLOR: TO BE SELECTED  
 P4 - LATEX PAINT, PAINTED GYPSUM BOARD, ONE COAT OF LATEX PRIMER, TWO COATS OF LATEX ACRYLIC ENAMEL (SATIN), PRO-MAR 200 MANUFACTURED BY SHERWIN-WILLIAMS OR EQUAL, COLOR: TO BE SELECTED  
 P5 - LATEX PAINT, PAINTED GYPSUM BOARD, ONE COAT OF LATEX PRIMER, TWO COATS OF LATEX ACRYLIC ENAMEL (SATIN), PRO-MAR 200 MANUFACTURED BY SHERWIN-WILLIAMS OR EQUAL, COLOR: TO BE SELECTED  
 P6 - LATEX PAINT, PAINTED GYPSUM BOARD, ONE COAT OF LATEX PRIMER, TWO COATS OF LATEX ACRYLIC ENAMEL (SATIN), PRO-MAR 200 MANUFACTURED BY SHERWIN-WILLIAMS OR EQUAL, COLOR: TO BE SELECTED  
 P7 - LATEX PAINT, PAINTED GYPSUM BOARD, ONE COAT OF LATEX PRIMER, TWO COATS OF LATEX ACRYLIC ENAMEL (SATIN), PRO-MAR 200 MANUFACTURED BY SHERWIN-WILLIAMS OR EQUAL, COLOR: TO BE SELECTED  
 P8 - LATEX PAINT, PAINTED GYPSUM BOARD, ONE COAT OF LATEX PRIMER, TWO COATS OF LATEX ACRYLIC ENAMEL (SATIN), PRO-MAR 200 MANUFACTURED BY SHERWIN-WILLIAMS OR EQUAL, COLOR: TO BE SELECTED  
 P9 - LATEX PAINT, PAINTED GYPSUM BOARD, ONE COAT OF LATEX PRIMER, TWO COATS OF LATEX ACRYLIC ENAMEL (SATIN), PRO-MAR 200 MANUFACTURED BY SHERWIN-WILLIAMS OR EQUAL, COLOR: TO BE SELECTED  
 PX - LATEX PAINT, PAINTED GYPSUM BOARD, ONE COAT OF LATEX PRIMER, TWO COATS OF LATEX ACRYLIC ENAMEL (SATIN), PRO-MAR 200 MANUFACTURED BY SHERWIN-WILLIAMS OR EQUAL, COLOR: TO MATCH EXISTING  
 PX2 - PAINT TWO COATS ABOVE EXISTING WAINSCOT, SAME COLOR AS PX  
 PTILE - 18x18 FIELD TILE IN BRICKWORK SQUARE PATTERN: TO BE SELECTED  
 PTXT - FINISH PROVIDED BY TENANT  
 P8RPF - PAINT P8 FROM FLOOR TO HEIGHT OF PICTURE RAIL, PAINT P9 FROM PICTURE RAIL HEIGHT TO CEILING; 1x4 MAPLE CHAIR RAIL, STAIN, TOP AT 2'-8" AND 1x4 MAPLE PICTURE RAIL, STAIN, BOTTOM AT 6'-8"  
 WGXPRPX - WALL COVERING FROM FLOOR TO PICTURE RAIL HEIGHT WITH 'X' INDICATING WALL COVERING TYPE (MG 1, MG 2, MG 3, ETC.) - PAINT WALL ABOVE PICTURE RAIL HEIGHT TO CEILING WITH 'X' INDICATING COLOR OF PAINT (P 1, P 2, P 3, ETC.) - 1x4 MAPLE PICTURE RAIL, TOP AT 10'-0", STAIN  
 RB1 - 4" RUBBER TIGHTLOCK WALLBASE, COLOR: TO BE SELECTED  
 STN - STONE VENEER, TO BE SELECTED  
 UNF - UNFINISHED/EXPOSED  
 MG1 - WALL COVERING: TO BE SELECTED  
 MG2 - WALL COVERING: TO BE SELECTED  
 MG3 - WALL COVERING: TO BE SELECTED  
 MG4 - WALL COVERING: TO BE SELECTED  
 MG5 - WALL COVERING: TO BE SELECTED  
 MG6 - WALL COVERING: TO BE SELECTED  
 WCPX - BEADBOARD WAINSCOT TO 4'-0" HEIGHT WITH 'X' INDICATING PAINT WALL ABOVE FROM 4'-0" HEIGHT TO CEILING, COLOR: TO MATCH EXISTING  
 WDB - 1x4 MOOD BASEBOARD - MAPLE, STAIN  
 WDP - 3/4" MAPLE WOOD PANEL, STAIN - SEE ALTERNATE #66 ON SHEET 4.10  
 WDV2 - WOOD VENEER: TO BE SELECTED

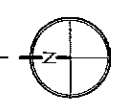
**KEYNOTES:**

- ① TAPED AND TEXTURED WALLS ONLY



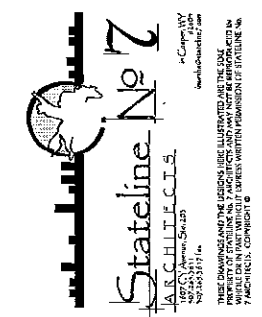
**BASEMENT FINISH FLOOR PLAN**

SCALE 1/4" = 1'-0"



IN PROGRESS  
NOT FOR  
CONSTRUCTION

OLD DOWNTOWN ELKS REMODEL  
529 MAIN STREET  
RAPID CITY, SD 57701



PROJECT NUMBER  
09-017

DATE  
JANUARY 28, 2011

DRAWN BY  
EDWARD KLISTER

DISK ID.  
09-017\_9.11.dwg

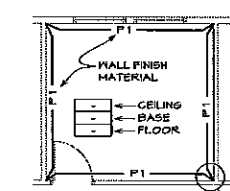
SHEET TITLE  
FIRST FLOOR FINISH FLOOR PLAN

SHEET NUMBER  
9.11

**GENERAL NOTES:**

- MECHANICAL AND ELECTRICAL EQUIPMENT HAS NOT BEEN SHOWN ON THIS PLAN FOR CLARITY; SEE THE MECHANICAL AND ELECTRICAL DRAWINGS.
- SEE THE INTERIOR ELEVATIONS AND REFLECTED CEILING PLANS FOR ADDITIONAL FINISHES NOT SHOWN/INDICATED ON THIS PLAN.
- PROVIDE TRANSITION STRIPS AT ALL CHANGES IN FLOOR MATERIAL. TRANSITION STRIPS TO BE OF MATERIAL APPROPRIATE TO ADJOINING MATERIALS.
- PROVIDE MOISTURE-RESISTANT GYPSUM BOARD ON THE WALLS IN THE FOLLOWING LOCATIONS TO 6'-0" ABOVE FINISH FLOOR: RESTROOM #110 AND #120.
- ALL GYPSUM BOARD CEILINGS/SOFFITS ARE TO BE PAINTED ONE SINGLE COLOR (P 1 PAINT COLOR) UNLESS NOTED OTHERWISE.
- ALL FINISHES EXTEND FROM THE FLOOR TO CEILING UNLESS NOTED OTHERWISE.
- ALL PAINTED GYPSUM BOARD WALLS TO RECEIVE A LIGHT ORANGE PEEL TEXTURE.
- LEGEND, GENERAL NOTES, AND KEYNOTES ON THIS SHEET REFER TO SHEETS 9.10-9.13 ONLY.
- ALL 1/2" OUTSIDE (VERTICAL AND HORIZONTAL) CORNERS TO BE SQUARE, TYPICAL.
- PAINT ALL EXTERIOR HOLLOW METAL DOORS AND FRAMES. USE TWO COATS OF LATEX ENAMEL (SATIN) PRO-MAR 200 MANUFACTURED BY SHERWIN-WILLIAMS OR EQUAL. COLOR: TO BE SELECTED.

