



# CITY OF RAPID CITY

RAPID CITY, SOUTH DAKOTA 57701

## Public Works Department Engineering Services Division

300 Sixth Street

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Web: [www.rcgov.org](http://www.rcgov.org)

TO: Public Works Committee  
FROM: Michelle Schweitzer  
Engineering Project Engineer

DATE: 6/4/2012

RE: Request to waive requirement to install sidewalk on Elk Vale Road as required by City Ordinance 12.08.060

2441 N. Elk Vale Road  
Lot 1 of Block 2, I-90 Heartland Business Park, Section 28, T2N, R8E,  
BHM, Pennington County, South Dakota

The City is upgrading the Elk Vale Lift Station and as a part of the upgrades is required to install sidewalks. Staff would like to request an exception from the requirements in accordance with City of Rapid City Ordinance 12.08.060, to install sidewalks on Elk Vale Road. Staff is proposing to install Sidewalks on Seger Drive in accordance with the City requirements.

Sidewalk along Elk Vale Road will require modifications to the existing storm sewer culverts and ditches in Elk Vale Road. The existing culverts in Elk Vale Road do not meet the City's current standards and will need to be upgraded in the future. Staff proposes to delay the installation of approximately 500 feet of sidewalk along Elk Vale road until such time as a separate project can be funded to either reconstruct Elk Vale Road or improve the drainage facilities and construct sidewalk. As additional lots are developed, the City can re-evaluate the need for sidewalks on the lift station lot.

Included with this memo is the portion of the meeting minutes from the August 4, 2003 City Council meeting when the original variance to construct sidewalks along Elk Vale Road was approved and a site plan of the project.



EQUAL HOUSING  
OPPORTUNITY

EQUAL OPPORTUNITY EMPLOYER

and water along Cliff Drive and Miracle Place as per Chapter 16.16 of the Subdivision Regulations on Lots A, B, and C, Canyon Lake Heights Subdivision, located in the SE1/4 SE1/4 Section 8 and the SW1/4 of Section 9; all in T1N, R7E, BHM, Rapid City, Pennington County, South Dakota, legally described as Lot 3, Block 15, of Canyon Lake Heights Subdivision located in the SE1/4 SE1/4 Section 8 and the SW1/4 of Section 9; all in T1N, R7E, BHM, Rapid City, Pennington County, South Dakota, located along Cliff Drive and Miracle Place. Motion was made by Kooiker, seconded by Rodriguez and carried to approve the requested Variance with the following stipulations: 1) Prior to City Council approval, the applicant shall sign a waiver of right to protest any future assessment for the installation of curb, gutter, sidewalk and water along Cliff Drive and Miracle Place; and, 2) Curb, gutter and sidewalk shall be constructed along the east side of Miracle Place as shown on the construction plans.

Motion was made by Kooiker, seconded by Rodriguez and carried to authorize the Mayor and Finance Officer to sign the **waiver of right to protest** a future assessment for the installation of curb, gutter, street light conduit, and to improve pavement along Elk Vale Road as it abuts Lots 1 thru 9 of Block 1, Lots 1 thru 5 of Block 2, Lots 1 thru 12 of Block 3, Lot 1 of Block 4, Lots 1 thru 6 of Block 5, and Lot 1 of Block 6, Heartland I90 Business Park, located in the NE1/4 of Section 28, T2N, R8E, BHM, Rapid City, Pennington County, South Dakota, legally described as the unplatted portion of the W1/2 NE1/4; N1/2 NE1/4 NE1/4; and the unplatted portion of the S1/2 NE1/4 NE1/4; N1/2 SE1/4 NE1/4 all in Section 28, T2N, R8E, BHM, Rapid City, Pennington County, South Dakota, located north and west of the intersection of I-90 and Elk Vale Road. (03SV016)

