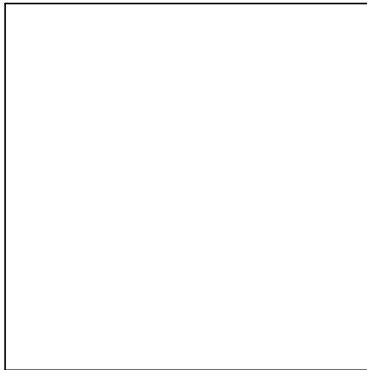


EVERGREEN

PREPARED FOR
BOBBY AND GENAE SUNDBY

MAY 2005
REVISED MAY 2007

VICINITY MAP (NTS)



INDEX

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SHEET 2 - TOPOGRAPHIC MAP
SHEET 3 - LAYOUT & LANDSCAPE PLAN
SHEET 4/6 - ROAD, WATER & SEWER PLAN & PROFILES
SHEET 7 - NORTH ACCESS PLAN & PROFILE
SHEET 8 - GRADING, DRAINAGE, AND EROSION CONTROL
SHEET 9 - DETAILS

LEGEND

..... 3311	1' CONTOUR INTERVAL
—— 3310 ——	5' CONTOUR INTERVAL
—— 3310 ——	PROPOSED CONTOUR INTERVAL
—————	STREET CENTERLINE
—————	PROPERTY LINE
———	EXISTING EASEMENT LINE
———	PROPOSED EASEMENT LINE
..... W6	EXISTING WATER LINE
—— W6 ——	PROPOSED WATER LINE
..... S8	EXISTING SANITARY SEWER LINE
—— S8 ——	PROPOSED SANITARY SEWER LINE
..... SS18	EXISTING STORM SEWER LINE
—— SS18 ——	PROPOSED STORM SEWER LINE
—— OHP ——	OVERHEAD POWER LINE
× — × — × — × — ×	FENCE LINE (CHAIN LINK & WOOD)
▲ CP 01	CONTROL POINT (SET FOR THIS SURVEY)
●	FOUND PROPERTY CORNER
● MH	MANHOLE (SANITARY OR STORM SEWER)
● FH	FIRE HYDRANT
● WV	WATER VALVE
○	POWER POLE
— #TB —	GUY ANCHOR
× 3309.9	TELEPHONE JUNCTION BOX
	SPOT ELEVATION
⊕	BUSHES
🌳	TREES

UTILITY NOTE

THE LOCATIONS OF ANY EXISTING UTILITIES SHOWN HEREON ARE IN AN APPROXIMATE MANNER ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED. EXACT LOCATIONS OF UTILITIES SHALL BE DETERMINED BY THE OWNER, CONTRACTOR OR THE OWNER'S REPRESENTATIVE PRIOR TO ANY CONSTRUCTION. NOTIFY SOUTH DAKOTA ONE CALL CENTER: 1-800-781-7474

ENGINEER/SURVEYOR CERTIFICATE

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY SUPERVISION AND THAT I AM DULY REGISTERED UNDER THE LAWS OF THE STATE OF SOUTH DAKOTA.

STEVEN O. THINGELSTAD SD NO. 4371

PREPARED BY:
BRITTON ENGINEERING AND LAND SURVEYING, INC.
8035 BLACK HAWK ROAD, SUITE #5 - PO BOX 649 ~ BLACK HAWK, SD
PHONE (605) 716-7988

CANYON LAKE DRIVE



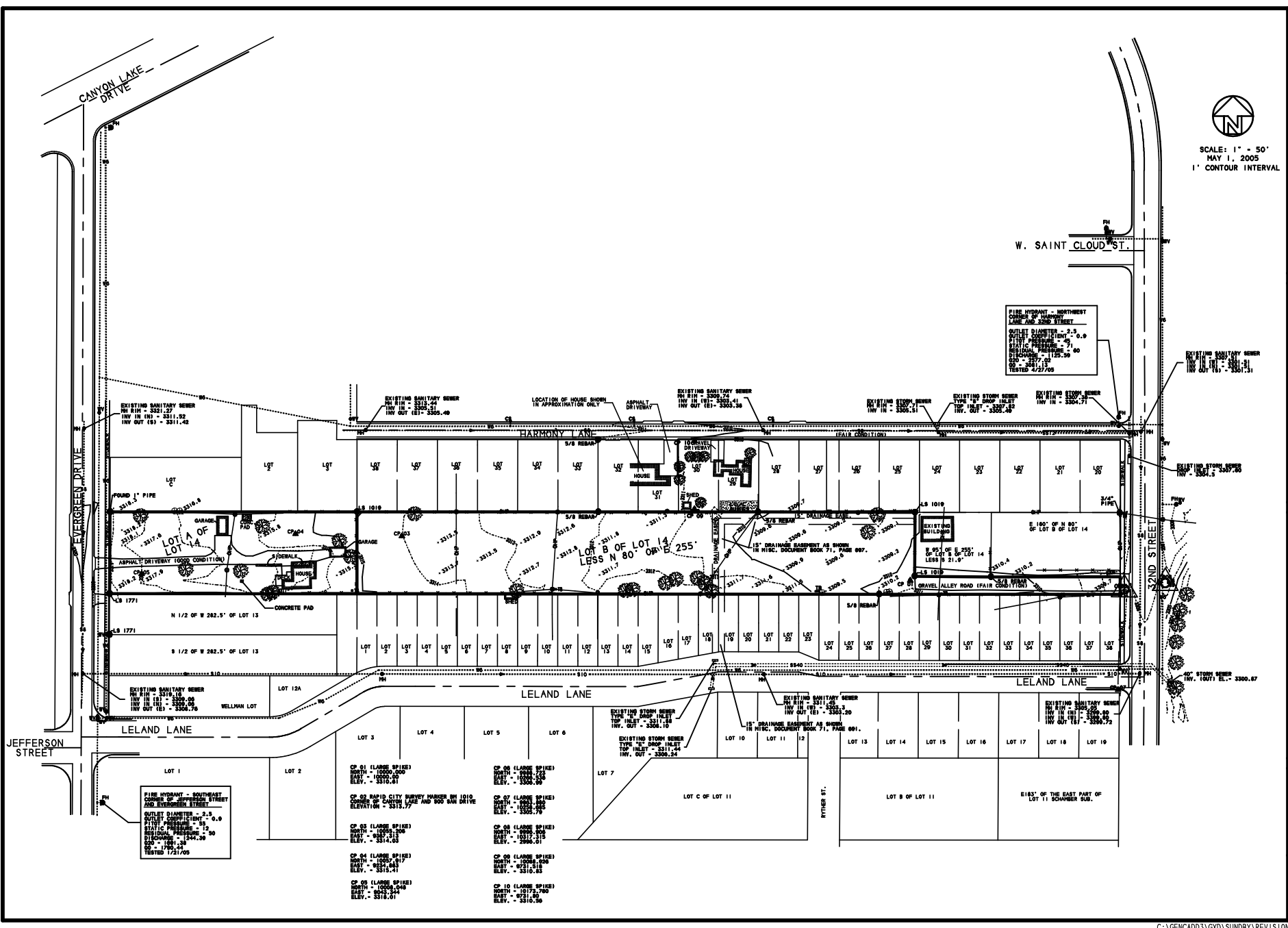
SCALE: 1" = 50'
MAY 1, 2005
1' CONTOUR INTERVAL

BRITTON ENGINEERING & LAND SURVEYING, INC.
8035 BLACK HAWK ROAD, PO BOX 649
BLACK HAWK, SD 57718
PH. (605) 716-7988

LOT A & LOT B OF 14 LESS N 80'
OF E 255' OF LOT B, PLATTED
SEC 4, T1N, R7E, BHM, RAPID CITY
PENNINGTON COUNTY, SOUTH DAKOTA

