

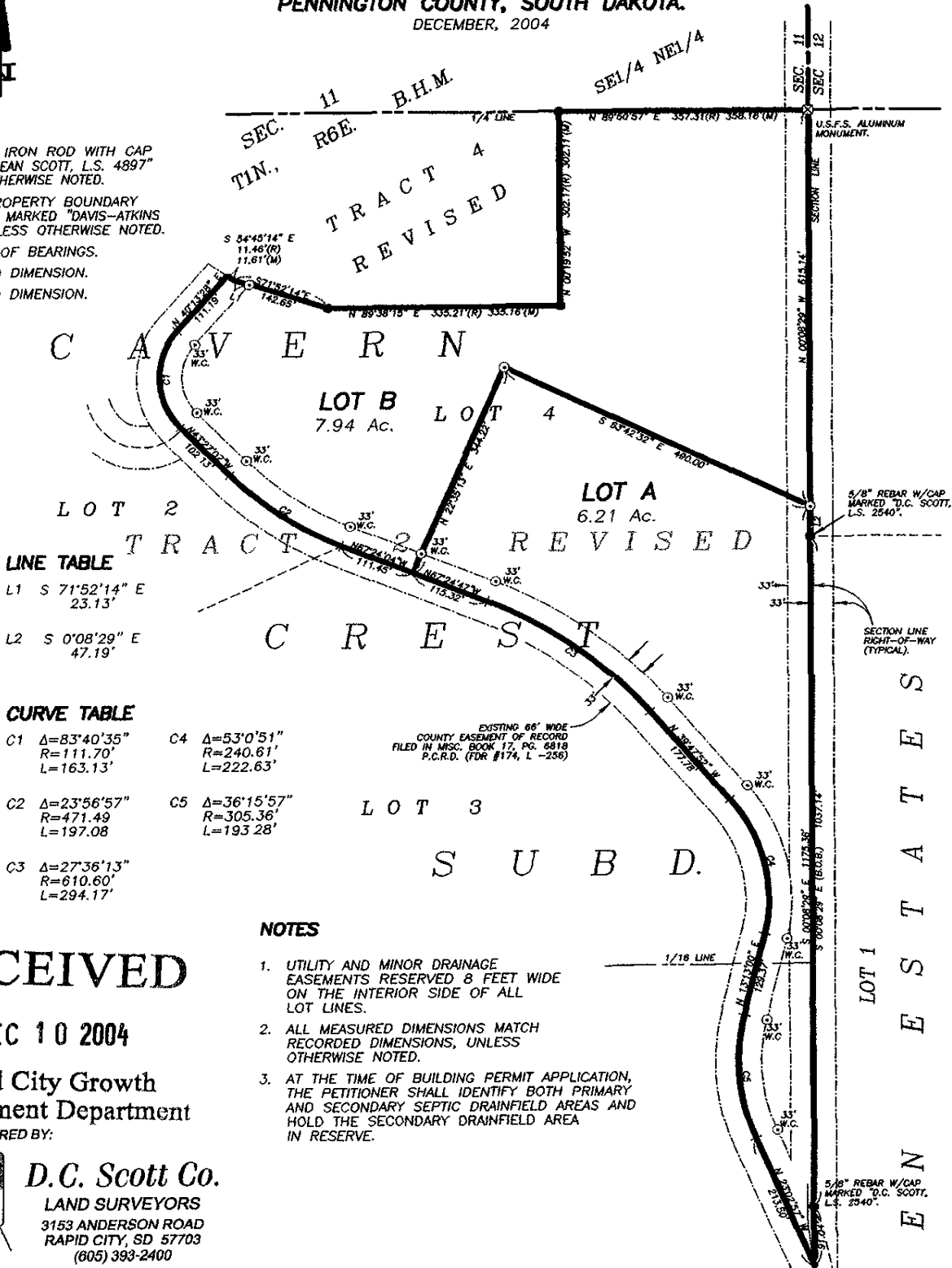
# SURVEY PLAT OF

LOT A AND LOT B OF LOT 4 OF TRACT 2 REVISED OF CAVERN CREST SUBDIVISION  
 LOCATED IN THE E1/2 SE1/4 OF SECTION 11,  
 TOWNSHIP 1 NORTH, RANGE 6 EAST OF THE BLACK HILLS MERIDIAN,  
 PENNINGTON COUNTY, SOUTH DAKOTA.  
 DECEMBER, 2004



## LEGEND

- ⊙ SET 5/8" IRON ROD WITH CAP MARKED "DEAN SCOTT, L.S. 4897" UNLESS OTHERWISE NOTED.
  - FOUND PROPERTY BOUNDARY MONUMENT MARKED "DAVIS-ATKINS 3095" UNLESS OTHERWISE NOTED.
- B.O.B. BASIS OF BEARINGS.  
 (R) RECORDED DIMENSION.  
 (M) MEASURED DIMENSION.



### LINE TABLE

- L1 S 71°52'14" E 23.13'
- L2 S 0°08'29" E 47.19'

### CURVE TABLE

- |  |  |
|--|--|
| C1 Δ=83°40'35"<br>R=111.70'<br>L=163.13' | C4 Δ=53°0'51"<br>R=240.61'<br>L=222.63'  |
| C2 Δ=23°56'57"<br>R=471.49'<br>L=197.08' | C5 Δ=36°15'57"<br>R=305.36'<br>L=193.28' |
| C3 Δ=27°36'13"<br>R=610.60'<br>L=294.17' |  |

### NOTES

1. UTILITY AND MINOR DRAINAGE EASEMENTS RESERVED 8 FEET WIDE ON THE INTERIOR SIDE OF ALL LOT LINES.
2. ALL MEASURED DIMENSIONS MATCH RECORDED DIMENSIONS, UNLESS OTHERWISE NOTED.
3. AT THE TIME OF BUILDING PERMIT APPLICATION, THE PETITIONER SHALL IDENTIFY BOTH PRIMARY AND SECONDARY SEPTIC DRAINFIELD AREAS AND HOLD THE SECONDARY DRAINFIELD AREA IN RESERVE.