**LEGEND**

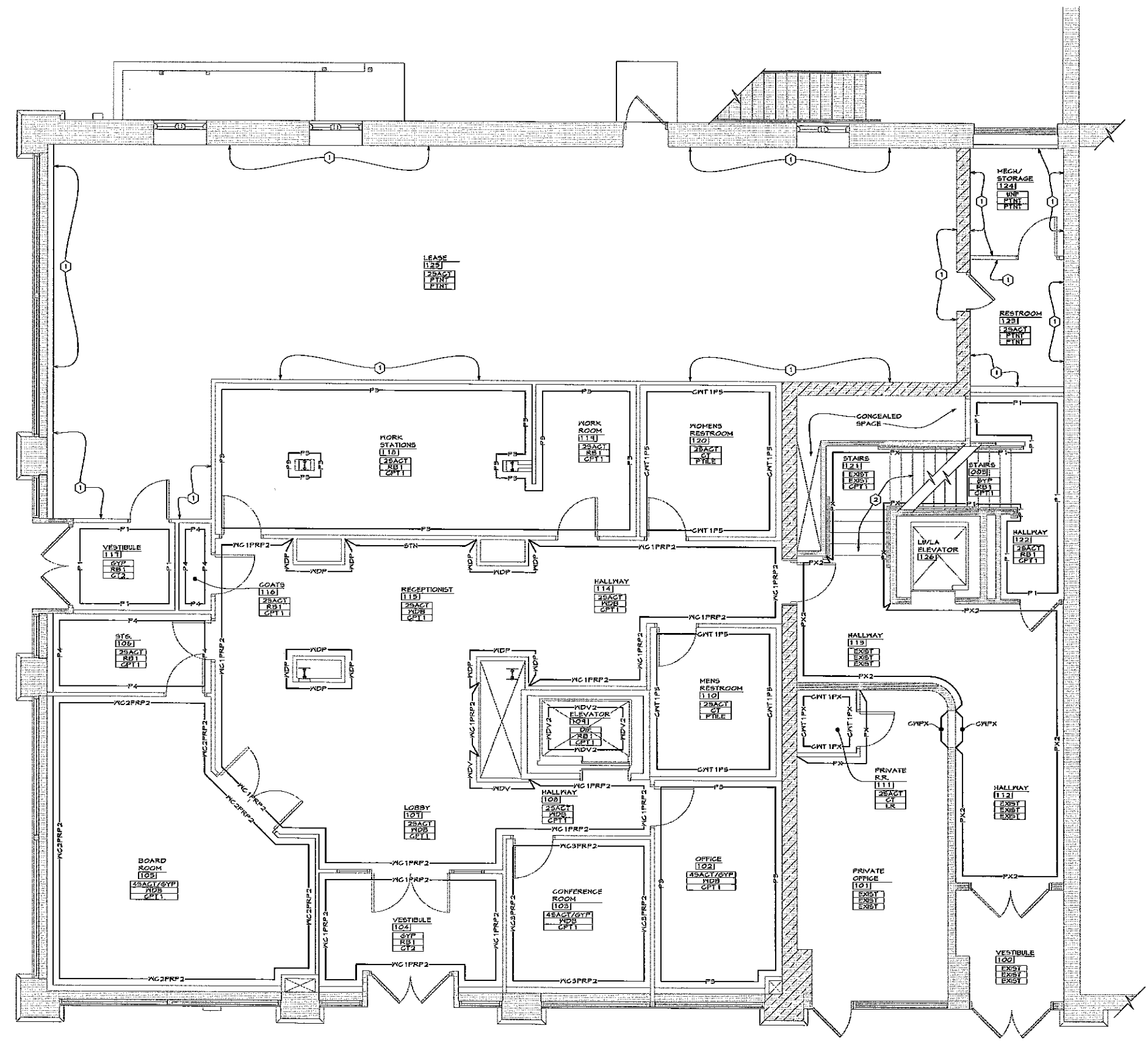


ⓧ DENOTES LOCATION OF CHANGE IN WALL FINISH

- 2SACT - 2x2 SUSPENDED ACOUSTICAL CEILING TILE, SEE THE REFLECTED CEILING PLAN
- 4SACT - 2x4 SUSPENDED ACOUSTICAL CEILING TILE, SEE THE REFLECTED CEILING PLAN
- CPT 1 - CARPET (ROLL); TO BE SELECTED
- GONG - SEALED CONCRETE FLOOR
- GPT 1 - CARPET (ROLL); TO BE SELECTED
- GNT 1PX - 4x4 CERAMIC WALL TILE FROM FLOOR TO 4'-2" HEIGHT WITH 'X' INDICATING COLOR OF PAINT (P 1, P 2, P 3, ETC.) WALL ABOVE FROM 4'-2" HEIGHT TO CEILING. COVED TILE BASE (SAME AS CT) AND BULLNOSED TOP AND EXPOSED SIDE EDGES; TO BE SELECTED. GROUT: TO BE SELECTED
- CT - 6" COVED CERAMIC TILE BASE; TO BE SELECTED
- CT2 - 6" CERAMIC TILE; TO BE SELECTED
- DF - DIFFUSED CEILING LIGHTING (ELEVATOR CAB ONLY); TO BE SELECTED
- EXIST - EXISTING FINISH
- FRFPX - FIBERGLASS REINFORCED PANEL, COLOR: TO BE SELECTED, FROM FLOOR TO 4'-0" HEIGHT WITH 'X' INDICATING COLOR OF PAINT (P 1, P 2, P 3, ETC.) WALL ABOVE 4'-0" HEIGHT
- GYP - GYPSUM BOARD CEILING, SEE REFLECTED CEILING PLAN, PAINT COLOR P 1
- LR - LINOLEUM (ROLL); TO BE SELECTED
- P 1 - LATEX PAINT, PAINTED GYPSUM BOARD, ONE COAT OF LATEX PRIMER, TWO COATS OF LATEX ACRYLIC ENAMEL (SATIN), PRO-MAR 200 MANUFACTURED BY SHERWIN-WILLIAMS OR EQUAL, COLOR: TO BE SELECTED
- P 2 - LATEX PAINT, PAINTED GYPSUM BOARD, ONE COAT OF LATEX PRIMER, TWO COATS OF LATEX ACRYLIC ENAMEL (SATIN), PRO-MAR 200 MANUFACTURED BY SHERWIN-WILLIAMS OR EQUAL, COLOR: TO BE SELECTED
- P 3 - LATEX PAINT, PAINTED GYPSUM BOARD, ONE COAT OF LATEX PRIMER, TWO COATS OF LATEX ACRYLIC ENAMEL (SATIN), PRO-MAR 200 MANUFACTURED BY SHERWIN-WILLIAMS OR EQUAL, COLOR: TO BE SELECTED
- P 4 - LATEX PAINT, PAINTED GYPSUM BOARD, ONE COAT OF LATEX PRIMER, TWO COATS OF LATEX ACRYLIC ENAMEL (SATIN), PRO-MAR 200 MANUFACTURED BY SHERWIN-WILLIAMS OR EQUAL, COLOR: TO BE SELECTED
- P 5 - LATEX PAINT, PAINTED GYPSUM BOARD, ONE COAT OF LATEX PRIMER, TWO COATS OF LATEX ACRYLIC ENAMEL (SATIN), PRO-MAR 200 MANUFACTURED BY SHERWIN-WILLIAMS OR EQUAL, COLOR: TO BE SELECTED
- P 6 - LATEX PAINT, PAINTED GYPSUM BOARD, ONE COAT OF LATEX PRIMER, TWO COATS OF LATEX ACRYLIC ENAMEL (SATIN), PRO-MAR 200 MANUFACTURED BY SHERWIN-WILLIAMS OR EQUAL, COLOR: TO BE SELECTED
- P 7 - LATEX PAINT, PAINTED GYPSUM BOARD, ONE COAT OF LATEX PRIMER, TWO COATS OF LATEX ACRYLIC ENAMEL (SATIN), PRO-MAR 200 MANUFACTURED BY SHERWIN-WILLIAMS OR EQUAL, COLOR: TO BE SELECTED
- P 8 - LATEX PAINT, PAINTED GYPSUM BOARD, ONE COAT OF LATEX PRIMER, TWO COATS OF LATEX ACRYLIC ENAMEL (SATIN), PRO-MAR 200 MANUFACTURED BY SHERWIN-WILLIAMS OR EQUAL, COLOR: TO BE SELECTED
- P 9 - LATEX PAINT, PAINTED GYPSUM BOARD, ONE COAT OF LATEX PRIMER, TWO COATS OF LATEX ACRYLIC ENAMEL (SATIN), PRO-MAR 200 MANUFACTURED BY SHERWIN-WILLIAMS OR EQUAL, COLOR: TO BE SELECTED
- PX - LATEX PAINT, PAINTED GYPSUM BOARD, ONE COAT OF LATEX PRIMER, TWO COATS OF LATEX ACRYLIC ENAMEL (SATIN), PRO-MAR 200 MANUFACTURED BY SHERWIN-WILLIAMS OR EQUAL, COLOR: TO BE SELECTED
- PX2 - PAINT TWO COATS ABOVE EXISTING MANSCOT, SAME COLOR AS PX
- PTILE - 18x18 FIELD TILE IN BRICKWORK SQUARE PATTERN; TO BE SELECTED
- PTNT - FINISH PROVIDED BY TENANT
- PBRP4 - PAINT P 8 FROM FLOOR TO HEIGHT OF PICTURE RAIL, PAINT P 9 FROM PICTURE RAIL HEIGHT TO CEILING; 1x4 MAPLE CHAIR RAIL, STAIN, TOP AT 2'-8" AND 1x4 MAPLE PICTURE RAIL, STAIN, BOTTOM AT 6'-0"
- WGXPX - WALL COVERING FROM FLOOR TO PICTURE RAIL HEIGHT WITH 'X' INDICATING WALL COVERING TYPE (MG 1, MG 2, MG 3, ETC.) - PAINT WALL ABOVE PICTURE RAIL HEIGHT TO CEILING WITH 'X' INDICATING COLOR OF PAINT (P 1, P 2, P 3, ETC.) - 1x4 MAPLE PICTURE RAIL, TOP AT 10'-0" STAIN
- RB 1 - 4" RUBBER TIGHTLOCK WALLBASE, COLOR: TO BE SELECTED
- STN - STONE VENEER; TO BE SELECTED
- UNF - UNFINISHED/EXPOSED
- YG 1 - WALL COVERING; TO BE SELECTED
- YG 2 - WALL COVERING; TO BE SELECTED
- YG 3 - WALL COVERING; TO BE SELECTED
- YG 4 - WALL COVERING; TO BE SELECTED
- YG 5 - WALL COVERING; TO BE SELECTED
- YG 6 - WALL COVERING; TO BE SELECTED
- YGPX - BEADBOARD MANSCOT TO 4'-0" HEIGHT WITH 'X' INDICATING PAINT WALL ABOVE FROM 4'-0" HEIGHT TO CEILING, COLOR: TO MATCH EXISTING
- MDB - 1x4 WOOD BASEBOARD - MAPLE, STAIN
- MDP - 3/4" MAPLE FLOOR PANEL, STAIN - SEE ALTERNATE #6E ON SHEET 4.10
- MV2 - WOOD VENEER; TO BE SELECTED