TOPOGRAPHIC MAP
EVERGREEN APARTMENTS
BOBBY AND GENAE SUNDBY

2
9



PIPE HYDANT - NORTHWEST
CORNER OF SAINT CLOUD STREET
AND EVERGREEN DRIVE
OUTLET DIAMETER - 2.5
TYPE "B" DROP INLET
1" C PRESSURE - 9
STATIC PRESSURE - 12.50
HEAD LOSS - 1.00
FLOW - 1.00
TESTED 4/27/05

PIPE HYDANT - SOUTHWEST
CORNER OF JEFFERSON STREET
AND EVERGREEN DRIVE
OUTLET DIAMETER - 2.5
TYPE "B" DROP INLET
1" C PRESSURE - 9
STATIC PRESSURE - 12.50
HEAD LOSS - 1.00
FLOW - 1.00
TESTED 7/21/05

CP 01 (LARGE SPIKE)
NORTH - 1000.00
EAST - 1000.00
ELEV. - 3310.01

CP 02 (LARGE SPIKE)
NORTH - 1000.00
EAST - 1000.00
ELEV. - 3310.01

CP 03 (LARGE SPIKE)
NORTH - 1000.00
EAST - 1000.00
ELEV. - 3310.01

CP 04 (LARGE SPIKE)
NORTH - 1000.00
EAST - 1000.00
ELEV. - 3310.01

CP 05 (LARGE SPIKE)
NORTH - 1000.00
EAST - 1000.00
ELEV. - 3310.01

CP 06 (LARGE SPIKE)
NORTH - 1000.00
EAST - 1000.00
ELEV. - 3310.01

EXISTING STORM SEWER
TYPE "B" DROP INLET
TOP INLET - 3317.84
INV. OUT - 3304.19

EXISTING STORM SEWER
TYPE "B" DROP INLET
TOP INLET - 3317.84
INV. OUT - 3304.19

EXISTING STORM SEWER
TYPE "B" DROP INLET
TOP INLET - 3317.84
INV. OUT - 3304.19

EXISTING STORM SEWER
TYPE "B" DROP INLET
TOP INLET - 3317.84
INV. OUT - 3304.19

EXISTING SANITARY SEWER
14" RISE - 3314.05
INV. IN (E) - 3302.20

EXISTING SANITARY SEWER
14" RISE - 3314.05
INV. IN (E) - 3302.20

EXISTING SANITARY SEWER
14" RISE - 3314.05
INV. IN (E) - 3302.20

EXISTING SANITARY SEWER
14" RISE - 3314.05
INV. IN (E) - 3302.20

EXISTING SANITARY SEWER
14" RISE - 3314.05
INV. IN (E) - 3302.20

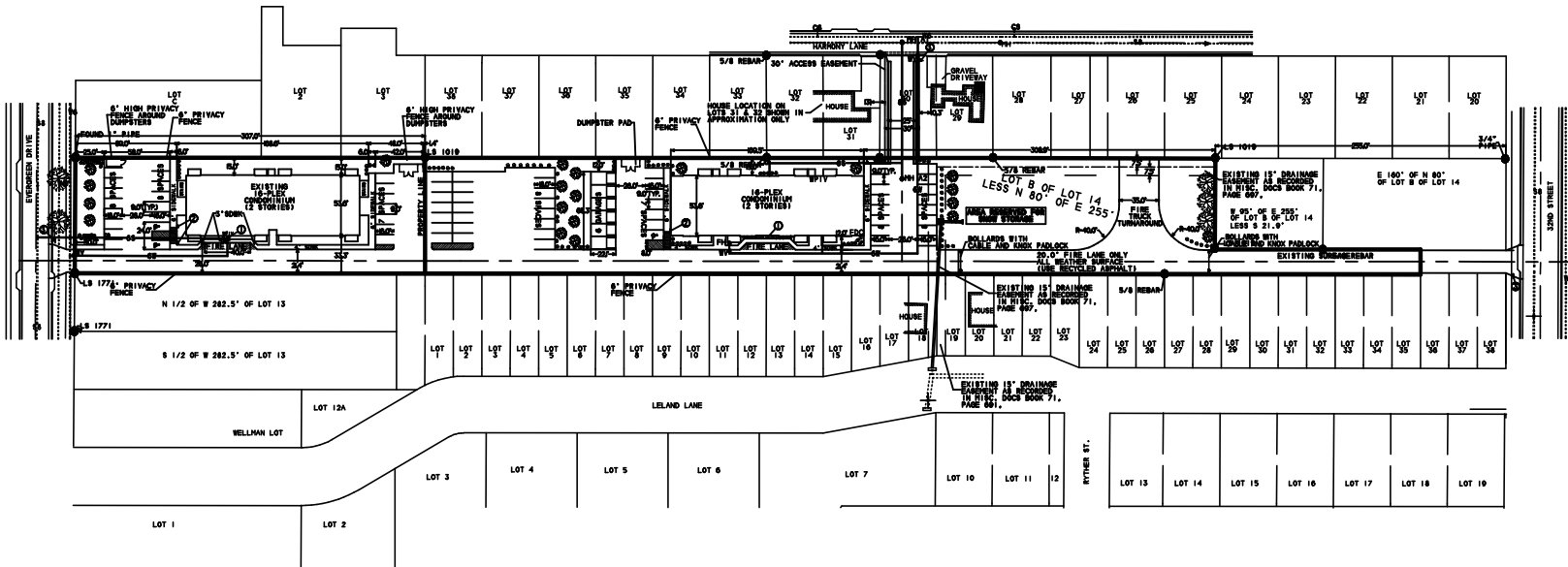
EXISTING SANITARY SEWER
14" RISE - 3314.05
INV. IN (E) - 3302.20

EXISTING SANITARY SEWER
14" RISE - 3314.05
INV. IN (E) - 3302.20

EXISTING SANITARY SEWER
14" RISE - 3314.05
INV. IN (E) - 3302.20



SCALE: 1" = 50'
MAY 1, 2005
REVISED MAY 25, 2007



LANDSCAPING POINTS TABLE

(LOT A OF LOT 14)
LANDSCAPING REQUIREMENTS FOR LOT B APARTMENT BUILDING: 22,735 PFS.
(51,253 SF - 8,850)

LANDSCAPING PROVIDED:	22,795 PFS MIN. (OK)
WITHIN 20 FEET OF PARKING (500MIN-11,367 PFS)	13,580
300 SF OF GRASS (10 PFS / SF)	3,000
32 SHRUBS (250 PFS EA)	8,000
5 SMALL TREES (500 PFS EA)	2,500
REMAINDER OF LOT	3,600
330 SF OF GRASS (10 PFS / SF)	3,300
2 SHRUBS (250 PFS EA)	500
WITHIN R.O.W.	5,435
144 SF OF GRASS (10 PFS / SF)	1,435
2 LARGE TREES (2000 PFS EA)	4,000

LANDSCAPING POINTS TABLE

(LOT B OF LOT 14)
LANDSCAPING REQUIREMENTS FOR LOT B APARTMENT BUILDING: 60,379 PFS.
(170,821 SF - 16,442)

LANDSCAPING PROVIDED:	60,438 PFS MIN. (OK)
WITHIN 20 FEET OF PARKING (500MIN-30,180 PFS)	31,497
500 SF OF GRASS (10 PFS / SF)	5,000
68 SHRUBS (250 PFS EA)	17,000
16 SMALL TREES (500 PFS EA)	8,000
REMAINDER OF LOT	26,941
1,825 SF OF GRASS (10 PFS / SF)	18,231
25 SHRUBS (250 PFS EA)	6,250
1 SMALL TREE (500 PFS EA)	500
3 MEDIUM TREES (1000 PFS EA)	3,000