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DEC 10 2004

Rapid City Growth Management Department

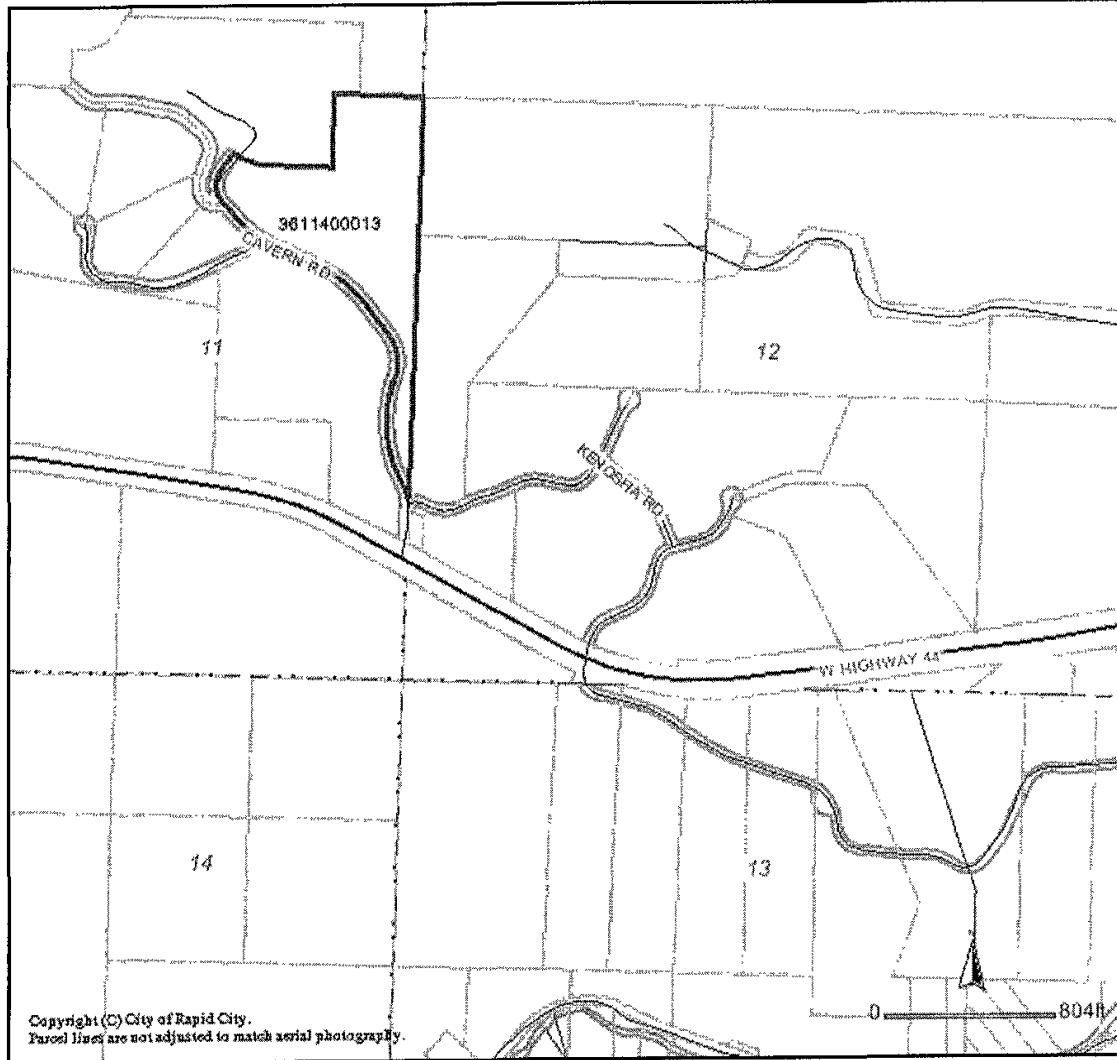
PREPARED BY:



**D.C. Scott Co.**  
 LAND SURVEYORS  
 3153 ANDERSON ROAD  
 RAPID CITY, SD 57703  
 (605) 393-2400

SECTION LINE RIGHT-OF-WAY (TYPICAL).  
 LOT 1  
 EN  
 ES  
 ST  
 AT  
 ES  
 S

# Rapid City Geographic Information System



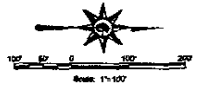
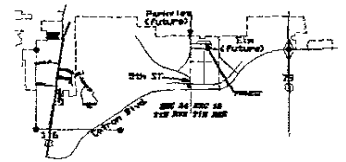
Copyright (C) City of Rapid City.  
Parcel lines are not adjusted to match aerial photography.

Notes:  
 Use 2004 City of Rapid City  
 Standard Specifications &  
 Details unless otherwise noted.

6" PVC Sewer Typ.  
 8", 12" PVC Water Typ.  
 (6" in cul-de-sac w/ city approval)  
 Palo Verde Elev. 3846

Std. C&G, 4 ft prop line sidewalk.  
 ROW and pavement within city stream.

LDR 2 with mix of single family  
 and townhome lots (> 17,000 +/-)



Legend

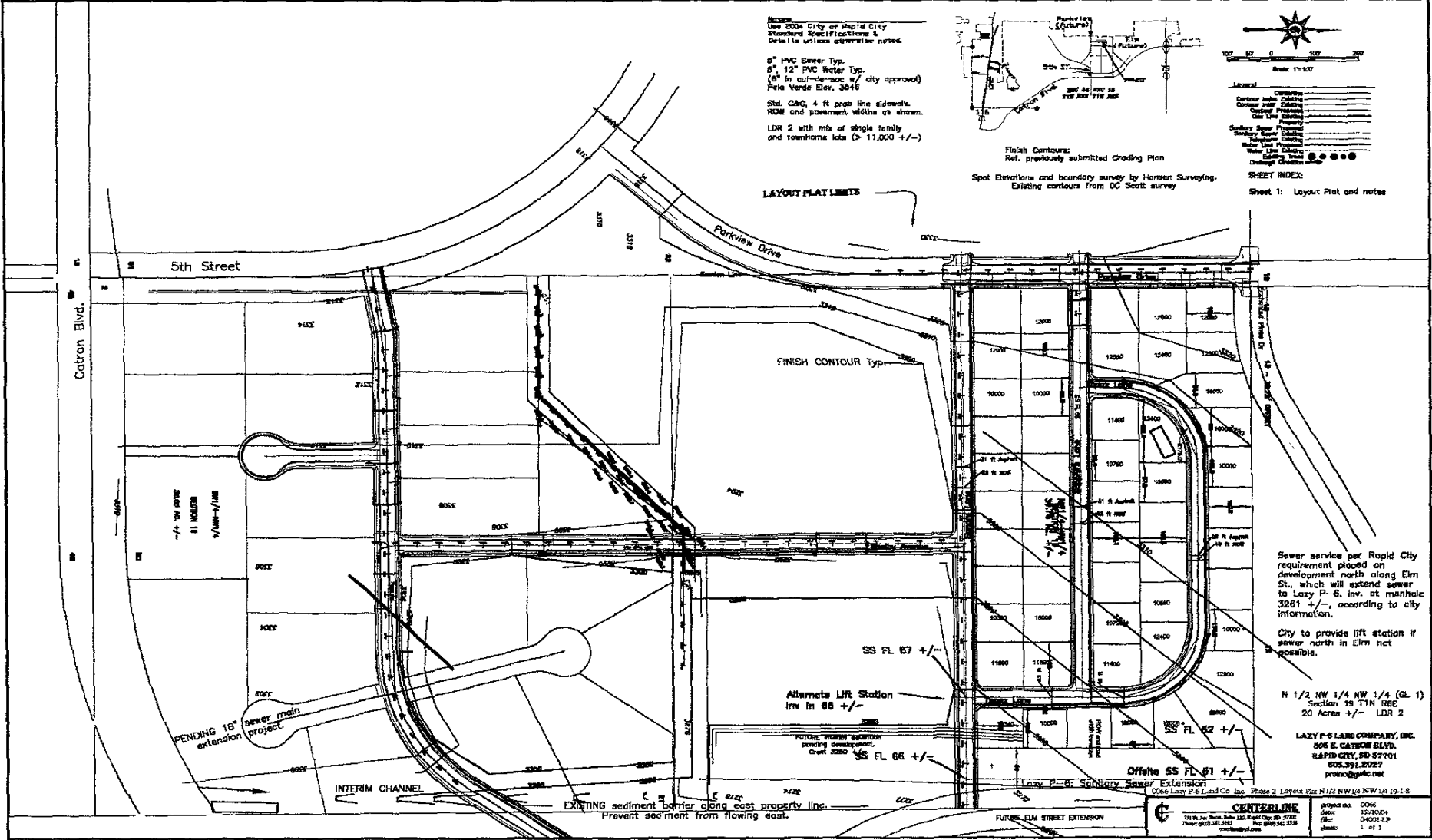
Contour	Existing
Contour	Proposed
Centerline	Proposed
Sanitary Sewer	Proposed
Water	Proposed
Water	Existing
Water	Proposed
Water	Existing
Water	Proposed
Water	Existing
Water	Proposed
Water	Existing