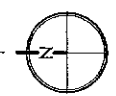
**KEYNOTES:**

- ALL WALLS TO BE TAPED AND TEXTURED ONLY, FINISH BY TENANT
- CONTRACTOR TO GROUT STAIRS LEVEL
- FINISHES INDICATED ARE FOR THE ELEVATOR CAB



**FIRST FLOOR FINISH FLOOR PLAN**

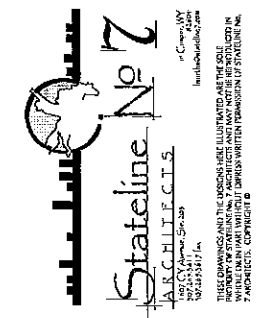
SCALE 1/4" = 1'-0"





IN PROGRESS  
NOT FOR  
CONSTRUCTION

OLD DOWNTOWN ELKS REMODEL  
529 MAIN STREET  
RAPID CITY, SD 57701



PROJECT NUMBER  
09-017

DATE  
JANUARY 28, 2011

DRAWN BY  
EDWARD KLISTER

DISK ID.  
09-017\_9.12.dwg

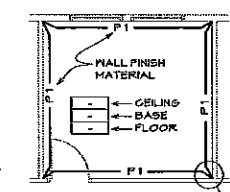
SHEET TITLE  
SECOND FLOOR  
FINISH FLOOR PLAN

SHEET NUMBER  
9.12

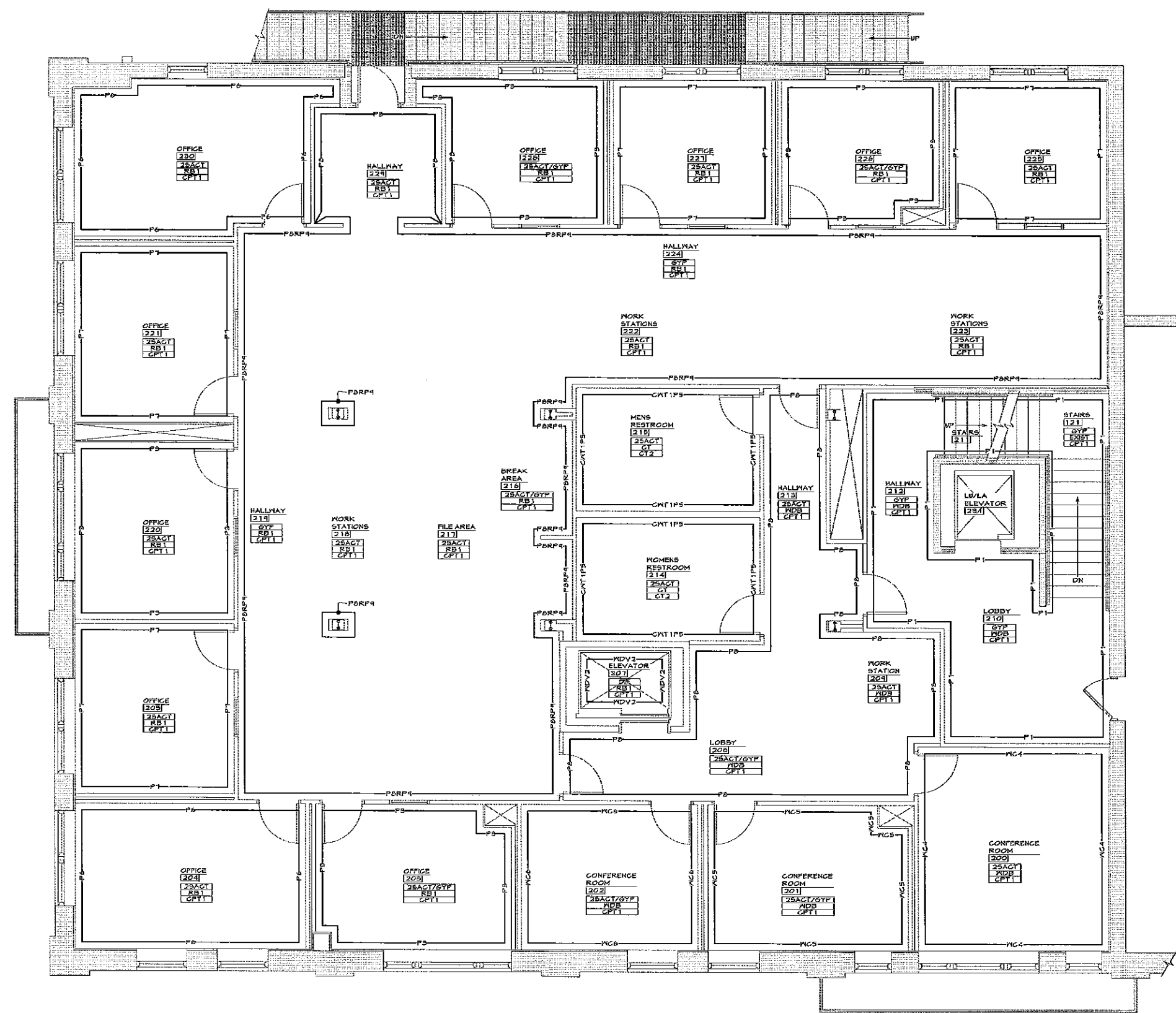
**GENERAL NOTES:**

- MECHANICAL AND ELECTRICAL EQUIPMENT HAS NOT BEEN SHOWN ON THIS PLAN FOR CLARITY; SEE THE MECHANICAL AND ELECTRICAL DRAWINGS.
- SEE THE INTERIOR ELEVATIONS AND REFLECTED CEILING PLANS FOR ADDITIONAL FINISHES NOT SHOWN/INDICATED ON THIS PLAN.
- PROVIDE TRANSITION STRIPS AT ALL CHANGES IN FLOOR MATERIAL. TRANSITION STRIPS TO BE OF MATERIAL APPROPRIATE TO ADJOINING MATERIALS.
- PROVIDE MOISTURE-RESISTANT GYPSUM BOARD ON THE WALLS IN THE FOLLOWING LOCATIONS TO 6'-0" ABOVE FINISH FLOOR: RESTROOM #214 AND #213.
- ALL GYPSUM BOARD CEILING/SOFFITS ARE TO BE PAINTED ONE SINGLE COLOR (P1 PAINT COLOR) UNLESS NOTED OTHERWISE.
- ALL FINISHES EXTEND FROM THE FLOOR TO CEILING UNLESS NOTED OTHERWISE.
- ALL PAINTED GYPSUM BOARD WALLS TO RECEIVE A LIGHT ORANGE PEEL TEXTURE.
- LEGEND, GENERAL NOTES, AND KEYNOTES ON THIS SHEET REFER TO SHEETS 4.10-4.13 ONLY.
- ALL 90° OUTSIDE (VERTICAL AND HORIZONTAL) CORNERS TO BE SQUARE, TYPICAL.
- PAINT ALL EXTERIOR HOLLOW METAL DOORS AND FRAMES. USE TWO COATS OF LATEX ENAMEL (SATIN) PRO-MAR 200 MANUFACTURED BY SHERWIN-WILLIAMS OR EQUAL. COLOR: TO BE SELECTED.