PARKING REQUIREMENTS

APARTMENT (LOT A):	18 X 1.5	24 SPACES
	30 SPACES PROVIDED (OK)	
APARTMENT (LOT B):	18 X 1.5	24 SPACES
	30 SPACES PROVIDED PLUS 8 GARAGES (OK)	

- SHRUBS (250 PFS EACH) RESISTIOUS CHOICES:
 - BARBERRY (GOLDEN, ROSE GLOW)
 - CORONAT (ALPINE)
 - POTENTILLA (CORINATION TRIUMPH)
 - BOLD DRIP (GOLDEN)
 - ROSES, HARDY SHRUBS
 - SPY GLASS (GOLDEN)
- EVERGREEN CHOICES:
 - HONEYDEW (GLASS (NETZ MIDSET))
 - JUNIPER (NIGHT JEEP, COMPACT)
 - PI TOWER, SEA GREEN, SAVIN
- SMALL TREE (500 PFS EACH)
 - CHOISYBERRY, ADEL
 - MOUNTAINASH, SHINY
 - LARCH, SHINING
 - BIRCH, RIVER
 - SWEET PEA (GOLDEN)
 - LIVE, RUBRATA
 - LILAC, JAPANESE TREE
- MEDIUM TREE (1000 PFS EACH)
 - REDBUD (IMPERIAL, "SKYLINE", "MAGNIFICENT")
 - LINDEN, LITTLE LEAF "GREENSPINE"
- LARGE DECIDUOUS TREE (2000 PFS EACH)
 - RED CEDAR "PATRIOT", "KINDRED", "PRAIRIE SPINE"
 - HICKORY
 - REDICKY LUPINE TREE
 - LINDEN, AMERICAN "EMERALD"
 - WALNUT, AUTUMN BLAZE
 - BIG BUCKEYE

SIGN LEGEND

- "FINE LANE" SIGN
- "HANDICAP PARKING" SIGN
- "STOP" SIGN

NOTES

1. THE CONTRACTOR SHALL PROVIDE ADEQUATE STORM WATER COLLECTION PLAN (SWP) IN ACCORDANCE WITH THE ADMINISTRATIVE ORDER OF SOUTH DAKOTA (CHAPTER 742010) UNTIL 2015 LOCAL AND STATE TO BEGIN THE CONSTRUCTION PHASE.

2. THE CONTRACTOR SHALL NOT EXCEED THE MANUFACTURER'S SPECIFICATION FOR ANY PRODUCT USED. THE CONTRACTOR SHALL USE ONLY THE BEST QUALITY MATERIALS AVAILABLE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF RAPID CITY AND THE SOUTH DAKOTA DEPARTMENT OF AGRICULTURE AND FORESTRY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF RAPID CITY AND THE SOUTH DAKOTA DEPARTMENT OF AGRICULTURE AND FORESTRY.

RESTRAINING REQUIREMENTS (BASED ON SBA CALCULATIONS)

1. ALL PLANTING SHALL BE WITHIN THE RESTRAINED PERIMETER OF THE APARTMENT BUILDING. THE RESTRAINED PERIMETER SHALL BE 50 FEET FROM THE BUILDING.

2. ALL PLANTING SHALL BE WITHIN THE RESTRAINED PERIMETER OF THE APARTMENT BUILDING. THE RESTRAINED PERIMETER SHALL BE 50 FEET FROM THE BUILDING.

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BRITTON ENGINEERING & LAND SURVEYING, INC
8035 BLACK HAWK ROAD, SUITE 5
BLACK HAWK, SD 57718
PH. (605) 716-7988

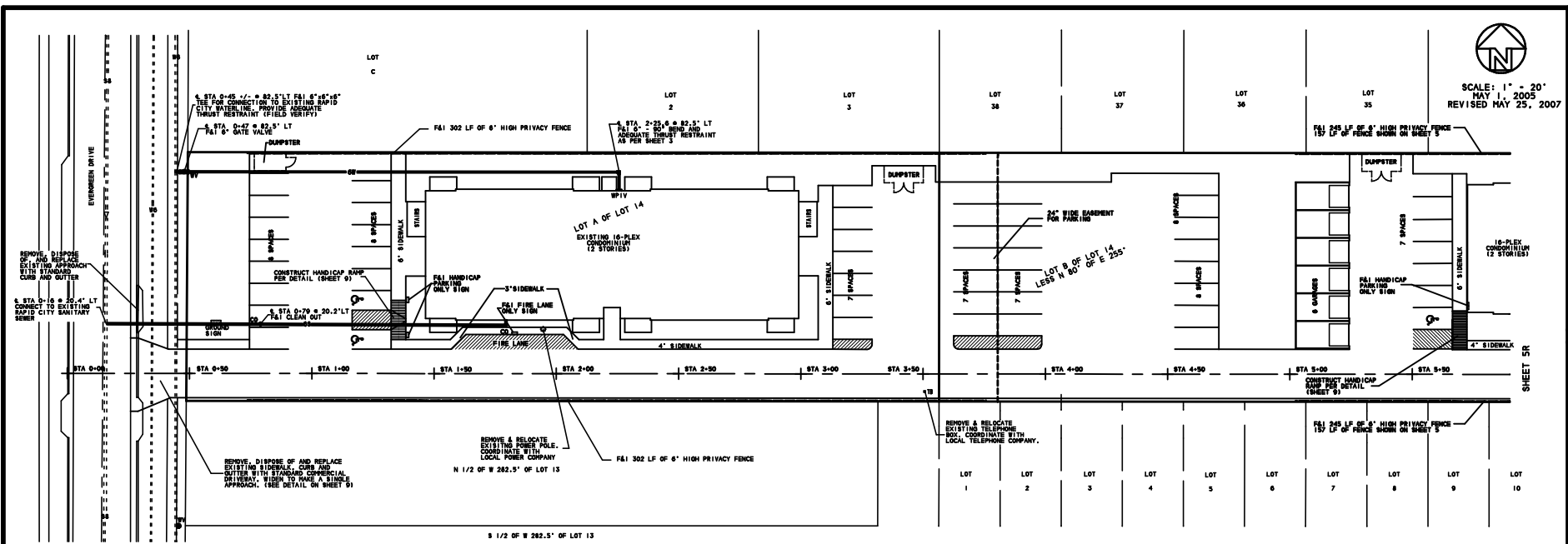
LOT A & LOT B OF 14 LESS N80°
OF E 255° OF LOT B, PLATTED
SEC 4, T1N, R7E, BHM, RAPID CITY
PENNINGTON COUNTY, SOUTH DAKOTA

LAYOUT & LANDSCAPE PLAN
EVERGREEN APARTMENTS
BOBBY & GEMME SUNDBY

APPROVED FOR THE CITY OF RAPID CITY
BY: [Signature] DATE: [Date]
APPROVED FOR THE CITY OF RAPID CITY
BY: [Signature] DATE: [Date]
APPROVED FOR THE CITY OF RAPID CITY
BY: [Signature] DATE: [Date]

3 R
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SCALE: 1" = 20'
 MAY 11, 2005
 REVISED MAY 25, 2007



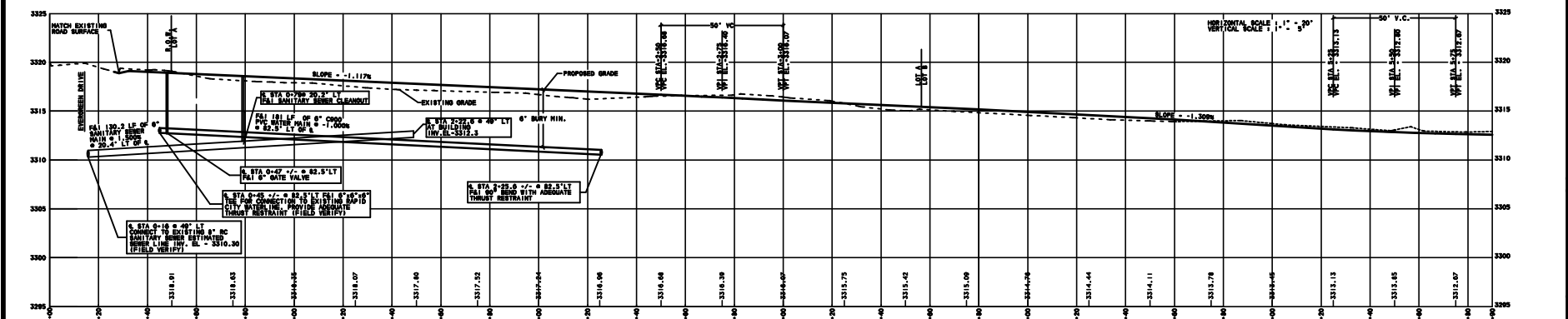
NOTES:

REMOVE AND DISPOSE OF EXISTING BUILDINGS, TREES, FENCING, AND OTHER MATERIAL.