Finish Contours:  
 Ref. previously submitted Grading Plan

Spot Elevations and boundary survey by Hansen Surveying.  
 Existing contours from DC Sertt survey

SHEET INDEX:  
 Sheet 1: Layout Plat and notes

LAYOUT PLAT LIMITS



Sewer service per Rapid City  
 requirement placed on  
 development north along Elm  
 St., which will extend sewer  
 to Lazy P-6. Inv. at manhole  
 3281 +/-, according to city  
 information.

City to provide lift station if  
 sewer north in Elm not  
 possible.

N 1/2 NW 1/4 NW 1/4 (G.L. 1)  
 Section 19 T1N R6E  
 20 Acres +/- LDR 2

LAZY P-6 LAND COMPANY, INC.  
 506 E. CATRON BLVD.  
 S.F. 570-222, 50-57701  
 505.391.8227  
 pronoy@lpc.net

1/2" = 10' SCALE  
 81' MANHOLE  
 1/2" = 1' SCALE

PENDING 18" sewer main project.

SS FL 67 +/-

Alternate L/R Station  
 Inv In 66 +/-

FINISH: interim station  
 pending development.  
 Elev. 3280 +/-  
 SS FL 66 +/-

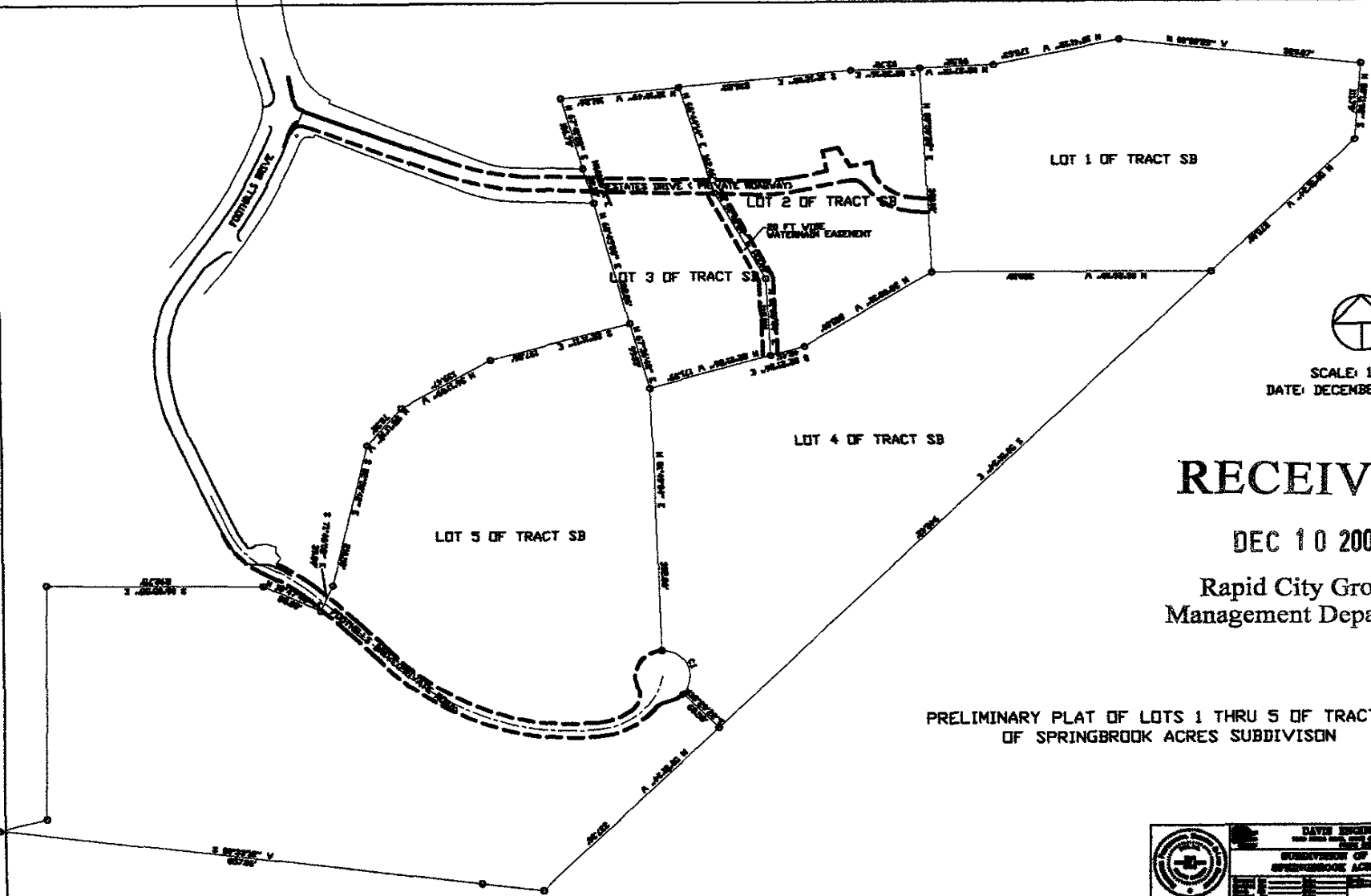
Offsite SS FL 81 +/-

Lazy P-6 Sanitary Sewer Extension  
 0206 Lazy P-6 Land Co. Inc. Phase 2 Layout Plat NW 1/4 19.1.8

EXISTING sediment barrier along east property line.  
 Prevent sediment from flowing east.