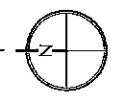
**LEGEND**



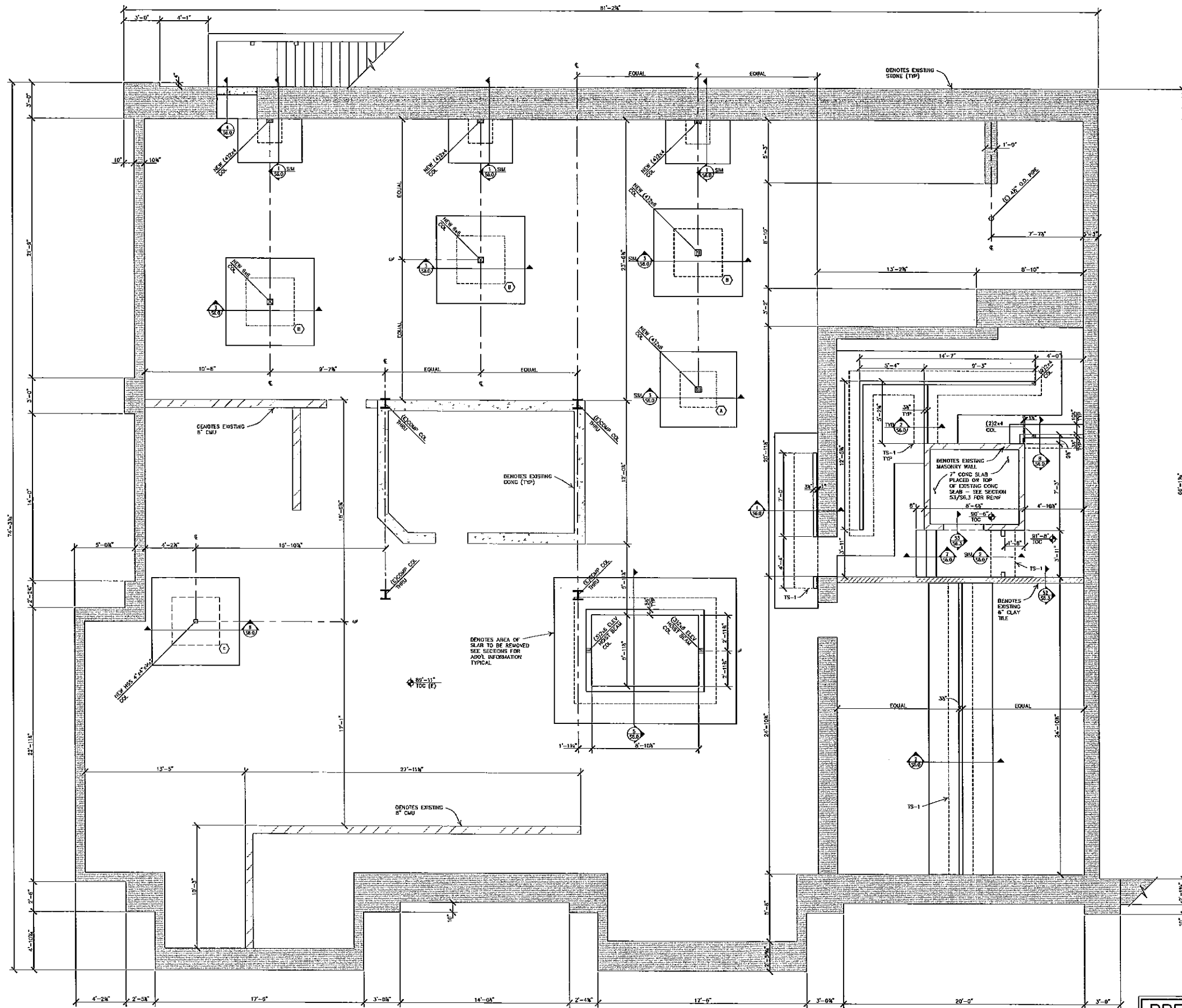
- 25AGT - 2x2 SUSPENDED ACOUSTICAL CEILING TILE. SEE THE REFLECTED CEILING PLAN  
 45AGT - 2x4 SUSPENDED ACOUSTICAL CEILING TILE. SEE THE REFLECTED CEILING PLAN  
 CPT1 - CARPET (ROLL). TO BE SELECTED  
 CONG - SEALED CONCRETE FLOOR  
 CPT1 - CARPET (ROLL). TO BE SELECTED  
 CNT1PX - 4x4 CERAMIC WALL TILE FROM FLOOR TO 4'-2" HEIGHT WITH 'X' INDICATING COLOR OF PAINT (P1, P2, P3, ETC.) WALL ABOVE FROM 4'-2" HEIGHT TO CEILING, COVED TILE BASE (SAME AS CT) AND BULLNOSED TOP AND EXPOSED SIDE EDGES; TO BE SELECTED. GROUT: TO BE SELECTED  
 CT - 6" COVED CERAMIC TILE BASE TO BE SELECTED  
 CT2 - 6" CERAMIC TILE TO BE SELECTED  
 DIF - DIFFUSED CEILING LIGHTING (ELEVATOR CAB ONLY); TO BE SELECTED  
 EXIST - EXISTING FINISH  
 FRFPX - FIBERGLASS REINFORCED PANEL, COLOR: TO BE SELECTED, FROM FLOOR TO 4'-0" HEIGHT WITH 'X' INDICATING COLOR OF PAINT (P1, P2, P3, ETC.) WALL ABOVE 4'-0" HEIGHT  
 GYP - GYPSUM BOARD CEILING, SEE REFLECTED CEILING PLAN PAINT COLOR P1  
 LR - LINOLEUM (ROLL); TO BE SELECTED  
 P1 - LATEX PAINT, PAINTED GYPSUM BOARD, ONE COAT OF LATEX PRIMER, TWO COATS OF LATEX ACRYLIC ENAMEL (SATIN), PRO-MAR 200 MANUFACTURED BY SHERWIN-WILLIAMS OR EQUAL, COLOR: TO BE SELECTED  
 P2 - LATEX PAINT, PAINTED GYPSUM BOARD, ONE COAT OF LATEX PRIMER, TWO COATS OF LATEX ACRYLIC ENAMEL (SATIN), PRO-MAR 200 MANUFACTURED BY SHERWIN-WILLIAMS OR EQUAL, COLOR: TO BE SELECTED  
 P3 - LATEX PAINT, PAINTED GYPSUM BOARD, ONE COAT OF LATEX PRIMER, TWO COATS OF LATEX ACRYLIC ENAMEL (SATIN), PRO-MAR 200 MANUFACTURED BY SHERWIN-WILLIAMS OR EQUAL, COLOR: TO BE SELECTED  
 P4 - LATEX PAINT, PAINTED GYPSUM BOARD, ONE COAT OF LATEX PRIMER, TWO COATS OF LATEX ACRYLIC ENAMEL (SATIN), PRO-MAR 200 MANUFACTURED BY SHERWIN-WILLIAMS OR EQUAL, COLOR: TO BE SELECTED  
 P5 - LATEX PAINT, PAINTED GYPSUM BOARD, ONE COAT OF LATEX PRIMER, TWO COATS OF LATEX ACRYLIC ENAMEL (SATIN), PRO-MAR 200 MANUFACTURED BY SHERWIN-WILLIAMS OR EQUAL, COLOR: TO BE SELECTED  
 P6 - LATEX PAINT, PAINTED GYPSUM BOARD, ONE COAT OF LATEX PRIMER, TWO COATS OF LATEX ACRYLIC ENAMEL (SATIN), PRO-MAR 200 MANUFACTURED BY SHERWIN-WILLIAMS OR EQUAL, COLOR: TO BE SELECTED  
 P7 - LATEX PAINT, PAINTED GYPSUM BOARD, ONE COAT OF LATEX PRIMER, TWO COATS OF LATEX ACRYLIC ENAMEL (SATIN), PRO-MAR 200 MANUFACTURED BY SHERWIN-WILLIAMS OR EQUAL, COLOR: TO BE SELECTED  
 P8 - LATEX PAINT, PAINTED GYPSUM BOARD, ONE COAT OF LATEX PRIMER, TWO COATS OF LATEX ACRYLIC ENAMEL (SATIN), PRO-MAR 200 MANUFACTURED BY SHERWIN-WILLIAMS OR EQUAL, COLOR: TO BE SELECTED  
 P4 - LATEX PAINT, PAINTED GYPSUM BOARD, ONE COAT OF LATEX PRIMER, TWO COATS OF LATEX ACRYLIC ENAMEL (SATIN), PRO-MAR 200 MANUFACTURED BY SHERWIN-WILLIAMS OR EQUAL, COLOR: TO BE SELECTED  
 PX - LATEX PAINT, PAINTED GYPSUM BOARD, ONE COAT OF LATEX PRIMER, TWO COATS OF LATEX ACRYLIC ENAMEL (SATIN), PRO-MAR 200 MANUFACTURED BY SHERWIN-WILLIAMS OR EQUAL, COLOR: TO MATCH EXISTING  
 PX2 - PAINT TWO COATS ABOVE EXISTING MAINSCOT, SAME COLOR AS PX  
 PTLT - 18x18 FIELD TILE IN BRICKWORK SQUARE PATTERN; TO BE SELECTED  
 PTNT - FINISH PROVIDED BY TENANT  
 PDRP4 - PAINT P8 FROM FLOOR TO HEIGHT OF PICTURE RAIL, PAINT P4 FROM PICTURE RAIL HEIGHT TO CEILING, 1x4 MAPLE CHAIR RAIL, STAIN, TOP AT 2'-8" AND 1x4 MAPLE PICTURE RAIL, STAIN, BOTTOM AT 6'-8"  
 NCGXPRX - WALL COVERING FROM FLOOR TO PICTURE RAIL HEIGHT WITH 'X' INDICATING WALL COVERING TYPE (NC1, NC2, NCG, ETC.) - PAINT WALL ABOVE PICTURE RAIL HEIGHT TO CEILING WITH 'X' INDICATING COLOR OF PAINT (P1, P2, P3, ETC.) - 1x4 MAPLE PICTURE RAIL, TOP AT 10'-0", STAIN  
 RB1 - 4" RUBBER TIGHTLOCK WALLBASE, COLOR: TO BE SELECTED  
 STN - STONE VENEER; TO BE SELECTED  
 UNF - UNFINISHED/EXPOSED  
 NCG1 - WALL COVERING; TO BE SELECTED  
 NCG2 - WALL COVERING; TO BE SELECTED  
 NCG3 - WALL COVERING; TO BE SELECTED  
 NCG4 - WALL COVERING; TO BE SELECTED  
 NCG5 - WALL COVERING; TO BE SELECTED  
 NCG6 - WALL COVERING; TO BE SELECTED  
 NCGPX - BEADBOARD MAINSCOT TO 4'-0" HEIGHT WITH 'X' INDICATING PAINT WALL ABOVE FROM 4'-0" HEIGHT TO CEILING, COLOR: TO MATCH EXISTING  
 NDB - 1x4 MOOD BASEBOARD - MAPLE, STAIN  
 NDP - 3/4" MAPLE MOOD PANEL, STAIN - SEE ALTERNATE #6E ON SHEET 4.10  
 NDV2 - WOOD VENEER; TO BE SELECTED