ANY UTILITY RELOCATES SHALL BE COORDINATED WITH LOCAL UTILITY COMPANY.

CONTRACTOR SHALL FIELD VERIFY THE DEPTH AND LOCATION OF EXISTING WATER LINES OR SANITARY SEWER LINES AND SHALL CONTACT THE ENGINEER WITH ANY DISCREPANCY.

CONTRACTOR TO COORDINATE CONNECTION TO RAPID CITY SANITARY SEWER & WATER WITH CITY OF RAPID CITY PUBLIC WORKS DEPARTMENT.



BRITTON ENGINEERING & LAND SURVEYING, INC
 8035 BLACK HAWK ROAD, PO BOX 649
 BLACK HAWK, SD 57716
 PH. (605) 716-7988

LOT A & LOT B OF 14 LESS N 80'
 OF E 255' OF LOT B, PLATTED
 SEC 4, T1N, R7E, BHM, RAPID CITY
 PENNINGTON COUNTY, SOUTH DAKOTA

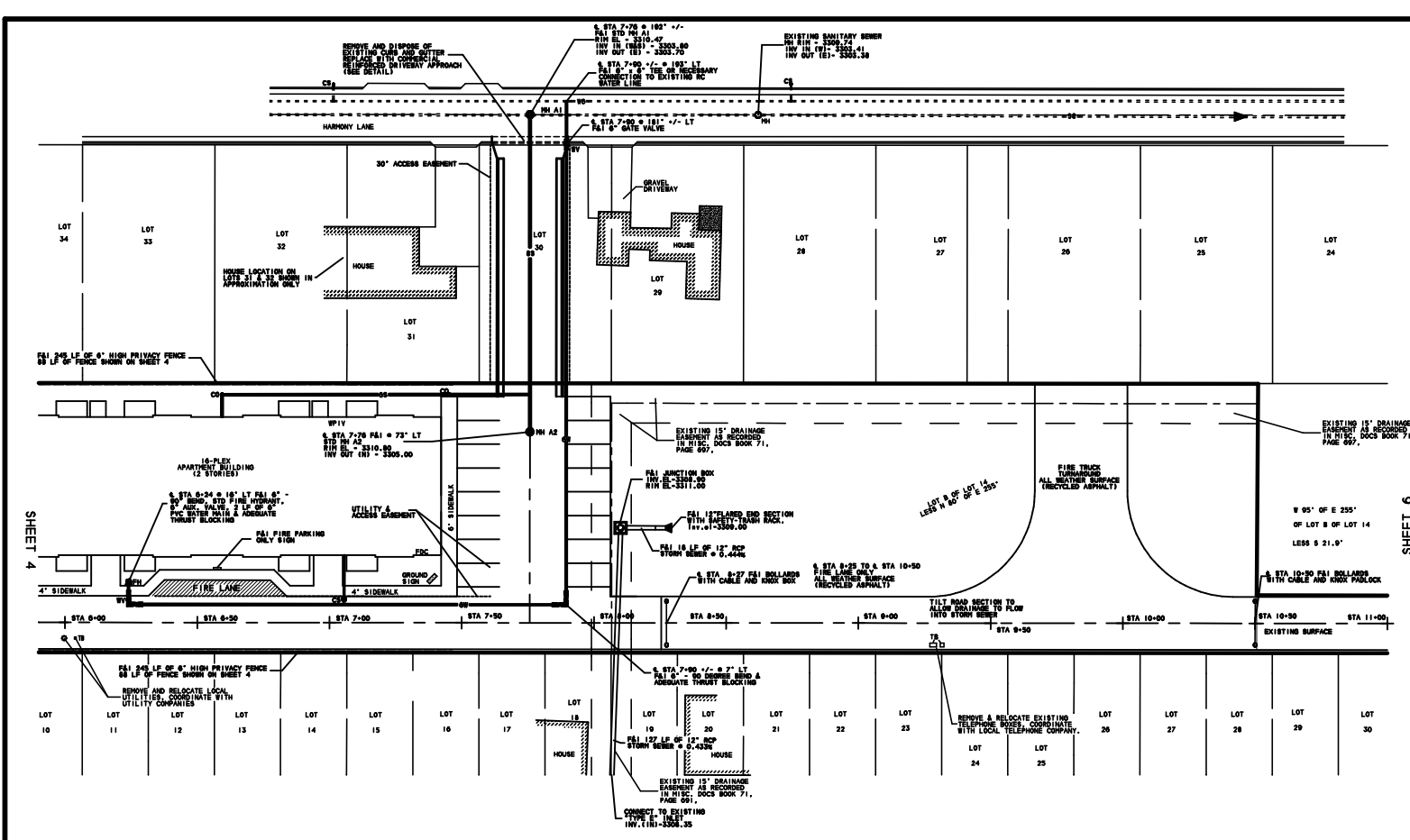
ROAD, WATER & SEWER PLAN AND PROFILES
 STA 0+00 TO STA 5+90
 EYEGREEN APARTMENTS
 BOBBY & GENAE SUNDBY