**CENTERLINE**  
 710 N. 2nd Street, Suite 100, Rapid City, SD 57701  
 Phone: (605) 341-3335 Fax: (605) 341-3336  
 www.centerline.com

Project No. 0206  
 Date: 12/10/04  
 Title: 040212.P  
 Sheet: 1 of 3



SCALE: 1"=60'  
 DATE: DECEMBER 10, 2004

**RECEIVED**

DEC 10 2004

Rapid City Growth  
 Management Department

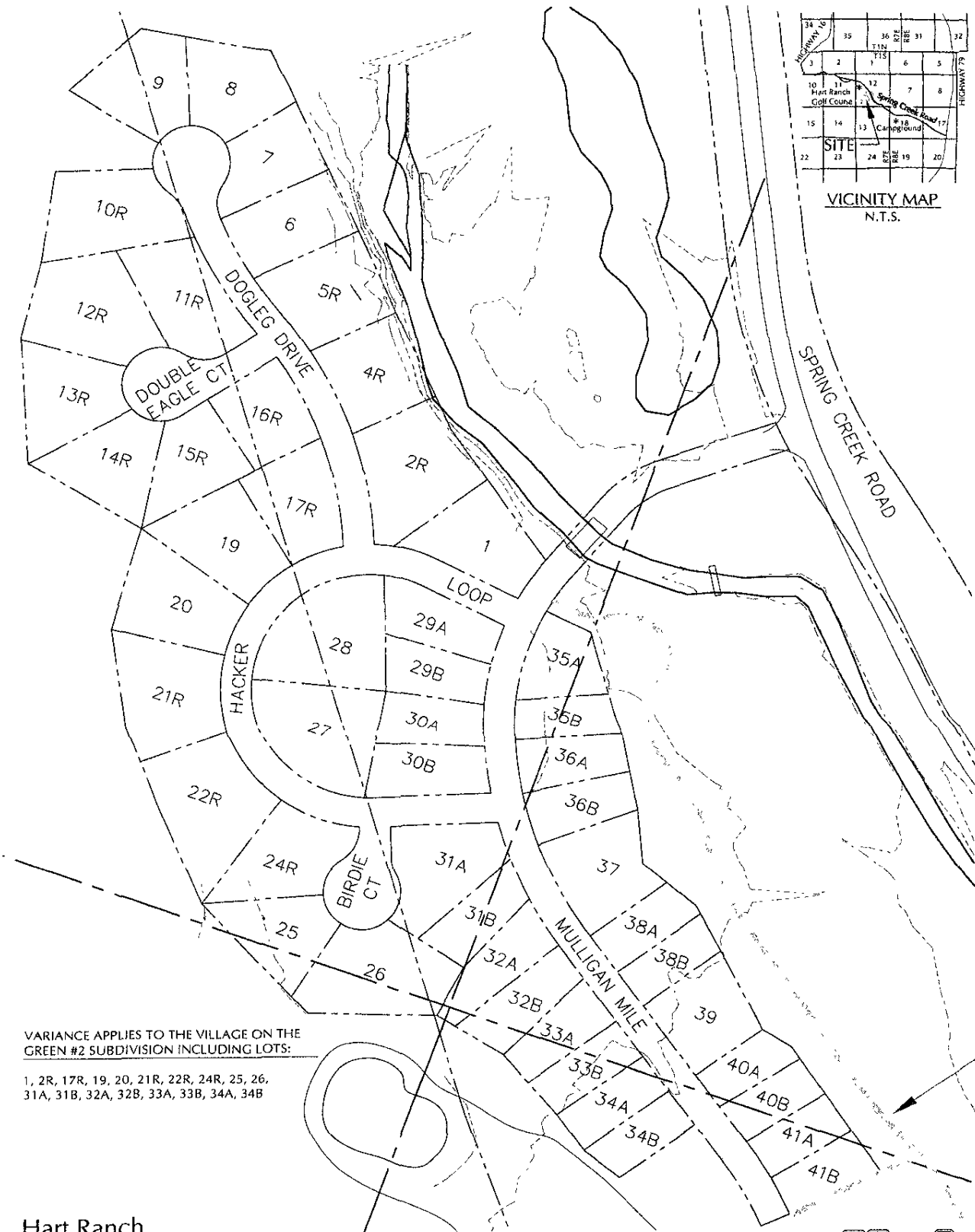
PRELIMINARY PLAT OF LOTS 1 THRU 5 OF TRACT SB  
 OF SPRINGBROOK ACRES SUBDIVISION



DAVID ENGELBRECHT, INC. <small>REGISTERED PROFESSIONAL ENGINEER</small>	
SUBDIVISION OF TRACT SB OF SPRINGBROOK ACRES SUBDIVISION	
DATE: DEC 10 2004	BY: [Signature]
TITLE: [Blank]	SCALE: [Blank]

34	35	36	37	38	39	40
T1N			R7E			
5	6	7	8	9	10	11
Hart Ranch Golf Course			Spring Creek Road			
12	13	14	15	16	17	18
SITE			Campground			
19	20	21	22	23	24	25

VICINITY MAP  
N.T.S.