The Mayor presented No. 03SV016, a request by FMG, Inc. for Bypass LLC for a **Variance to the Subdivision Regulations to waive the requirement to install curb, gutter, street light conduit, sidewalk and to improve pavement along Elk Vale Road and to waive the requirement to install sidewalk along a portion of East Road, West Road, Seger Drive and Mall Drive as per Chapter 16.16 of the Rapid City Municipal Code** on Lots 1 thru 9 of Block 1, Lots 1 thru 5 of Block 2, Lots 1 thru 12 of Block 3, Lot 1 of Block 4, Lots 1 thru 6 of Block 5, and Lot 1 of Block 6, Heartland I90 Business Park, located in the NE1/4 of Section 28, T2N, R8E, BHM, Rapid City, Pennington County, South Dakota, legally described as the unplatted portion of the W1/2 NE1/4; N1/2 NE1/4 NE1/4; and the unplatted portion of the S1/2 NE1/4 NE1/4; N1/2 SE1/4 NE1/4 all in Section 28, T2N, R8E, BHM, Rapid City, Pennington County, South Dakota, located north and west of the intersection of I-90 and Elk Vale Road. Motion was made by Kooiker, seconded by Rodriguez and carried to approve the Variance to the Subdivision Regulations to waive the requirement to install curb, gutter, street light conduit, and to improve pavement along Elk Vale Road, with the stipulation that the applicant sign a waiver of right to protest any future assessment for the improvements, and deny the Variance to waive the requirement to install sidewalks along a portion of Elk Vale Road, East Road, West Road, Seger Drive and Mall Drive.

Motion was made by Kooiker seconded by Rodriguez and carried to authorize the Mayor and Finance Officer to sign the **waiver of right to protest** a future assessment for the installation of curb, gutter, sidewalk, street light conduit, water, sewer and pavement along the section line highway as it abuts the unplatted portion of the N1/2 NW1/4 SW1/4 less Red Rock Estates and less Countryside Subdivision; W1/2 NW1/4 less Red Rock Estates and less right-of-way, Section 29, T1N, R7E, BHM, Rapid City, Pennington County, South Dakota, located along Prestwick Road in Red Rock Estates. (03SV025)

The Mayor presented No. 03SV025, a request by Dream Design International, Inc. for a **Variance to the Subdivision Regulations to waive the requirements to install curb, gutter, sidewalk, street light conduit, water, sewer and pavement along the section line highway as per Chapter 16.16 of the Rapid City Municipal Code** on the unplatted portion of the N1/2 NW1/4 SW1/4 less Red Rock Estates and less Countryside Subdivision; W1/2 NW1/4 less Red Rock Estates and less right-of-way, Section 29, T1N, R7E, BHM, Rapid City,

DEWATERING AND SEDIMENT COLLECTING

THE CONTRACTOR HAS THE OPTION TO TREAT SEDIMENT LADEN WATER TRAPPED WITHIN THE PROJECT LIMITS WITH A DEWATERING AND SEDIMENT TRAP SYSTEM, OR THE CONTRACTOR MAY ELECT TO TRANSPORT SEDIMENT LADEN WATER OFF THE PROJECT.

REFER TO GEOTECHNICAL REPORT FOR INFORMATION REGARDING GROUNDWATER CONDITIONS. GROUND WATER LEVELS CAN AND DO VARY OVER TIME AND THE WATER ELEVATIONS PROVIDED IN THE GEOTECHNICAL REPORT MAY OR MAY NOT BE THE SAME AT THE TIME OF CONSTRUCTION.

CONCRETE WASHOUT AREA

THE CONTRACTOR SHALL PROVIDE CONCRETE WASHOUT AREAS PER DETAIL 150-11 TO PREVENT HIGH PH CONCRETE WASH WATER FROM ENTERING CURB LINES, STORM SEWERS ETC.

ROCK CONSTRUCTION ENTRANCE (VTC)

THE CONTRACTOR SHALL INSTALL A CONSTRUCTION ENTRANCE AS SHOWN ON THE CITY OF RAPID CITY STANDARD PLATE 150-9 WHERE THERE IS AN APPROACH FROM THE CONSTRUCTION SITE TO A PUBLIC ROADWAY TO REDUCE VEHICLE TRACKING.