DATE: 05/25/07
 DRAWN BY: BOBBY SUNDBY
 CHECKED BY: BOBBY SUNDBY
 PROJECT NO: 07-01
 SHEET NO: 4R

4R
 9

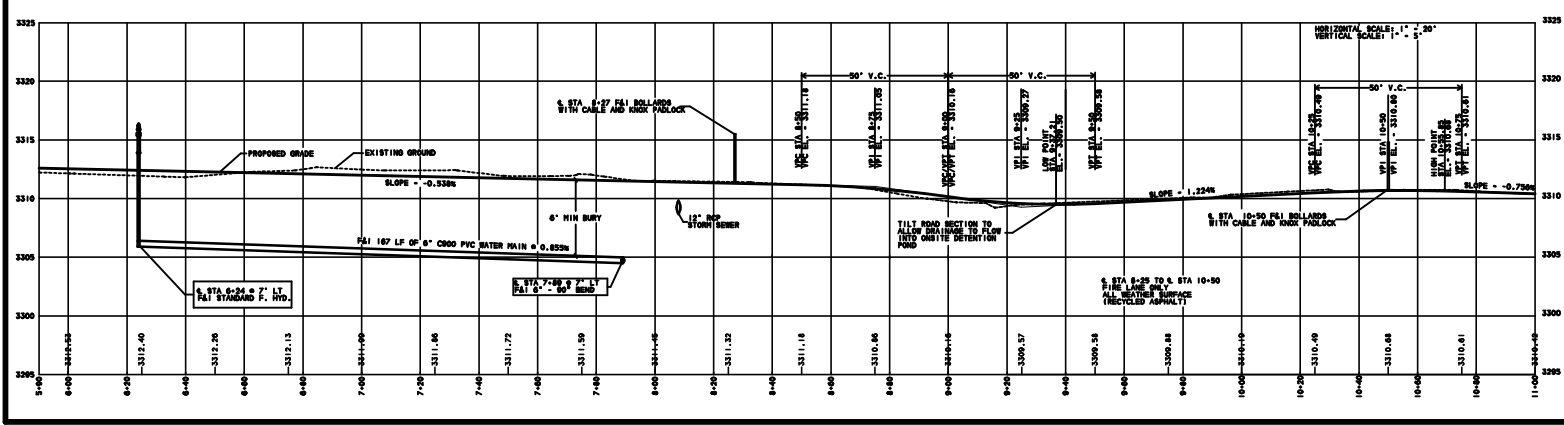


MAY 5, 2005
 SCALE: 1" = 20'
 REVISED MAY 25, 2007



SHEET 6

- NOTES:**
- REMOVE AND DISPOSE OF EXISTING BUILDINGS, TREES, FENCINGS, AND OTHER MATERIAL.
 - ANY UTILITY RELOCATES SHALL BE COORDINATED WITH LOCAL UTILITY COMPANY.
 - CONTRACTOR SHALL FIELD VERIFY THE DEPTH AND LOCATION OF BOTH THE EXISTING WATER AND SEWER LINES AND CONTACT THE ENGINEER WITH ANY DISCREPANCY PRIOR TO CONSTRUCTION.
 - CONTRACTOR TO COORDINATE CONNECTION TO BOTH RAPID CITY SEWER AND WATER WITH RAPID CITY PUBLIC WORKS DEPARTMENT AND TRAFFIC CONTROL.
 - PLAN AND PROFILE FOR SOUTH STORM SEWER ALSO LOCATED ON SHEET 6



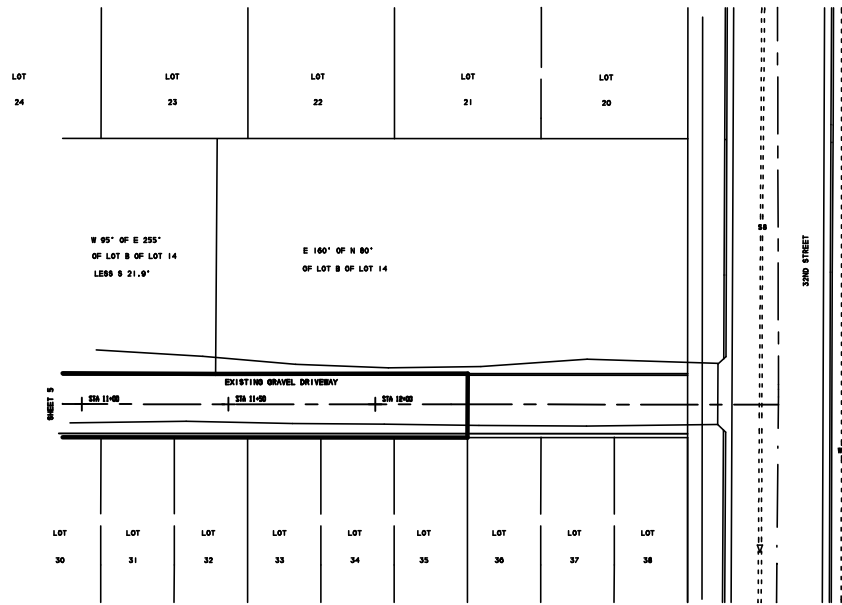
BRITTON ENGINEERING & LAND SURVEYING, INC
 3085 BLACK HAWK ROAD, PO BOX 649
 BLACK HAWK, SD 57718
 PH. (605) 716-7988

LOT A & LOT B OF 14 LESS N 80'
 OF E 255' OF LOT B, PLATTED CITY
 SEC 4, T1N, R7E, BHM, RAPID CITY
 PENNINGTON COUNTY, SOUTH DAKOTA

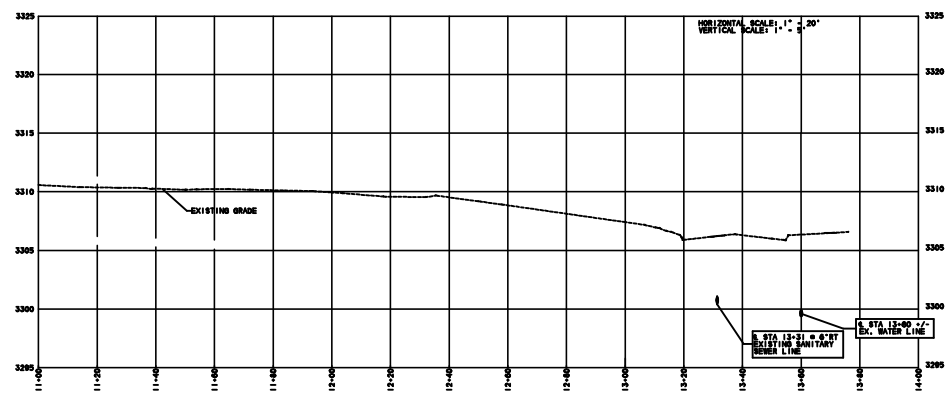
ROAD, WATER & SEWER PLAN & PROFILES
 STA 5+90 TO STA 11+00
 EVERGREEN APARTMENTS
 BOBBY & GENIE SUNDBY

THIS PLAN AND PROFILE IS THE PROPERTY OF BRITTON ENGINEERING & LAND SURVEYING, INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE OR MODIFICATION OF THIS PLAN OR PROFILE WITHOUT THE WRITTEN CONSENT OF BRITTON ENGINEERING & LAND SURVEYING, INC. IS STRICTLY PROHIBITED.






 SCALE: 1" = 20'
 MAY 11, 2005
 REVISED MAY 23, 2007



- NOTES:**
- REMOVE AND DISPOSE OF EXISTING BUILDINGS, TREES, FENCING, AND OTHER MATERIAL.
 - ANY UTILITY RELOCATES SHALL BE COORDINATED WITH LOCAL UTILITY COMPANY.
 - CONTRACTOR SHALL FIELD VERIFY THE DEPTH AND LOCATION OF BOTH THE EXISTING WATER AND SEWER LINES AND CONTACT THE ENGINEER WITH ANY DISCREPANCY PRIOR TO CONSTRUCTION.
 - CONTRACTOR TO COORDINATE CONNECTION TO BOTH RAPID CITY SEWER AND WATER WITH RAPID CITY PUBLIC WORKS DEPARTMENT AND TRAFFIC CONTROL.
 - PLAN AND PROFILE FOR EAST STORM SEWER ALSO LOCATED ON SHEET C-3
 - MAINTAIN 18" VERTICAL SEPARATION BETWEEN STORM SEWER AND WATERLINE OR ENCASE WATERLINE WHERE SEPARATION CANNOT BE MET.

REMOVE AND RELOCATE EXISTING TREES AND UTILITY LINES ON EAST SIDE OF PROPOSED STORM SEWER LINE AS NEEDED.
 CUT OUT, REPLACE, OR REFORM CONCRETE WALL WHERE STORM SEWER CONNECTS TO EXISTING RETAINING WALL.