**SECOND FLOOR FINISH FLOOR PLAN**  
SCALE 1/4" = 1'-0"



ALTERNATE #6 SHOWN



FOOTING SCHEDULE			
MARK	SIZE W x L x D	REINFORCING	REMARKS
A	3'-0" x 3'-0" x 1'-0" THICKENED SLAB	(4)#5 EACH WAY	BOTTOM
B	4'-0" x 4'-0" x 1'-0" THICKENED SLAB	(5)#5 EACH WAY	BOTTOM
TS-1	2'-0" x CONTINUOUS x 1'-0" THICKENED SLAB	(3)#5 CONTINUOUS	BOTTOM
C	4'-0" x 4'-0" x 1'-0"	(5)#5 EACH WAY	BOTTOM

**FOUNDATION PLAN NOTES**

- SEE SHEET 50.0 AND 50.1 FOR GENERAL STRUCTURAL NOTES.
- VERIFY ALL DIMENSIONS & ELEVATIONS WITH ARCHITECTURAL DRAWINGS BEFORE CONSTRUCTION COMMENCES.
- ELEVATIONS OF STRUCTURAL DRAWINGS REFER TO REFERENCE ELEVATION 100'-0" SET AT FIRST FLOOR TOP OF CONCRETE ELEVATION.
- PROVIDE #4x24" DOWELS AT 24" ON CENTER ALONG ALL SLAB CONSTRUCTION JOINTS.
- FOR SIZE AND LOCATION OF OPENINGS SEE MECHANICAL AND ARCHITECTURAL DRAWINGS.
- CLUE AND NAIL ALL BUILT UP COLUMNS TOGETHER WITH (2)10# NAILS @ 9" C.C.
- SEE ARCHITECTURAL DRAWINGS FOR STAIR FRAMING INFORMATION.
- CENTERLINE OF FOOTING SHALL COINCIDE WITH THE BEARING WALL AND COLUMN CENTERLINE UNLESS SHOWN OTHERWISE.
- FLOOR SLAB ON GRADE SHALL BE A 4" CONCRETE SLAB WITH #4 REBAR @ 24" C.C. EACH WAY, CENTERED IN THE SLAB. PLUS 1 1/2 LBS. PER CUBIC YARD OF MD FIBERMESH REINFORCEMENT.
- CONTRACTOR SHALL VERIFY EXISTING CONDITIONS IN FIELD. SHOULD THE EXISTING CONDITIONS BE FOUND TO DEVIATE FROM THE DRAWINGS, ALBERTSON ENGINEERING SHALL BE NOTIFIED IMMEDIATELY.

ELK'S LODGE REMODEL  
529 MAIN STREET  
RAPID CITY, SD 57701

**Staline No. 7**  
ARCHITECTS, P.C.  
3202 West Main Street  
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605.343.9606

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PROJECT NUMBER  
2010-164

DATE  
01-28-11

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2010-164.DWG

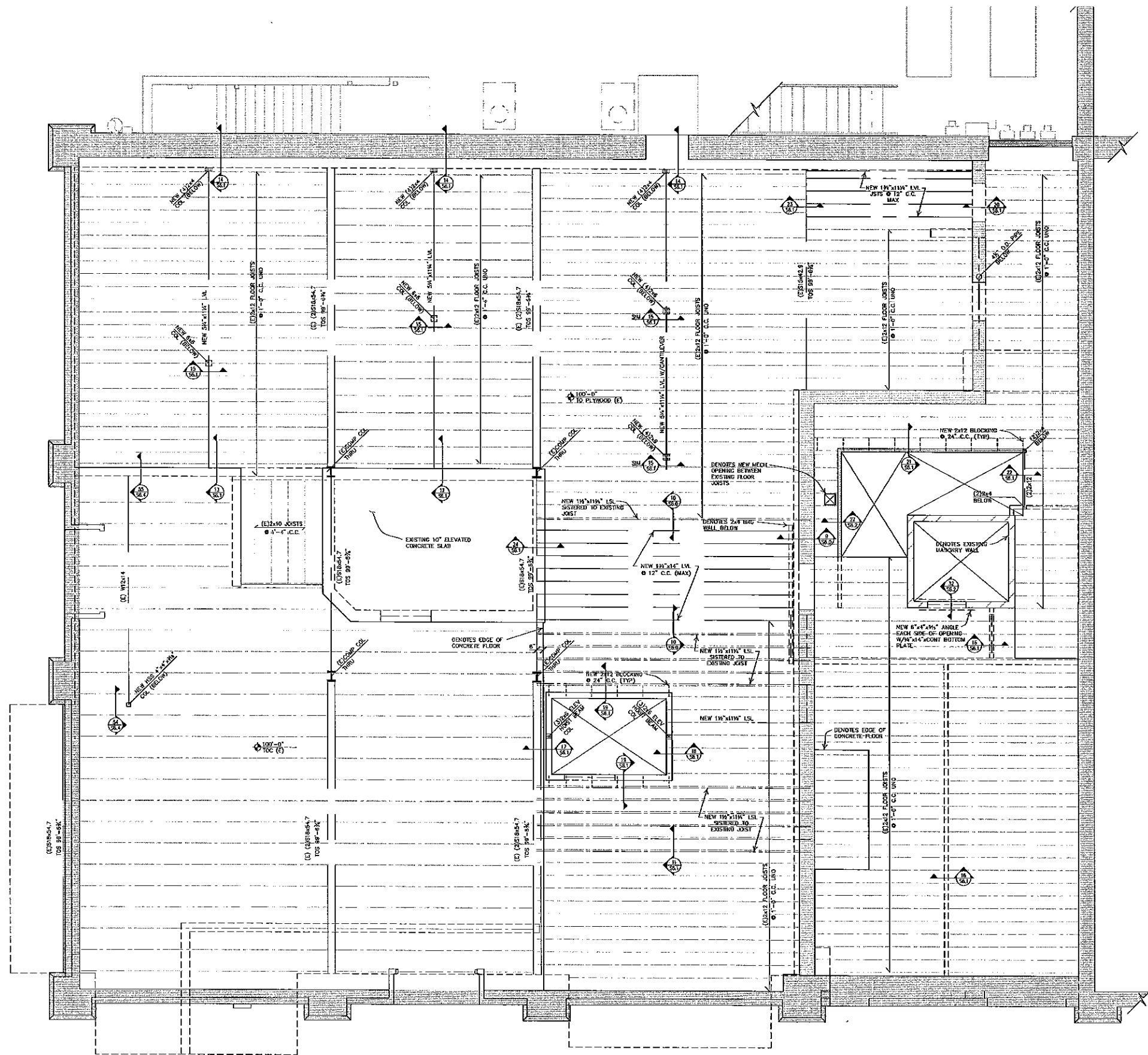
SHEET TITLE  
BASEMENT FND & FLOOR SLAB PLAN

SHEET NUMBER  
S1.0

**BASEMENT FOUNDATION & FLOOR SLAB PLAN**  
SCALE: 1/4" = 1'-0"

**PRELIMINARY**  
NOT FOR CONSTRUCTION  
01-28-11

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Albertson Engineering Inc.