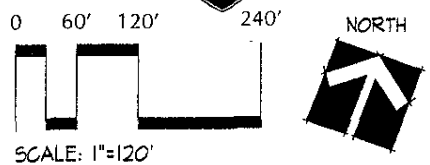


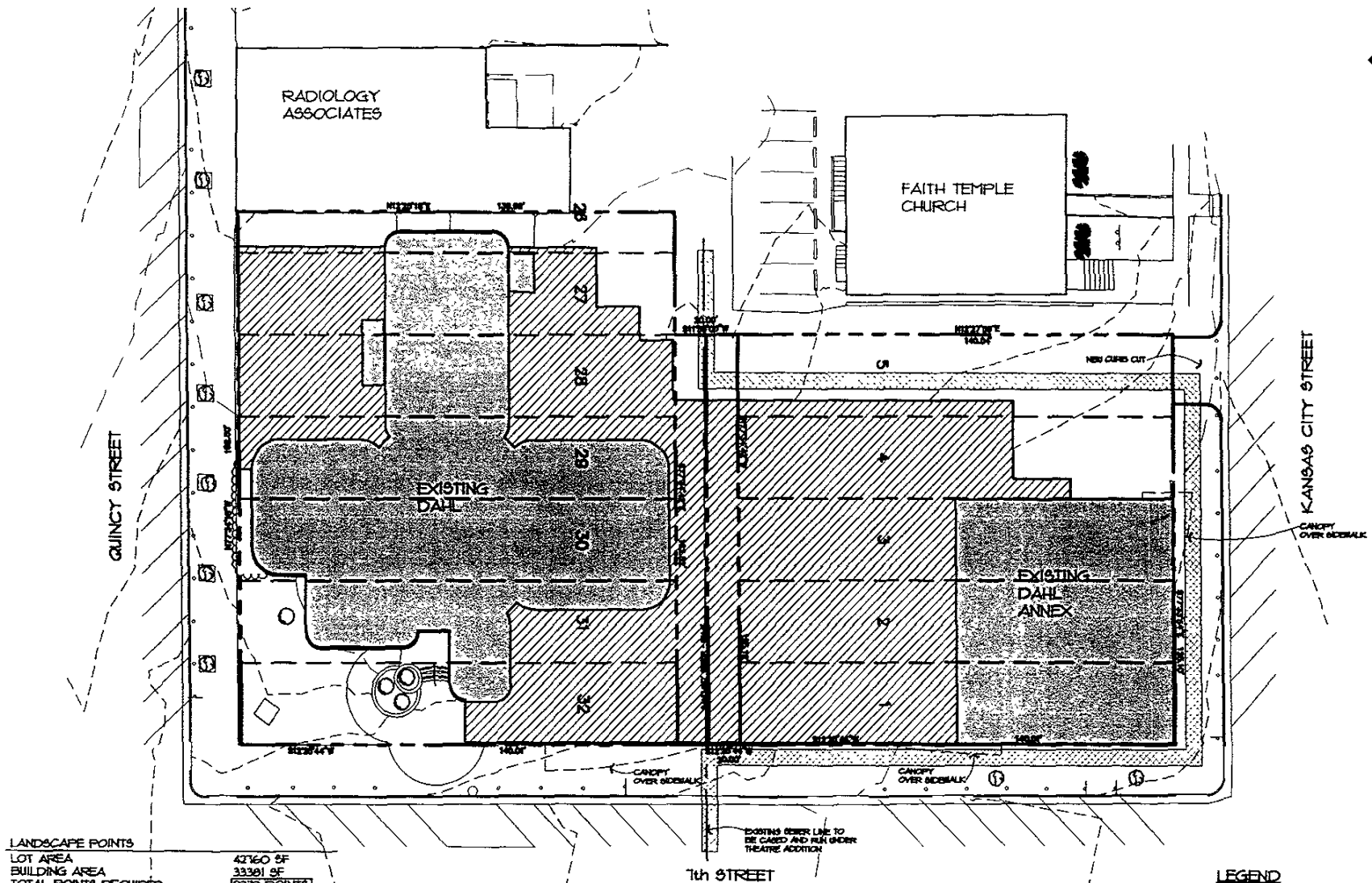
VARIANCE APPLIES TO THE VILLAGE ON THE GREEN #2 SUBDIVISION INCLUDING LOTS:

- 1, 2R, 17R, 19, 20, 21R, 22R, 24R, 25, 26, 31A, 31B, 32A, 32B, 33A, 33B, 34A, 34B

## Hart Ranch Subdivision Variance Exhibit

VILLAGE ON THE GREEN #2 SUBDIVISION  
BEING A PORTION OF SECTION 12 & 13,  
TOWNSHIP 1 SOUTH, RANGE 7 EAST,  
COUNTY OF PENNINGTON, STATE OF SOUTH DAKOTA  
October 29, 2004