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 BLACK HAWK, SD 57718
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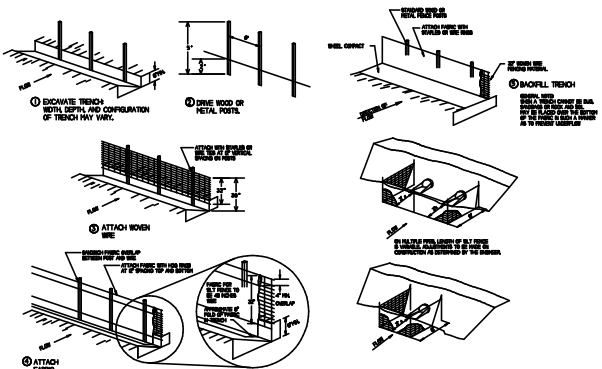
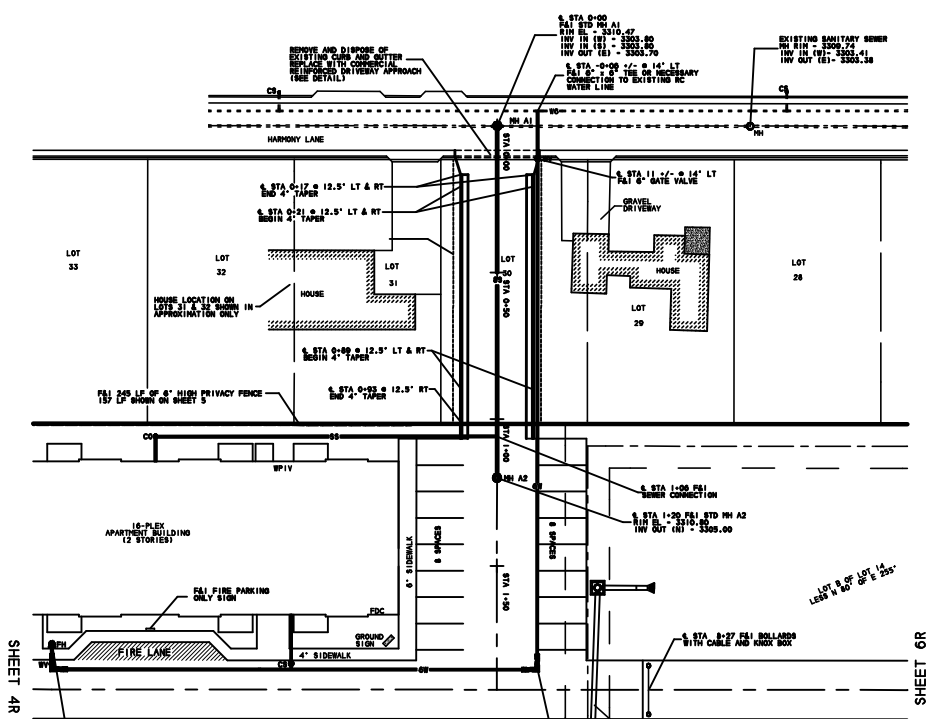
LOT A & LOT B OF 14 LESS N 80'
 OF E 235' OF LOT B, PLATTED,
 SEC 4, T1N, R7E, BHM, RAPID CITY
 PENNINGTON COUNTY, SOUTH DAKOTA

ROAD PLAN & PROFILE-STA 11+00 TO 14+00
 STORM SEWER PLAN AND PROFILES
 EVERGREEN APARTMENTS
 BOBBY & GENAE SUNDBY

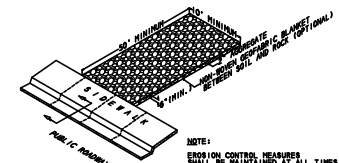
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SCALE: 1" = 20'
MAY 1, 2005
REVISED MAY 25, 2007



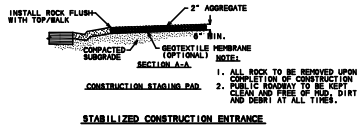
SILT FENCE INSTALLATION



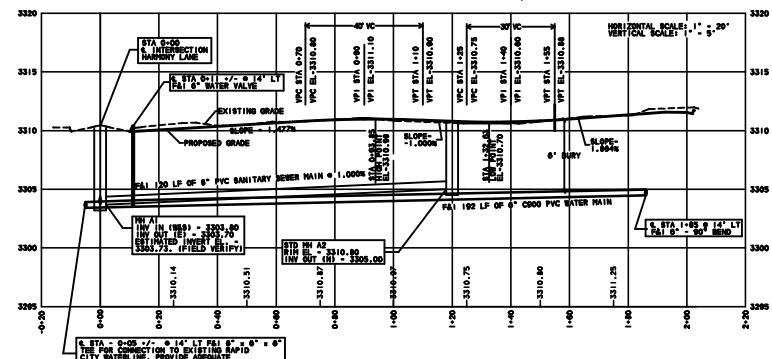
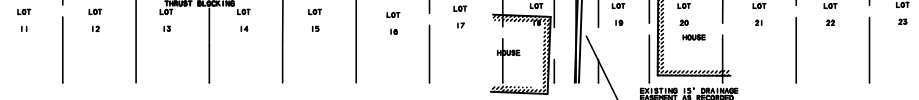
EROSION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES

NOTES:

- REMOVE AND DISPOSE OF EXISTING BUILDINGS, TREES, FENCING, AND OTHER MATERIAL.
- ANY UTILITY RELOCATES SHALL BE COORDINATED WITH LOCAL UTILITY COMPANY.
- CONTRACTOR SHALL FIELD VERIFY THE DEPTH AND LOCATION OF EXISTING WATER LINE AND SANITARY SEWER LINE AND SHALL CONTACT THE ENGINEER WITH ANY DISCREPANCY
- CONTRACTOR TO COORDINATE CONNECTION TO RAPID CITY SANITARY SEWER & WATER WITH CITY OF RAPID CITY PUBLIC WORKS DEPARTMENT



STABILIZED CONSTRUCTION ENTRANCE



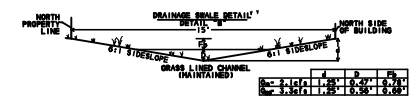
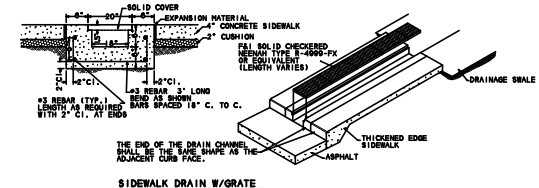
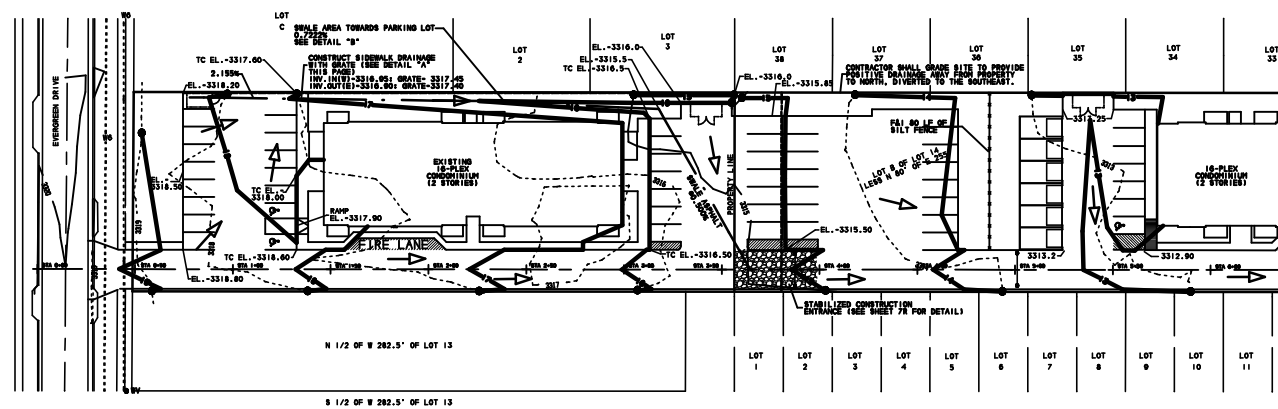
BRITTON ENGINEERING & LAND SURVEYING, INC.
 8035 BLACK HAWK ROAD, PO BOX 649
 BLACK HAWK, SD 57718
 PH. (605) 716-7988