**FIRST FLOOR FRAMING PLAN**  
SCALE: 1/4" = 1'-0"

**FLOOR FRAMING PLAN NOTES**

- SEE SHEET S0.0 AND S0.1 FOR GENERAL STRUCTURAL NOTES.
- VERIFY ALL DIMENSIONS & ELEVATIONS WITH ARCHITECTURAL DRAWINGS BEFORE CONSTRUCTION COMMENCES.
- ELEVATIONS OF STRUCTURAL DRAWINGS REFER TO REFERENCE ELEVATION 100'-0" SET AT FIRST FLOOR TOP OF CONCRETE ELEVATION.
- FOR SIZE AND LOCATION OF OPENINGS SEE MECHANICAL AND ARCHITECTURAL DRAWINGS
- GLUE AND NAIL ALL BUILT UP COLUMNS TOGETHER WITH (2)10# NAILS @ 9" C.C.
- SEE ARCHITECTURAL DRAWINGS FOR STAIR FRAMING INFORMATION.
- NEW FLOOR SHEATHING SHALL BE APA 24 o.c. SPAN RATED TONGUE & GROOVE PLYWOOD 3/8" THICK (3/4" NOMINAL) GLUE AND NAIL.
- WHERE (2) OR MORE EXISTING JOISTS ARE SUPPORTED BY A HEADER - PROVIDE SIMPSON LUS210-2 FACE MOUNT HANGER AT THE CONNECTION OF THE HEADER TO THE SUPPORTING BEAM. SUPPORTING BEAM SHALL BE A MINIMUM OF (2)2x12.
- ALL UNTELS IN 2x4 BEARING WALLS SHALL BE (2)2x12 WITH FULL WIDTH BLOCKING UNLESS NOTED OTHERWISE. PROVIDE (2)3/8" STUDS & (1) FULL HEIGHT STUD AT EACH SIDE OF OPENING.
- ALL UNTELS IN 2x6 BEARING WALLS SHALL BE (3)2x6 WITH FULL WIDTH BLOCKING UNLESS NOTED OTHERWISE. PROVIDE (1) CRIPPLE STUDS & (1) FULL HEIGHT STUD AT EACH SIDE OF OPENING.
- DAMAGED JOISTS SHALL BE REPLACED OR STRENGTHENED BY SISTERING A NEW 1 1/2"x11 1/4" LSL JOIST TO THE DAMAGED JOIST IF:
  - 1) THE DEPTH OF NOTCHES IN THE OUTER THIRDS OF THE SPAN EXCEEDS 1/6 THE DEPTH OF THE MEMBER.
  - 2) THE LENGTH OF NOTCHES IN THE OUTER THIRDS OF THE SPAN EXCEED 1/3 THE DEPTH OF THE MEMBER.
  - 3) ANY NOTCHES ARE LOCATED IN THE MIDDLE THIRD OF THE MEMBER SPAN.
  - 4) ANY HOLES ARE GREATER THAN 1/3 THE DEPTH OF THE MEMBER IN DIAMETER.
  - 5) ANY HOLES ARE LOCATED CLOSER THAN 2" FROM THE TOP AND BOTTOM OF THE MEMBER.
- CONTRACTOR SHALL VERIFY EXISTING CONDITIONS IN FIELD. SHOULD THE EXISTING CONDITIONS BE FOUND TO DEVIATE FROM THE DRAWINGS, ALBERTSON ENGINEERING SHALL BE NOTIFIED IMMEDIATELY.
- WHERE THE EXISTING BRIDGING BETWEEN JOISTS IS REQUIRED TO BE REMOVED TO INSTALL NEW JOISTS, PROVIDE SOLID 2x12 BLOCKING IN THE SAME LINES AS THE EXISTING BRIDGING.
- IF REQUIRED TO CUT EXISTING JOISTS FOR MECHANICAL OPENINGS NOT SHOWN ON THIS DRAWING, SISTER NEW 1 1/2"x11 1/4" LSL JOIST TO ADJACENT JOISTS ON EACH SIDE OF OPENING. PROVIDE (2)2x12 HEADER AT ENDS OF EXISTING CUT JOISTS. PROVIDE SIMPSON LUS210 FACE MOUNT HANGER AT CONNECTION OF EXISTING JOIST TO NEW (2)2x12 HEADER. ALSO PROVIDE SIMPSON LUS210-2 FACE MOUNT HANGER FOR ATTACHMENT OF (2)2x12 HEADER TO BUILT UP JOISTS.
- EXISTING WALL TIE TYPE AND NUMBER SHALL BE VERIFIED BY THE CONTRACTOR.

**PRELIMINARY**  
NOT FOR CONSTRUCTION  
01-28-11

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ELK'S LODGE REMODEL  
529 MAIN STREET  
RAPID CITY, SD 57701



PROJECT NUMBER

2010-164

DATE

01-28-11

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KCK

DISK ID.

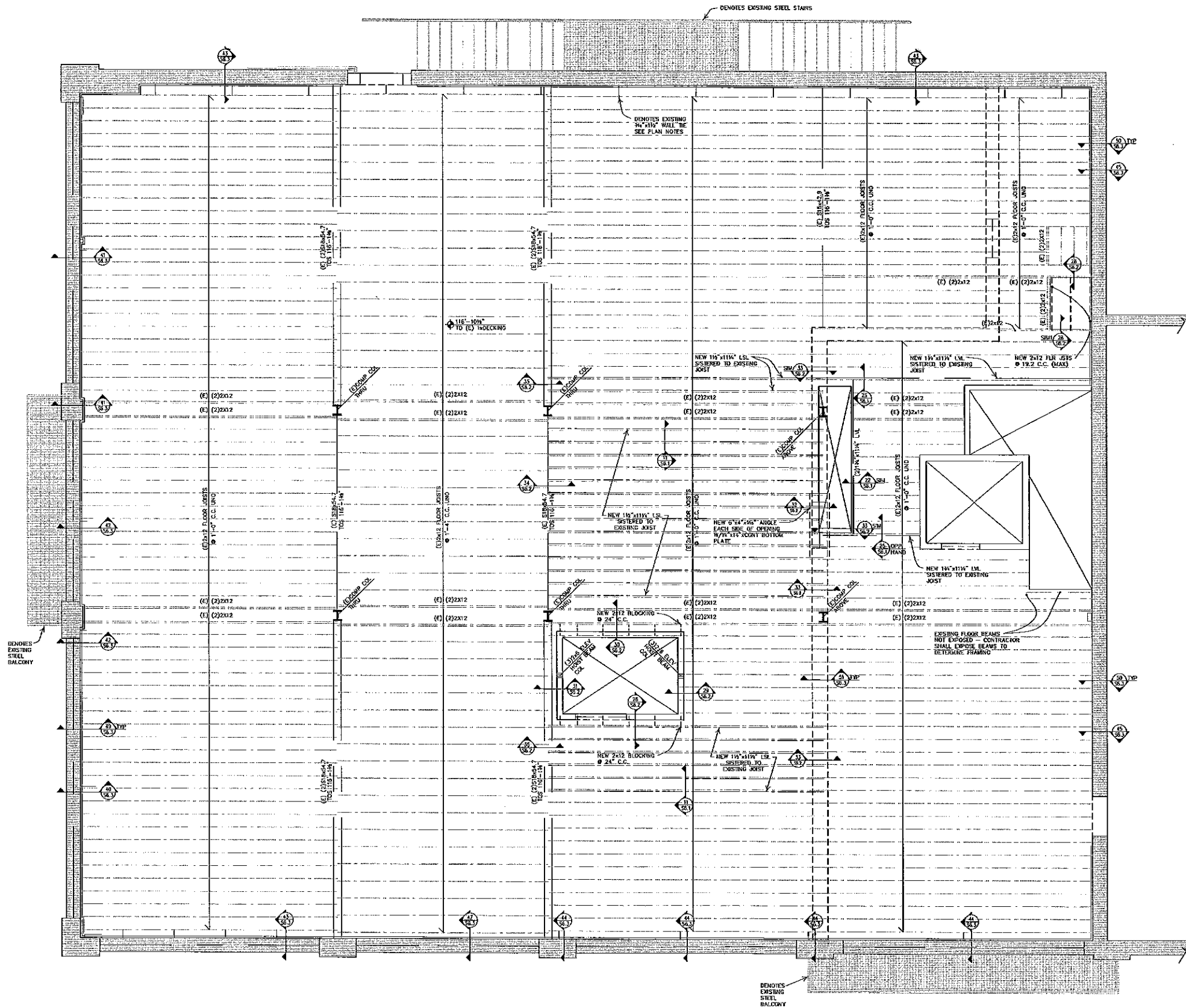
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SHEET TITLE

FIRST FLOOR  
FRAMING PLAN

SHEET NUMBER

**S2.0**



**FLOOR FRAMING PLAN NOTES**

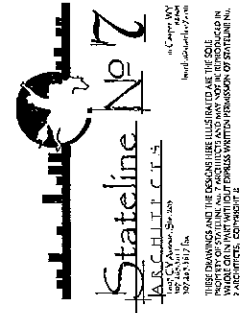
- SEE SHEET SD.0 AND SD.1 FOR GENERAL STRUCTURAL NOTES.
- VERIFY ALL DIMENSIONS & ELEVATIONS WITH ARCHITECTURAL DRAWINGS BEFORE CONSTRUCTION COMMENCES.
- ELEVATIONS OF STRUCTURAL DRAWINGS REFER TO REFERENCE ELEVATION 100'-0" SET AT FIRST FLOOR TOP OF CONCRETE ELEVATION.
- FOR SIZE AND LOCATION OF OPENINGS SEE MECHANICAL AND ARCHITECTURAL DRAWINGS
- GLUE AND NAIL ALL BUILT UP COLUMNS TOGETHER WITH (2)10# NAILS @ 9" C.C.
- SEE ARCHITECTURAL DRAWINGS FOR STAIR FRAMING INFORMATION.
- NEW FLOOR SHEATHING SHALL BE APA 24 o.e. SPAN RATED TONGUE & GROOVE PLYWOOD 3/4" THICK (1/4" NOMINAL) GLUE AND NAIL.
- WHERE (2) OR MORE EXISTING JOISTS ARE SUPPORTED BY A HEADER - PROVIDE SIMPSON LUS210-2 FACE MOUNT HANGER AT THE CONNECTION OF THE HEADER TO THE SUPPORTING BEAM. SUPPORTING BEAM SHALL BE A MINIMUM OF (2)2x12.
- ALL LINTELS IN 2x4 BEARING WALLS SHALL BE (2)2x12 WITH FULL WIDTH BLOCKING UNLESS NOTED OTHERWISE. PROVIDE (2)CRIPPLE STUDS & (1)FULL HEIGHT STUD AT EACH SIDE OF OPENING.
- ALL LINTELS IN 2x6 BEARING WALLS SHALL BE (3)2x6 WITH FULL WIDTH BLOCKING UNLESS NOTED OTHERWISE. PROVIDE (2)CRIPPLE STUDS & (1)FULL HEIGHT STUD AT EACH SIDE OF OPENING.
- DAMAGED JOISTS SHALL BE REPLACED OR STRENGTHENED BY SISTERING A NEW 11/2"x11/4" LSL JOIST TO THE DAMAGED JOIST IF:
  - 1) THE DEPTH OF NOTCHES IN THE OUTER THIRDS OF THE SPAN EXCEEDS 1/6 THE DEPTH OF THE MEMBER.
  - 2) THE LENGTH OF NOTCHES IN THE OUTER THIRDS OF THE SPAN EXCEED 1/3 THE DEPTH OF THE MEMBER.
  - 3) ANY NOTCHES ARE LOCATED IN THE MIDDLE THIRD OF THE MEMBER SPAN.
  - 4) ANY HOLES ARE GREATER THAN 1/3 THE DEPTH OF THE MEMBER IN DIAMETER.
  - 5) ANY HOLES ARE LOCATED CLOSER THAN 2" FROM THE TOP AND BOTTOM OF THE MEMBER.
- CONTRACTOR SHALL VERIFY EXISTING CONDITIONS IN FIELD. SHOULD THE EXISTING CONDITIONS BE FOUND TO DEVIATE FROM THE DRAWINGS, ALBERTSON ENGINEERING SHALL BE NOTICED IMMEDIATELY.
- EXISTING STEEL BALCONIES DO NOT HAVE ADEQUATE CAPACITY TO BE OCCUPIED.
- WHERE THE EXISTING BRIDGING BETWEEN JOISTS IS REQUIRED TO BE REMOVED TO INSTALL NEW JOISTS, PROVIDE SOLID 2x12 BLOCKING IN THE SAME LINES AS THE EXISTING BRIDGING.
- IF REQUIRED TO CUT EXISTING JOISTS FOR MECHANICAL OPENINGS NOT SHOWN ON THIS DRAWING, SISTER NEW 11/2"x11/4" LSL JOIST TO ADJACENT JOISTS ON EACH SIDE OF OPENING. PROVIDE (2)2x12 HEADER AT ENDS OF EXISTING CUT JOISTS. PROVIDE SIMPSON LUS210-2 FACE MOUNT HANGER AT CONNECTION OF EXISTING JOIST TO NEW (2)2x12 HEADER. ALSO PROVIDE SIMPSON LUS210-2 FACE MOUNT HANGER FOR ATTACHMENT OF (2)2x12 HEADER TO BUILT UP JOISTS.
- EXISTING WALL TIE TYPE AND NUMBER SHALL BE VERIFIED BY THE CONTRACTOR.