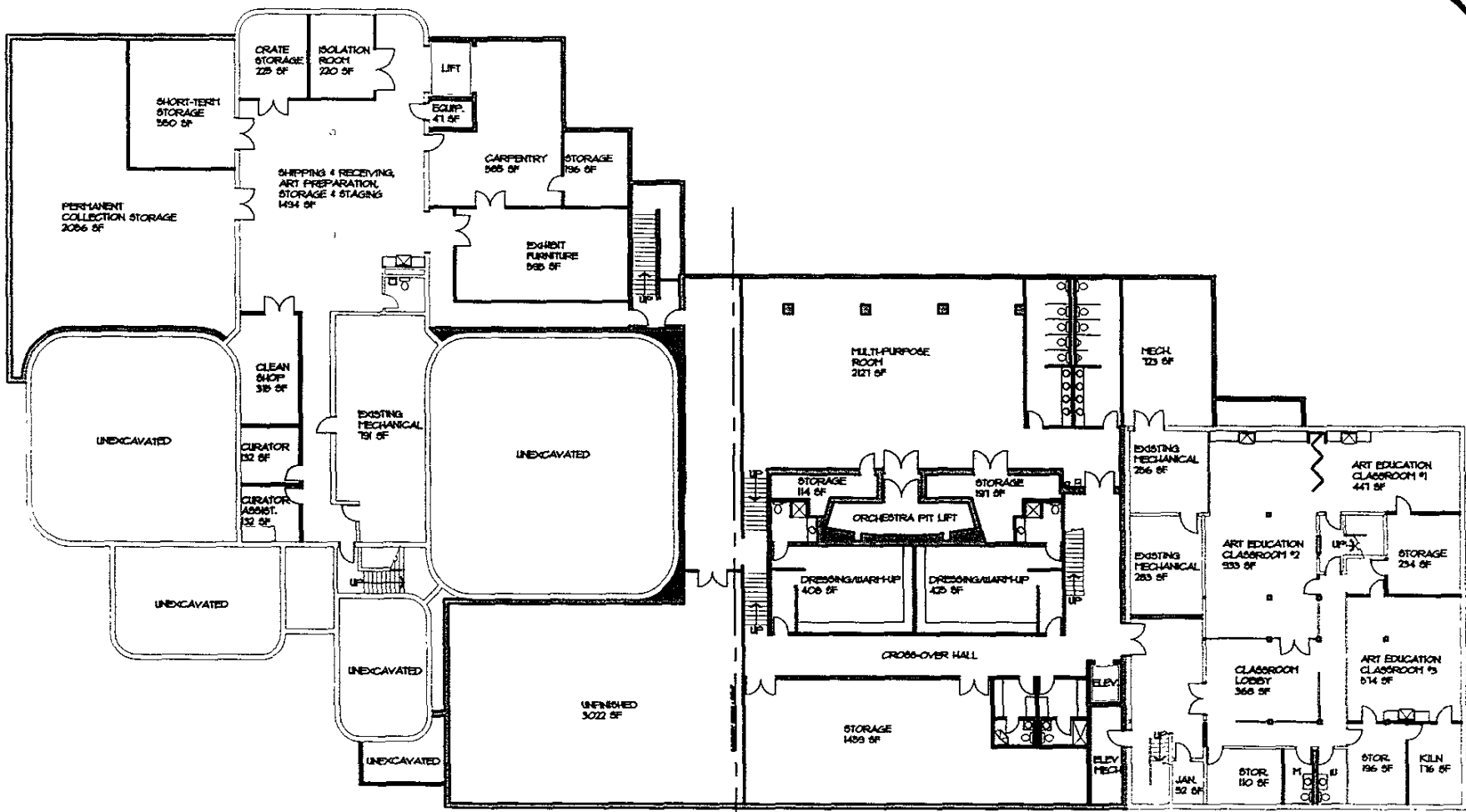


**LANDSCAPE POINTS**

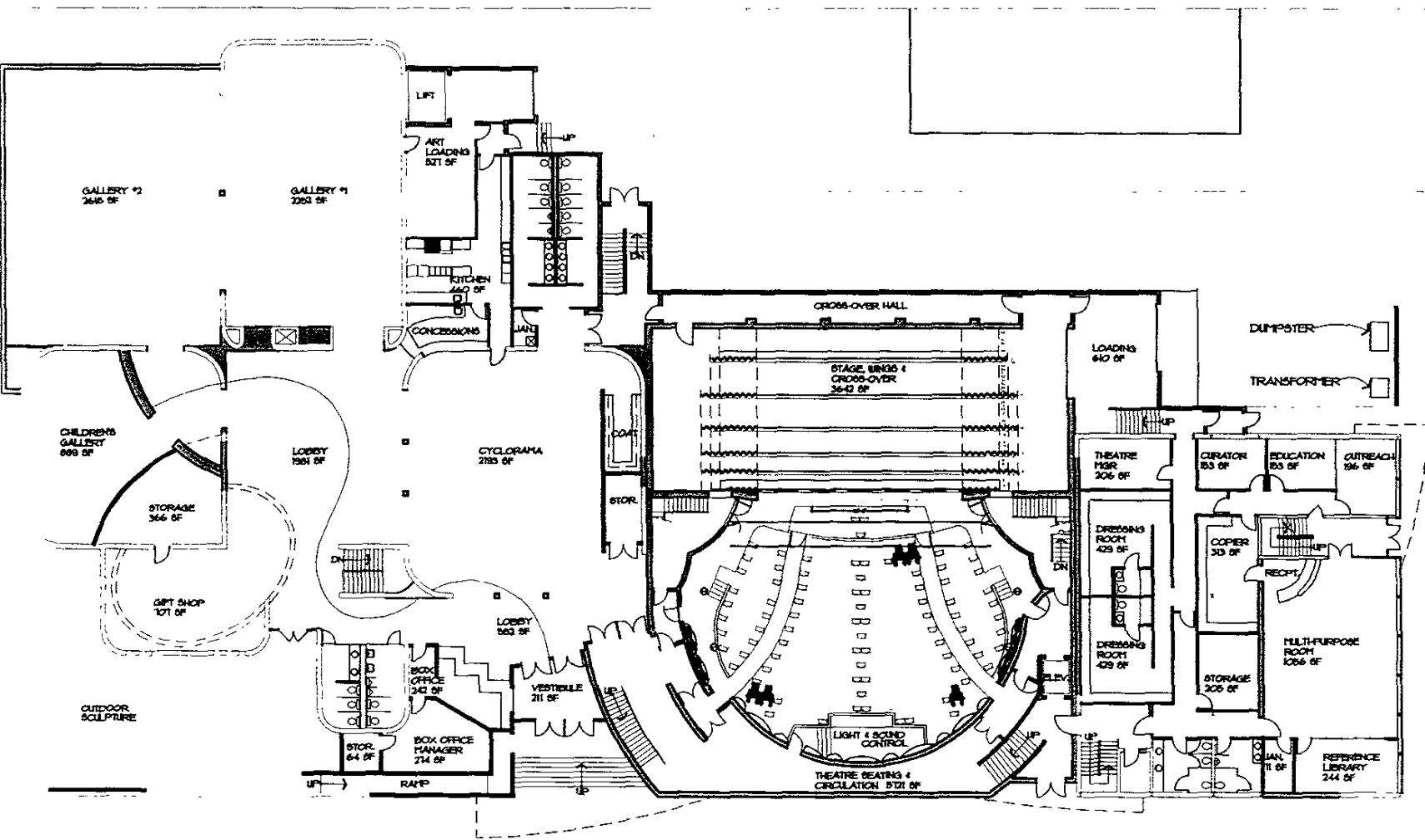
LOT AREA	42160 SF
BUILDING AREA	33361 SF
TOTAL POINTS REQUIRED	9375 POINTS
EXIST. TREES - 1 TREES IN ROW	3500 POINTS
EXIST. SHRUBS	500 POINTS
EXIST. GROUND COVER - 115 SF	1944 POINTS
EXIST. TURF - 1568 SF	1142 POINTS
NEW MEDIUM TREE	1000 POINTS