NORTH ACCESS PLAN & PROFILE
 EVERGREEN APARTMENTS
 BOBBY AND GENAE SUNDBY



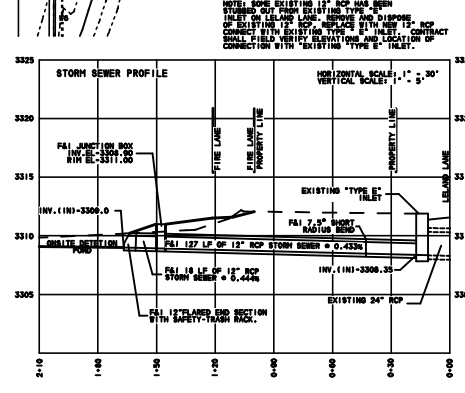
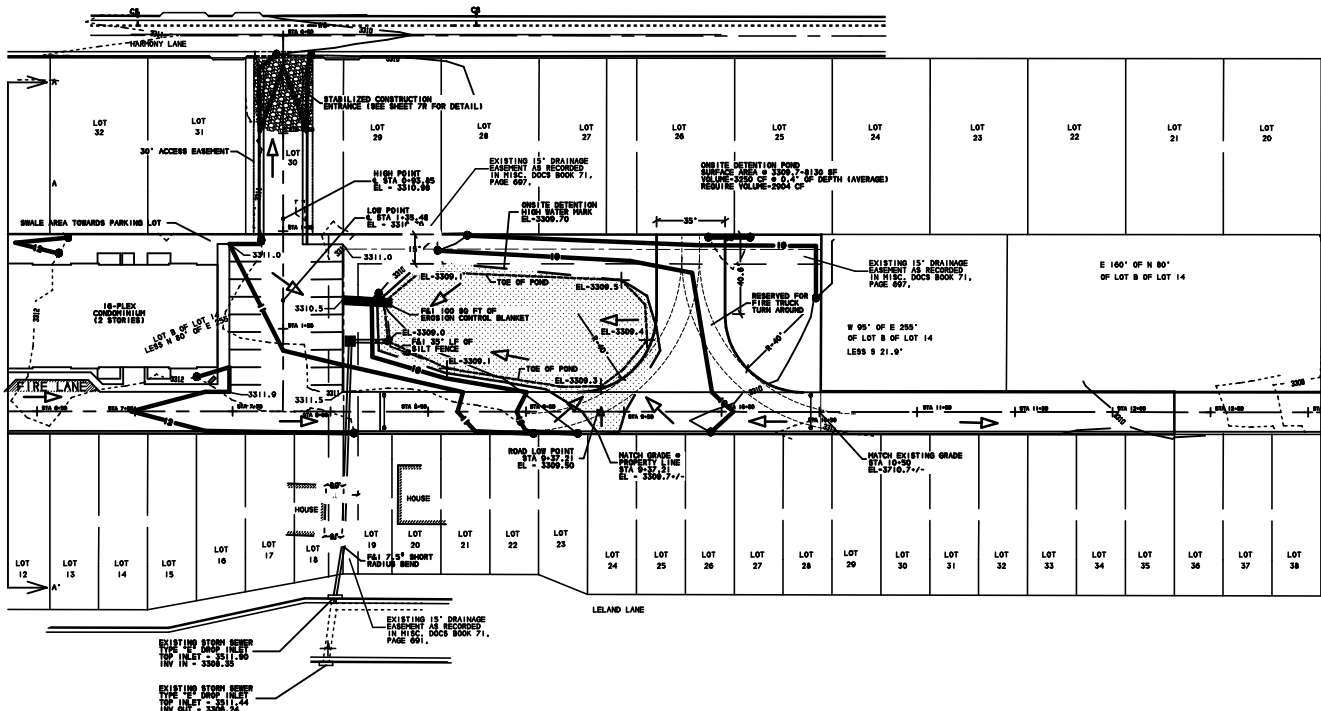


SCALE: 1" = 30'
MAY 1, 2005
REVISED APRIL 26, 2007

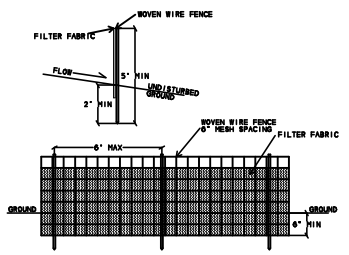


- NOTES**
- SEEDED AND FERTILIZED OR HYDRATED ALL AREAS DISTURBED DURING CONSTRUCTION. ALL DRAINAGE SWALES AND BACKFILL SHALL BE WITH QUICK-2-GRO SEED MIX OR EQUIVALENT (SEE TABLE BELOW).
 - QUICK-2-GRO SEED MIX**
 - FERTILIZER BY WEIGHT: 30%
 - COFFEEING BINDER: 2%
 - IN ECONOMY BLEND THAT COMBINATES RAPIDLY GROWING WHEAT IN SPRING AND SUDAN GRASS IN WINTER FOR LATE HARVEST. MEDIUM MATURING BROMEGRASS IS INCLUDED AS AN ESTABLISHING AND PERMANENT PASTURE TERMINATION AND BROWZING RESISTANT.
 - LOCATION AND PLACEMENT OF TOPPALE AND STOCKING SHALL BE COORDINATED WITH THE OWNER.
 - THIS AREA TO BE REPAIRED AND RESEEDED UPON THE COMPLETION OF CONSTRUCTION. REPAIRS AND REPLACEMENTS SHALL BE COORDINATED WITH THE OWNER.

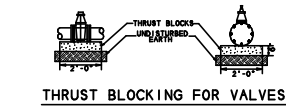
*NOTE: ALL GRADES ARE ASPHALT GRADES UNLESS OTHERWISE INDICATED.



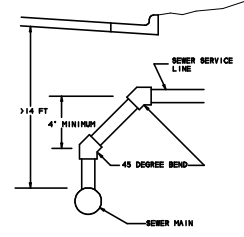
BRITTON ENGINEERING & LAND SURVEYING, INC
 8035 BLACK HAWK ROAD, SUITE 5, PO BOX 649
 BLACK HAWK, SD 57718
 PH. (605) 716-7988
 LOT A & LOT B OF 14 LESS N80° OF E 255' OF LOT B, PLATTED SEC 4, T1N, R7E, BHM, RAPID CITY PENNINGTON COUNTY, SOUTH DAKOTA
 DRAINAGE & GRADING PLAN
 EROSION CONTROL
 EVERGREEN APARTMENTS
 BOBBY & GEMME SUNDBY



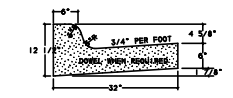
SILT FENCE



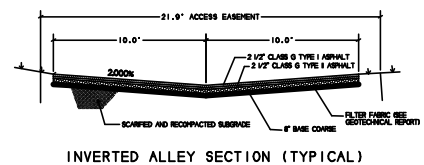
THRUST BLOCKING FOR VALVES



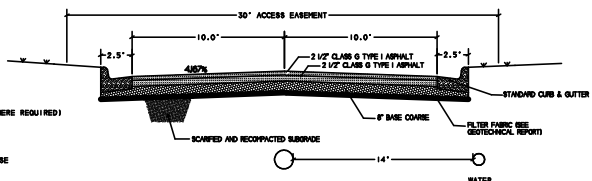
STANDARD SANITARY SEWER SERVICE CONNECTION