**SECOND FLOOR FRAMING PLAN**  
SCALE: 1/4"=1'-0"

**PRELIMINARY**  
NOT FOR CONSTRUCTION  
01-28-11

3202 West Main Street  
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605.343.9605  
Albertson Engineering Inc.

ELK'S LODGE REMODEL  
529 MAIN STREET  
RAPID CITY, SD 57701



PROJECT NUMBER  
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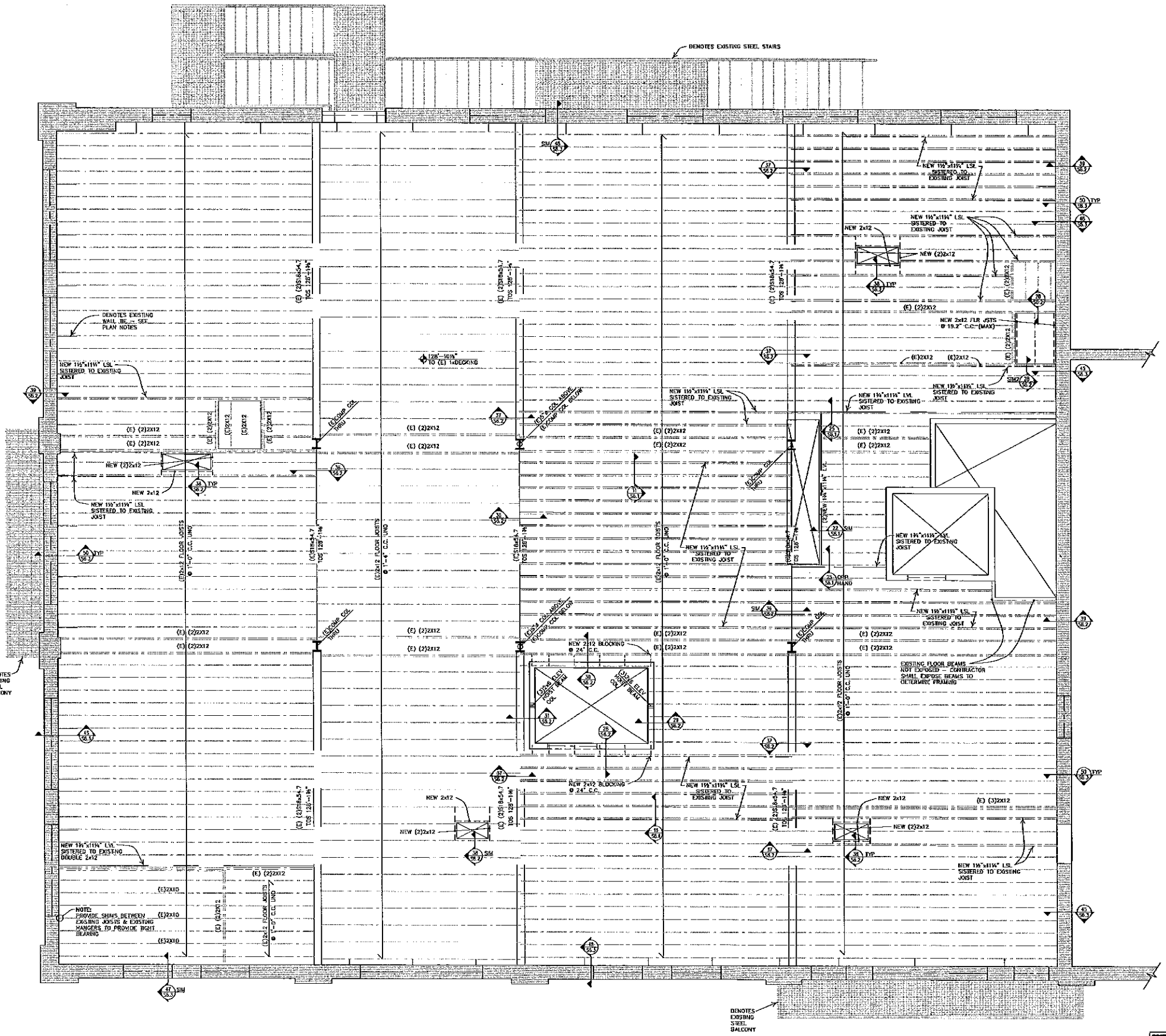
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DISK ID.  
2010-164.DWG

SHEET TITLE  
SECOND FLOOR  
FRAMING PLAN

SHEET NUMBER  
S3.0



**FLOOR FRAMING PLAN NOTES**

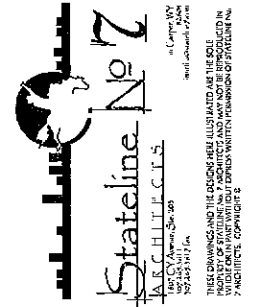
- SEE SHEET 50.0 AND 50.1 FOR GENERAL STRUCTURAL NOTES.
- VERIFY ALL DIMENSIONS & ELEVATIONS WITH ARCHITECTURAL DRAWINGS BEFORE CONSTRUCTION COMMENCES.
- ELEVATIONS OF STRUCTURAL DRAWINGS REFER TO REFERENCE ELEVATION 100'-0" SET AT FIRST FLOOR TOP OF CONCRETE ELEVATION.
- FOR SIZE AND LOCATION OF OPENINGS SEE MECHANICAL AND ARCHITECTURAL DRAWINGS
- GLUE AND NAIL ALL BUILT UP COLUMNS TOGETHER WITH (2)10# NAILS @ 9" C.C.
- SEE ARCHITECTURAL DRAWINGS FOR STAIR FRAMING INFORMATION.
- NEW FLOOR SHEATHING SHALL BE APA 24 O.G. SPAN RATED TONGUE & GROOVE PLYWOOD 3/4" THICK (3/4" NOMINAL) GLUE AND NAIL.
- WHERE (2) OR MORE EXISTING JOISTS ARE SUPPORTED BY A HEADER - PROVIDE SIMPSON LUS210-2 FACE MOUNT HANGER AT THE CONNECTION OF THE HEADER TO THE SUPPORTING BEAM. SUPPORTING BEAM SHALL BE A MINIMUM OF (2)2x12.
- ALL LINTELS IN 2x4 BEARING WALLS SHALL BE (2)2x12 WITH FULL WIDTH BLOCKING UNLESS NOTED OTHERWISE. PROVIDE (1)CRIPPLE STUDS & (1)FULL HEIGHT STUD AT EACH SIDE OF OPENING.
- ALL LINTELS IN 2x6 BEARING WALLS SHALL BE (3)2x6 WITH FULL WIDTH BLOCKING UNLESS NOTED OTHERWISE. PROVIDE (1)CRIPPLE STUDS & (1)FULL HEIGHT STUD AT EACH SIDE OF OPENING.
- DAMAGED JOISTS SHALL BE REPLACED OR STRENGTHENED BY SISTERING A NEW 1 1/2"x11 1/4" LSL JOIST TO THE DAMAGED JOIST IF:
  - 1) THE DEPTH OF NOTCHES IN THE OUTER THIRDS OF THE SPAN EXCEEDS 1/6 THE DEPTH OF THE MEMBER.
  - 2) THE LENGTH OF NOTCHES IN THE OUTER THIRDS OF THE SPAN EXCEED 1/3 THE DEPTH OF THE MEMBER
  - 3) ANY NOTCHES ARE LOCATED IN THE MIDDLE THIRD OF THE MEMBER SPAN.
  - 4) ANY HOLES ARE GREATER THAN 1/3 THE DEPTH OF THE MEMBER IN DIAMETER.
  - 5) ANY HOLES ARE LOCATED CLOSER THAN 2" FROM THE TOP AND BOTTOM OF THE MEMBER.
- CONTRACTOR SHALL VERIFY EXISTING CONDITIONS IN FIELD. SHOULD THE EXISTING CONDITIONS BE FOUND TO DEVIATE FROM THE DRAWINGS, ALBERTSON ENGINEERING SHALL BE NOTIFIED IMMEDIATELY.
- EXISTING STEEL BALCONIES DO NOT HAVE ADEQUATE CAPACITY TO BE OCCUPIED.
- WHERE THE EXISTING BRIDGING BETWEEN JOISTS IS REQUIRED TO BE REMOVED TO INSTALL NEW JOISTS, PROVIDE SOLID 2x12 BLOCKING IN THE SAME LINES AS THE EXISTING BRIDGING.
- IF REQUIRED TO CUT EXISTING JOISTS FOR MECHANICAL OPENINGS NOT SHOWN ON THIS DRAWING, SISTER NEW 1 1/2"x11 1/4" LSL JOIST TO ADJACENT JOISTS ON EACH SIDE OF OPENING. PROVIDE (2)2x12 HEADER AT ENDS OF EXISTING CUT JOISTS. PROVIDE SIMPSON LUS210 FACE MOUNT HANGER AT CONNECTION OF EXISTING JOIST TO NEW (2)2x12 HEADER. ALSO PROVIDE SIMPSON LUS210-2 FACE MOUNT HANGER FOR ATTACHMENT OF (2)2x12 HEADER TO BUILT UP JOISTS.
- EXISTING WALL TYPE AND NUMBER SHALL BE VERIFIED BY THE CONTRACTOR.