TOTAL POINTS PROVIDED	8626 POINTS

**1 SITE PLAN**  
P. 32-3

- LEGEND**
- EXISTING BUILDINGS
  - NEW CONSTRUCTION
  - PROPOSED ROUTE FOR UNDERGROUND UTILITY RELOCATION



**BASEMENT PLAN**  
 1" = 20'-0"



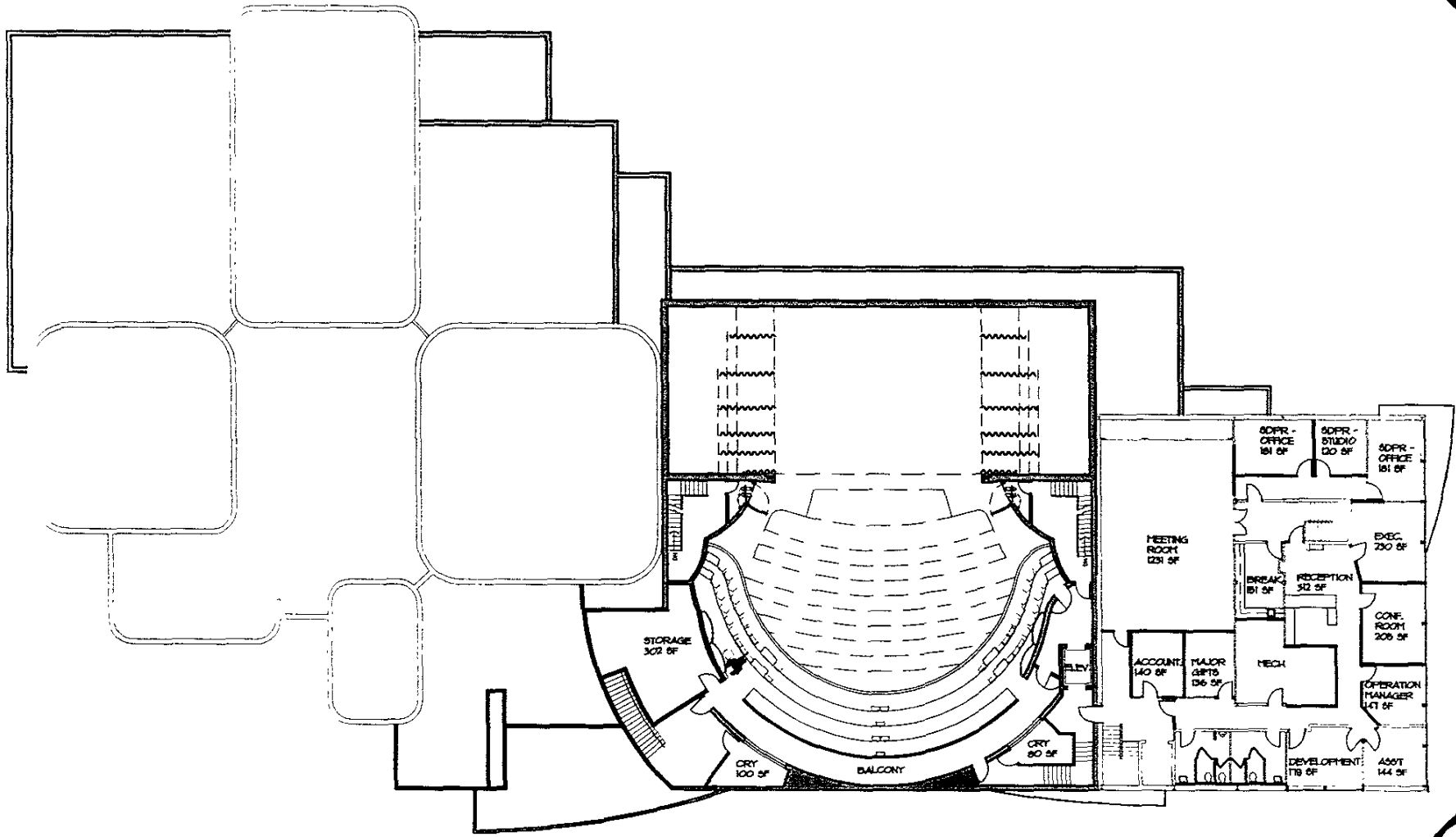
**DAHL ARTS CENTER EXPANSION**  
 180 SOUTH DAKOTA  
 RAPID CITY, SOUTH DAKOTA 57701-1504