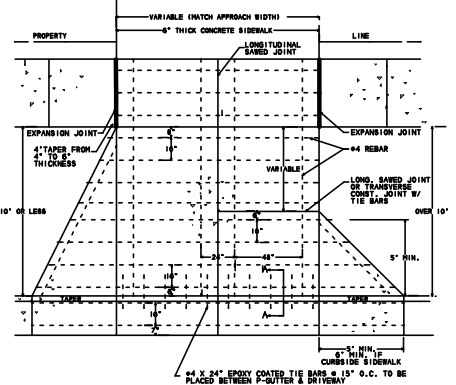
STANDARD CURB & GUTTER SECTION



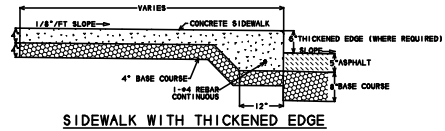
INVERTED ALLEY SECTION (TYPICAL)



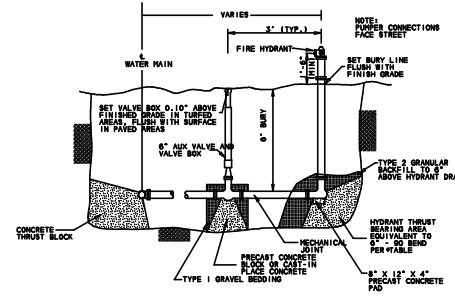
NORTH ACCESS SECTION (TYPICAL)



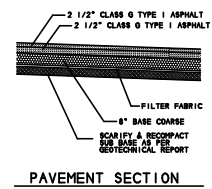
REINFORCED DRIVEWAY APPROACH



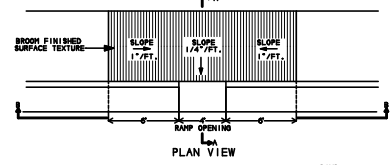
SIDEWALK WITH THICKENED EDGE



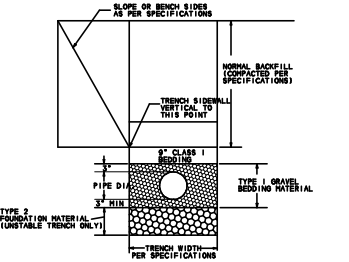
FIRE HYDRANT ASSEMBLY DETAIL



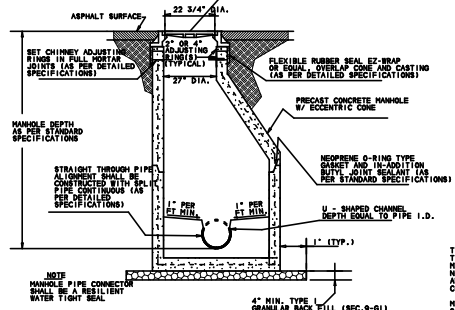
PAVEMENT SECTION



CURB RAMP IN CURB & GUTTER TYPE 5



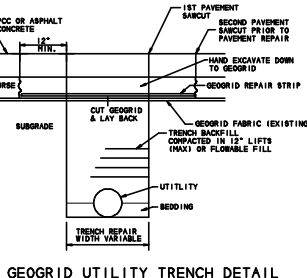
TRENCH DETAIL FOR SEWER/WATER MAIN



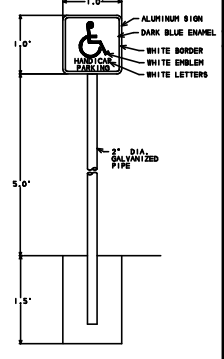
STANDARD SANITARY MANHOLE WITH MONOLITHIC BASE



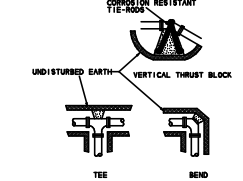
TRAFFIC SIGN PLACEMENT



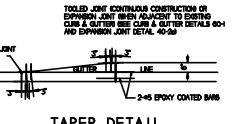
GEOGRID UTILITY TRENCH DETAIL



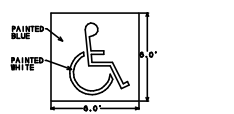
HANDICAP PARKING SIGN



THRUST BLOCKING FOR FITTINGS



TAPER DETAIL



DESIGNATED PAINTED HANDICAP PARKING SPACE

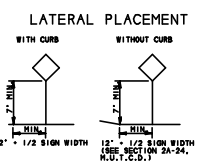
TRAFFIC SIGN SPECIFICATIONS: THE FOLLOWING SPECIFICATIONS APPLY TO ALL TRAFFIC CONTROL SIGNS INSTALLED WITHIN THE CITY. ALL SIGNS SHALL BE MANUFACTURED AND INSTALLED PER CITY SPECIFICATIONS/STANDARDS AND SPECIFICALLY GOVERNED BY THE SMALL POLICE DEPT. SPECIFICATIONS AND THOSE IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND TRAFFIC CONTROL DEVICES HANDBOOK.

MANUFACTURE: THE FOLLOWING PERTAINS TO ALL TRAFFIC CONTROL SIGNS SIGN SIZES:
 1. SIGNS SHALL BE STANDARD SIZE
 2. SIGN PLACES SHALL BE MANUFACTURED USING HIGH INTENSITY OR DIAMOND GRADE SHEETING MATERIAL
 3. SIGNS CROSSED BY OTHER TRAFFIC CONTROL DEVICES SHALL BE MANUFACTURED AND INSTALLED PER CITY SPECIFICATIONS/STANDARDS AND OTHER DEPARTMENTS THAT WILL AFFECT THEIR USEFULNESS OR CONVEYANCE
 4. COLOR SHALL BE UNIFORM AND MATCH FEDERAL COLOR STANDARDS
 5. FACES SHALL BE FULLY ADHERED TO THE BACKING MATERIAL

BACKING MATERIAL:
 1. ALUMINUM SHALL BE ANODIZED AND 0.080 MINIMUM GAUGE THICKNESS
 2. ALUMINUM SHALL BE MINIMUM GRADE TYPE 5000
 3. RECYCLED PLASTIC SIGN BLANKS ARE ALLOWED. USE OF PLASTIC BLANKS MUST BE APPROVED BY THE CITY TRAFFIC ENGINEER PRIOR TO USE
 4. WOOD, PLYWOOD, OR OTHER MATERIALS ARE NOT ALLOWED
 5. BACK OF SIGN BLANK SHALL BE FREE OF ALL OBJECTS EXCEPT DATE STICKER

INSTALLATION: GENERALLY, TRAFFIC CONTROL SIGNS SHALL BE INSTALLED IN ACCORDANCE WITH THE PROJECT PLANS, THESE SPECIFICATIONS AND THE FOLLOWING:
 1. ALL TRAFFIC CONTROL SIGNS SHALL BE INSTALLED 7 FEET ABOVE THE ROADWAY ELEVATION (AS SHOWN OR NOTED IN SIGN ASSEMBLY)
 2. THE POST(S) SHALL EXTEND TO THE TOP OF THE SIGN
 3. SQUARE TUBE TYPE SIGN POSTS SHALL BE USED. THESE POSTS SHALL MEET ALL APPLICABLE FEDERAL BREAK-AWAY STANDARDS, OR, BE OF THE SAME MANUFACTURE/TYPE AS USED BY THE CITY
 4. ALL POSTS SHALL BE FULLY GALVANIZED
 5. PRIOR TO INSTALLATION, INSPECTOR SHALL OBTAIN FROM TRAFFIC OPERATIONS, A DATE STICKER. EACH SIGN SHALL HAVE A DATE STICKER APPLIED TO THE BACK OF THE SIGN BLANK (SEE SECTION 2A-24, R.U.T.C.O.)

SPECIFIC INTERPRETATIONS OF THESE SPECIFICATIONS SHALL BE MADE BY THE CITY TRAFFIC ENGINEER



LATERAL PLACEMENT



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LOT A & LOT B OF 14 LESS N 80'
 OF E 235' OF LOT B, PLATTED,
 SEC 4, T1N, R7E, BHM, RAPID CITY
 PENNINGTON COUNTY, SOUTH DAKOTA

DETAILS
 EVERGREEN APARTMENTS
 BOBBY & GEVAW SUNDBY