**THIRD FLOOR FRAMING PLAN**  
SCALE: 1/4"=1'-0"

**PRELIMINARY**  
NOT FOR CONSTRUCTION  
01-28-11

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Albertson Engineering Inc.

ELK'S LODGE REMODEL  
529 MAIN STREET  
RAPID CITY, SD 57701



PROJECT NUMBER  
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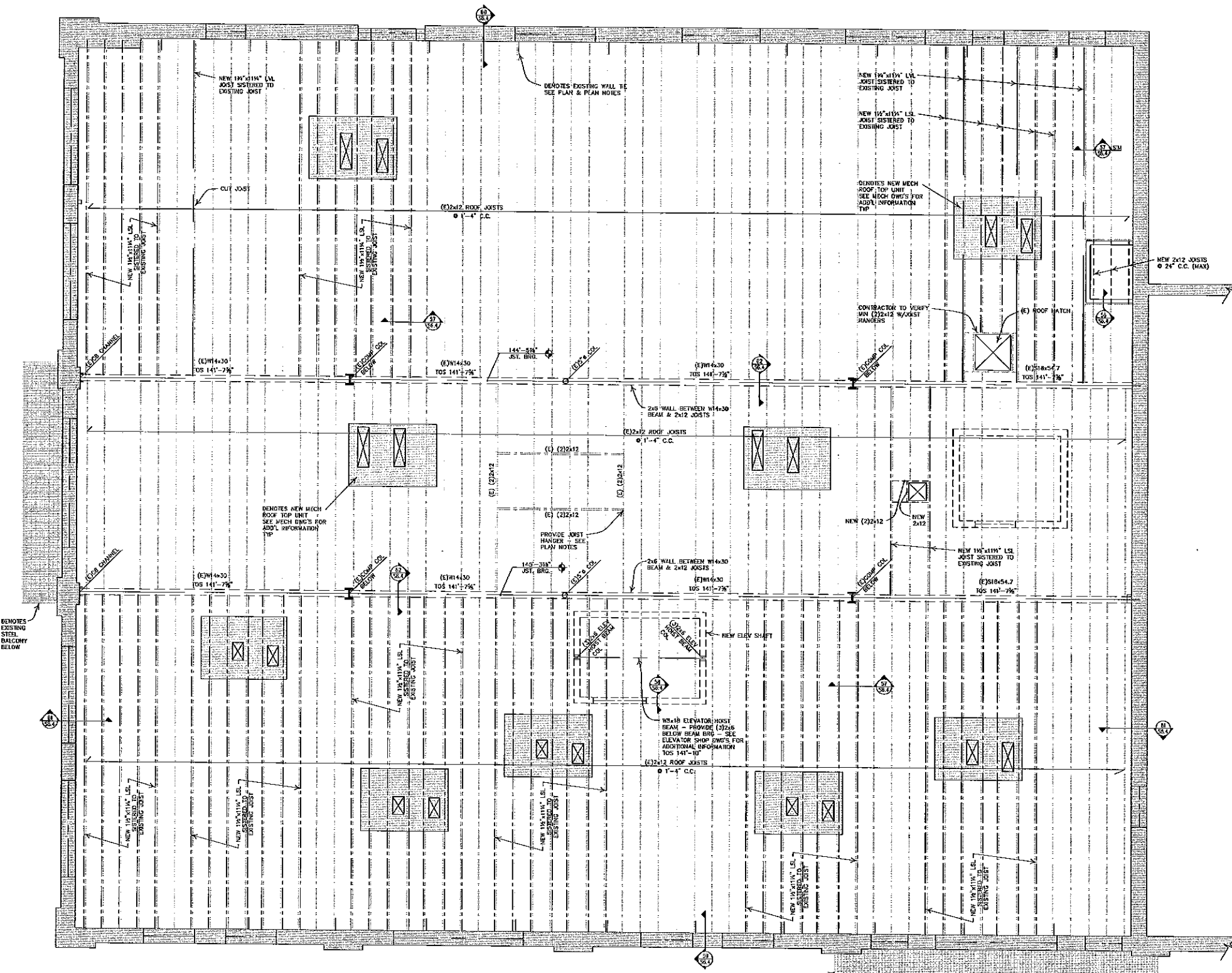
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DISK ID.  
2010-164.DWG

SHEET TITLE  
THIRD FLOOR  
FRAMING PLAN

SHEET NUMBER  
S4.0



**ROOF FRAMING PLAN**  
SCALE: 1/4"=1'-0"

**ROOF FRAMING PLAN NOTES**

- SEE SHEET S0.0 AND S0.1 FOR GENERAL STRUCTURAL NOTES.
- VERIFY ALL DIMENSIONS & ELEVATIONS WITH ARCHITECTURAL DRAWINGS BEFORE CONSTRUCTION COMMENCES.
- ELEVATIONS OF STRUCTURAL DRAWINGS REFER TO REFERENCE ELEVATION 100'-0" SET AT FIRST FLOOR TOP OF CONCRETE ELEVATION.
- FOR SIZE AND LOCATION OF OPENINGS SEE MECHANICAL AND ARCHITECTURAL DRAWINGS
- WHERE (2)OR MORE EXISTING JOISTS ARE SUPPORTED BY A HEADER — PROVIDE SIMPSON LUS210-2 FACE MOUNT HANGER AT THE CONNECTION OF THE HEADER TO THE SUPPORTING BEAM. SUPPORTING BEAM SHALL BE A MINIMUM OF (2)2x12.
- DAMAGED JOISTS SHALL BE REPLACED OR STRENGTHENED BY SISTERING A NEW 12"x14" LVL JOIST TO THE DAMAGED JOIST IF:
  - 1) THE DEPTH OF NOTCHES IN THE OUTER THIRDS OF THE SPAN EXCEEDS 1/8 THE DEPTH OF THE MEMBER.
  - 2) THE LENGTH OF NOTCHES IN THE OUTER THIRDS OF THE SPAN EXCEED 1/3 THE DEPTH OF THE MEMBER.
  - 3) ANY NOTCHES ARE LOCATED IN THE MIDDLE THIRD OF THE MEMBER SPAN.
  - 4) ANY HOLES ARE GREATER THAN 1/3 THE DEPTH OF THE MEMBER IN DIAMETER.
  - 5) ANY HOLES ARE LOCATED CLOSER THAN 2" FROM THE TOP AND BOTTOM OF THE MEMBER.
- CONTRACTOR SHALL VERIFY EXISTING CONDITIONS IN FIELD. SHOULD THE EXISTING CONDITIONS BE FOUND TO DEVIATE FROM THE DRAWINGS, ALBERTSON ENGINEERING SHALL BE NOTIFIED IMMEDIATELY.
- EXISTING WALL TIE TYPE AND NUMBER SHALL BE VERIFIED BY THE CONTRACTOR.

ELK'S LODGE REMODEL  
529 MAIN STREET  
RAPID CITY, SD 57701

**Stateline No 7**  
ARCHITECTS  
3202 West Main Street  
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605.343.9808

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SHEET TITLE  
ROOF FRAMING PLAN

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SHEET NUMBER  
**S5.0**