THE CONTRACTOR SHALL MAINTAIN THE CONSTRUCTION ENTRANCE SUCH THAT MUD TRACKING AND SEDIMENT FLOW WILL NOT ENTER THE ROADWAY OR ADJACENT DRAINAGE AREAS.

IT IS ANTICIPATED THAT GRANULAR MATERIAL WILL NEED TO BE PERIODICALLY REMOVED AND REPLACED AS IT BECOMES INUNDATED WITH MUD AND SEDIMENT.

EROSION CONTROL BLANKET

EROSION CONTROL BLANKET SHOWN ON THIS DRAWING IS INTENDED TO BE INSTALLED IN CONJUNCTION WITH FINISH GRADING OPERATIONS, LANDSCAPING, AND SEEDING.

DISTURBED AREA

DISTURBED AREAS WITHIN THE GRADING LIMITS IS 1.5 ACRES. ADDITIONAL DISTURBED AREA WITHIN TEMPORARY CONSTRUCTION EASEMENT IS ANTICIPATED TO BE 0.8 ACRES.

EROSION CONTROL NOTES:

THIS EROSION CONTROL PLAN IS PROVIDED TO PROVIDE INFORMATION TO THE CONTRACTOR TO AID IN THE PROCESS OF OBTAINING ASSOCIATED CONSTRUCTION PERMITS AND STORMWATER PERMITS ON BEHALF OF THE OWNER.

THIS SHEET MAY BE USED IN DEVELOPING A SWPPP FOR THE STORMWATER PERMIT. ADDITIONAL QUANTITIES OF EROSION CONTROL MEASURES MAY BE NEEDED UPON CONSTRUCTION TO EFFECTIVELY CONTROL SEDIMENT.

DUST CONTROL

THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE RAPID CITY STANDARD SPECIFICATIONS (7.28) REGARDING DUST CONTROL TO ALL PORTIONS OF THE WORK.

WATER QUALITY

SURFACE WATER DISCHARGE

CONSTRUCTION DEWATERING IS ANTICIPATED. THE CONTRACTOR IS REQUIRED TO COORDINATE COMPLETION OF THE APPLICATION FOR THE DENR SURFACE WATER DISCHARGE PERMIT WITH THE OWNER AND OWNER'S REPRESENTATIVE AND TO FOLLOW THE REQUIREMENTS SET FOR THE BY THE PERMIT.

STORM WATER

THE CONTRACTOR IS ADVISED THAT SOUTH DAKOTA WATER QUALITY STANDARDS ADMINISTERED BY THE DENR APPLY TO THIS PROJECT. THE CONTRACTOR MUST OBTAIN PROJECT COVERAGE UNDER THE DENR GENERAL PERMIT FOR CONSTRUCTION ACTIVITIES THROUGH COORDINATION WITH THE OWNER AND OWNER'S REPRESENTATIVE.

INFORMATION ON STORM WATER REQUIREMENTS AND SWPPP ARE AVAILABLE ON THE FOLLOWING WEBSITES:

- DOT: HTTP://WWW.SDDOT.COM/PE/PROJDEV/ENVIRONMENT\_STORMWATER.ASP
DENR: HTTP://WWW.DENR.SD.GOV/DES/SW/STORMWATER.ASPX

EROSION CONTROL PHASING:

- 1. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE DISTURBANCE AND SHALL INCLUDE THE MEASURES SHOWN ON THIS PLAN OR AN APPROVED EQUAL PLAN.
2. PERIMETER SEDIMENT CONTROLS SUCH AS THE EROSION CONTROL WATTLE SHOWN SHALL BE INSTALLED AT THE DOWNSTREAM EXTENTS OF THE DISTURBED AREA AND MOVED AS NEEDED BASED ON THE CONTRACTOR'S PROJECT PHASING.
3. INLET PROTECTION FOR PROPOSED INLETS SHALL BE PROVIDED IMMEDIATELY FOLLOWING INSTALLATION, AND MAINTAINED UNTIL ALL DISTURBED AREAS HAVE BEEN PAVED OR VEGETATION HAS BEEN ESTABLISHED.
4. PERIMETER SEDIMENT CONTROL SHALL BE MAINTAINED UNTIL ALL DISTURBED SURFACES ARE PAVED OR VEGETATION HAS BEEN ESTABLISHED.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE TOTAL EROSION CONTROL QUANTITIES REQUIRED TO SUFFICIENTLY MEET THE EROSION CONTROL PHASING REQUIREMENTS SET HEREIN.
6. ALL EROSION CONTROL MEASURES SHALL BE REMOVED FOLLOWING COMPLETION OF ALL SITE PAVING OR ESTABLISHMENT OF ADEQUATE VEGETATION.

CERTIFICATIONS

EROSION AND SEDIMENT CONTROL PLAN PROJECT OWNER CERTIFICATION
THIS EROSION AND SEDIMENT CONTROL REPORT AND ATTACHED SITE CONSTRUCTION PLAN APPEAR TO FULFILL THE TECHNICAL CRITERIA AND THE CRITERIA FOR EROSION AND SEDIMENT CONTROL REQUIREMENTS OF THE CITY OF RAPID CITY.

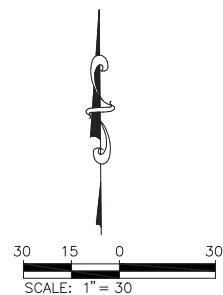
TERRY WOLTERSTORFF DATE
PUBLIC WORKS DIRECTOR
CITY OF RAPID CITY

PROJECT OWNER/ENGINEER
CITY OF RAPID CITY
300 SIXTH STREET
RAPID CITY, SD 57701
OWNER REPRESENTATIVE: KLARE SCHROEDER, P.E.
EMAIL ADDRESS: klare.schroeder@rcgov.org
PHONE NUMBER: (605)394-4154

PRIME CONTRACTOR
COMPANY NAME:
ADDRESS:
CITY, STATE ZIP:
PROJECT MANAGER:
EMAIL ADDRESS:
PHONE NUMBER:

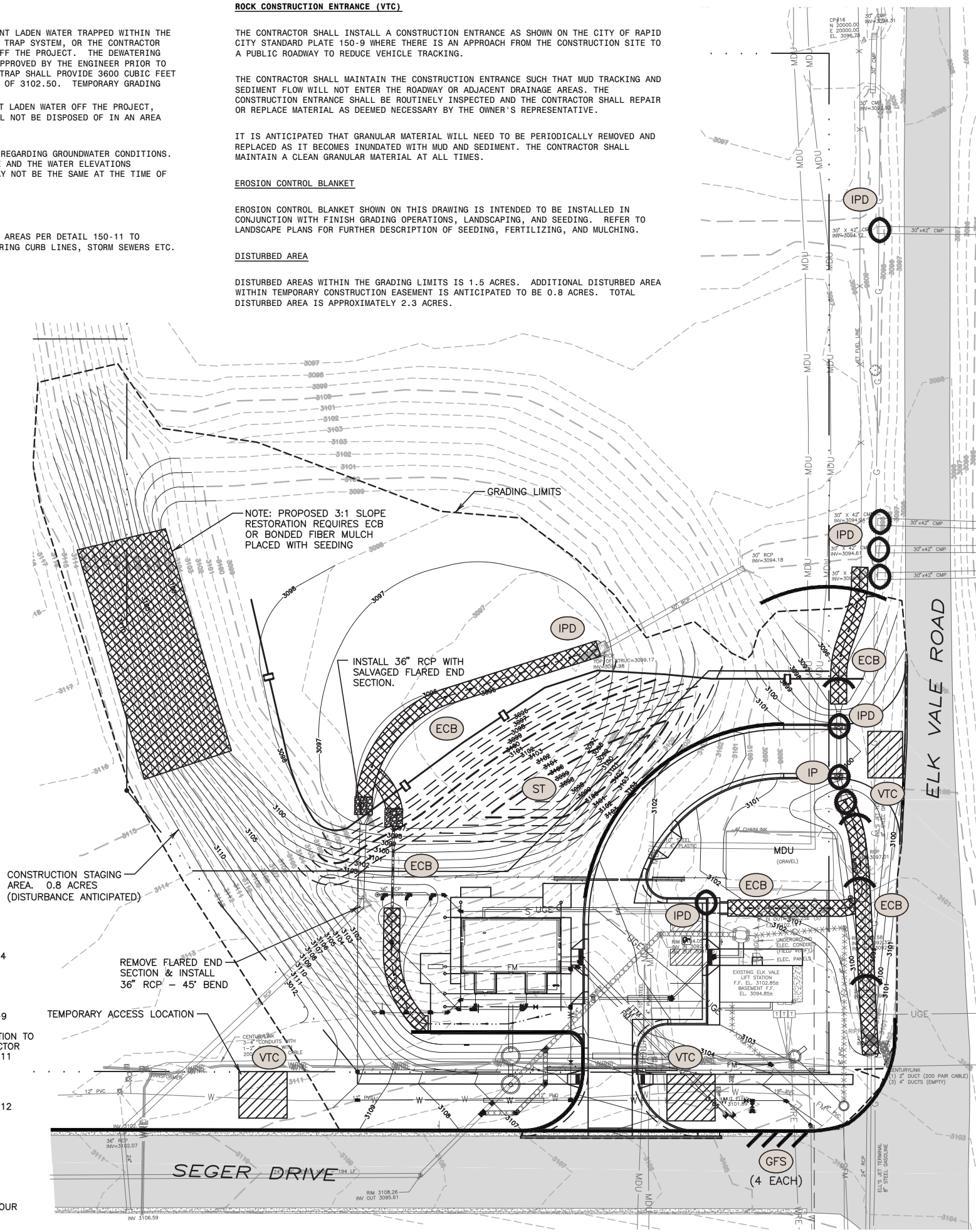
PRELIMINARY DRAWING

This document is issued as a preliminary document for review purposes. It is not a certified drawing and is not intended to be used for construction purposes.



EROSION and SEDIMENT CONTROL LEGEND

- IPD INLET PROTECTION FOR STORM PIPE OR PROPOSED INLETS
ECB EROSION CONTROL BLANKET CITY OF RAPID CITY DETAIL 150-4
GFS EROSION CONTROL GRAVEL FILTER SOCK CHECK.
VTC VEHICLE TRACKING CONTROL, CITY OF RAPID CITY DETAIL 150-9
CWA CONCRETE WASHOUT AREA. LOCATION TO BE DETERMINED BY THE CONTRACTOR CITY OF RAPID CITY DETAIL 150-11
ST TEMPORARY SEDIMENT TRAP BERM EL: 3103.00 SPILLWAY EL: 3102.50 CITY OF RAPID CITY DETAIL 150-12
EROSION CONTROL WATTLE
HIGH FLOW SILT FENCE
EXISTING CONTOUR
PROPOSED CONTOUR
TEMPORARY CONSTRUCTION CONTOUR
EROSION CONTROL BLANKET



May 31, 2012 6:42:55 a.m. Drawing: 1999 EROSION.DWG (FOX) \\MAIN-DATA\CETEC\PROJECTS & PROPOSALS\12126.00 ELK VALE LIFT STATION UPGRADE\DRAWINGS\LIFT STATION PLANS\

Vertical sidebar containing logos for Rapid City, South Dakota, and Cetec Engineering Services, along with project title 'ELK VALE LIFT STATION UPGRADE RAPID CITY, SOUTH DAKOTA' and sheet number 'C-8'.