**FIRST FLOOR PLAN**

**THURSTON DESIGN GROUP**  
 ARCHITECTS AND INTERIORS

**MAIN LEVEL PLAN**  
 1" = 20'-0"






**SECOND FLOOR PLAN**  
 1" = 20'-0"

**DAHL ARTS CENTER EXPANSION** 135  
 RAPID CITY, SOUTH DAKOTA 57102/04

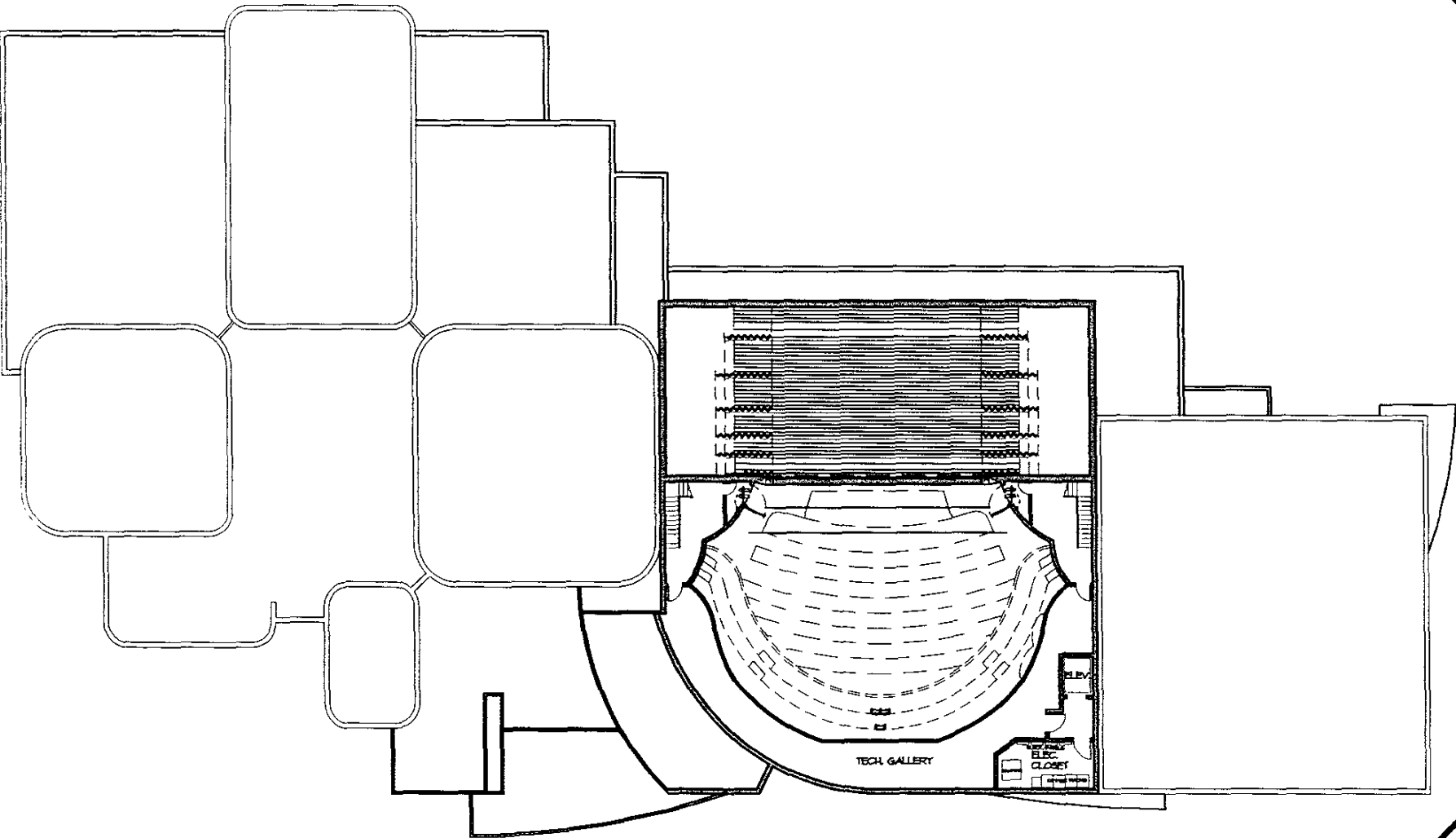
**SECOND FLOOR PLAN**

**THURSTON DESIGN GROUP**

DAHL ARTS  
CENTER EXPANSION  
RAPID CITY - SOUTH DAKOTA 12/10/04

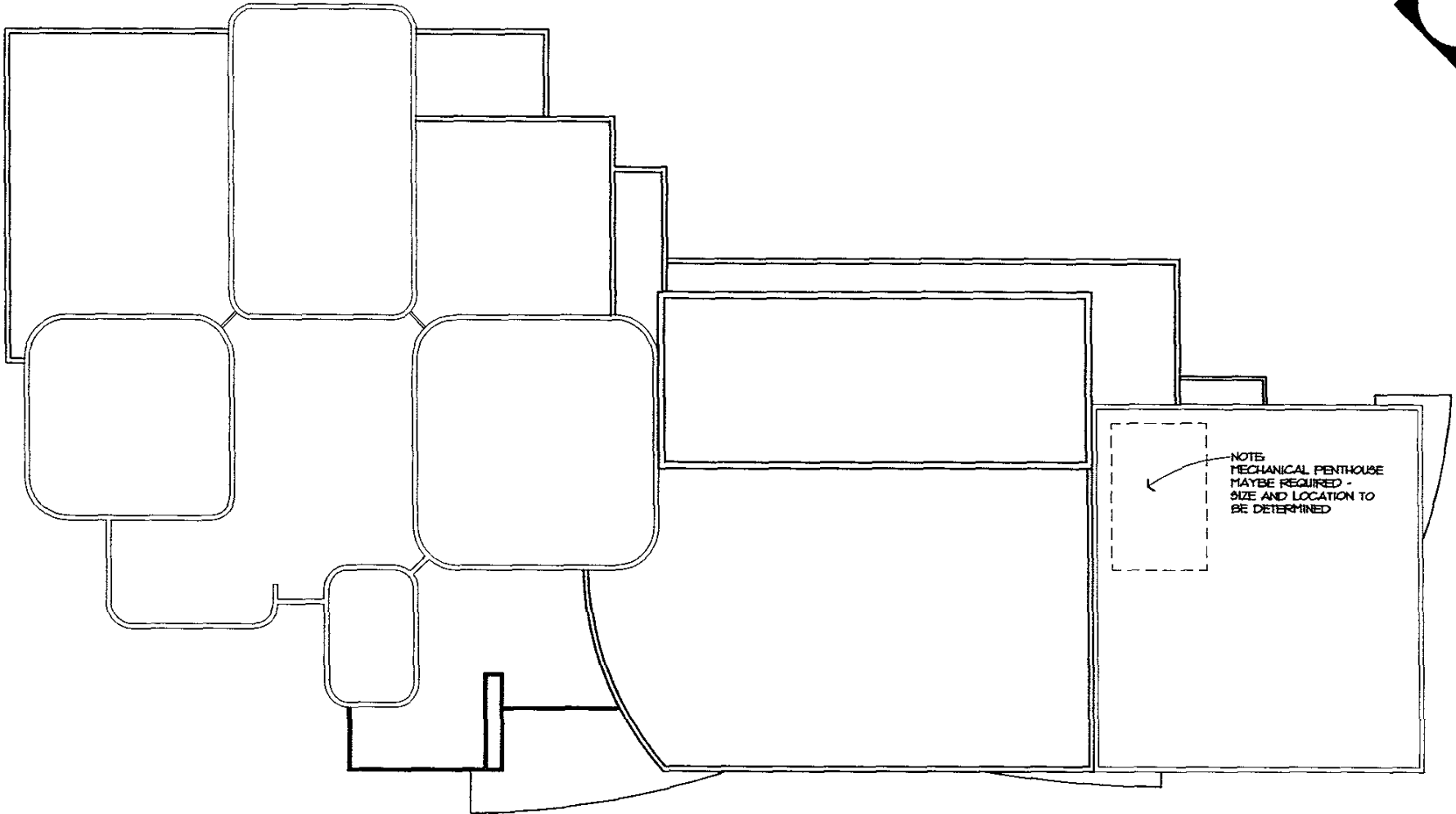
TECH. GALLERY  
FLOOR PLAN

ARCHITECTURE  
THURSTON DESIGN GROUP



**TECH. GALLERY PLAN**

1" = 20'-0"



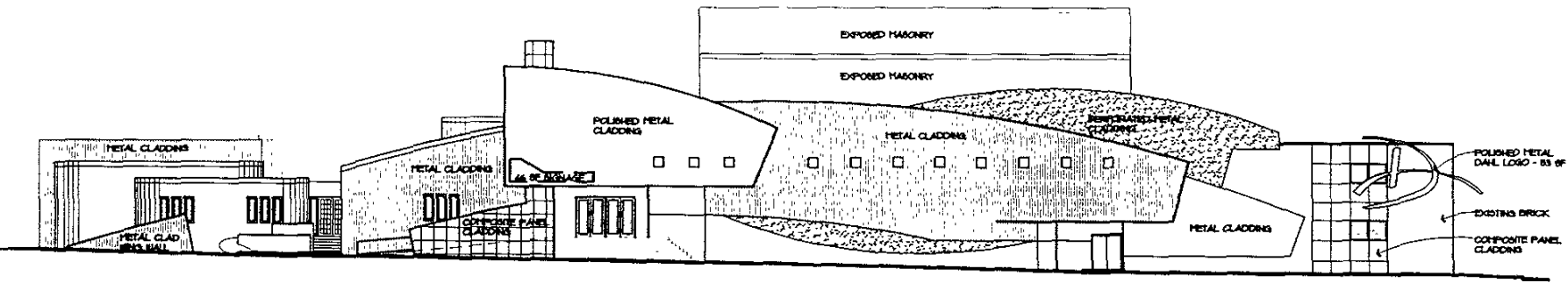
NOTE  
MECHANICAL PENTHOUSE  
MAYBE REQUIRED -  
SIZE AND LOCATION TO  
BE DETERMINED

1 ROOF PLAN  
P. 20-0'

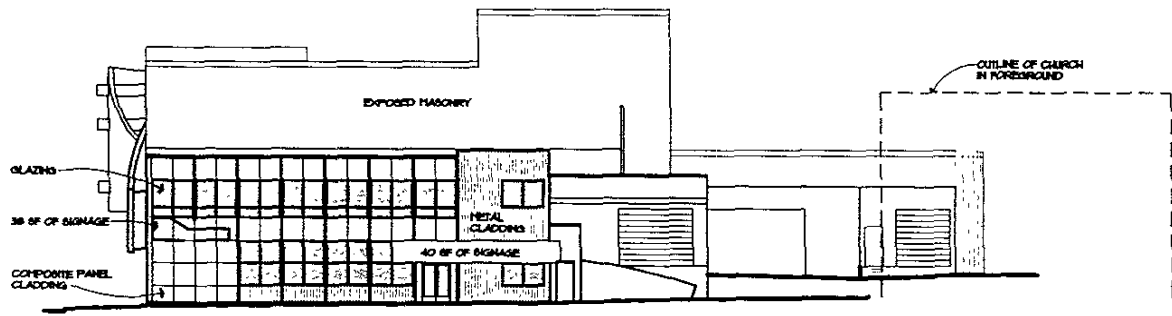
DAHL ART  
CENTER EXPANSION 108/107/04  
SOUTH DAKOTA 15/10/04  
SPLD CITY

ROOF  
PLAN

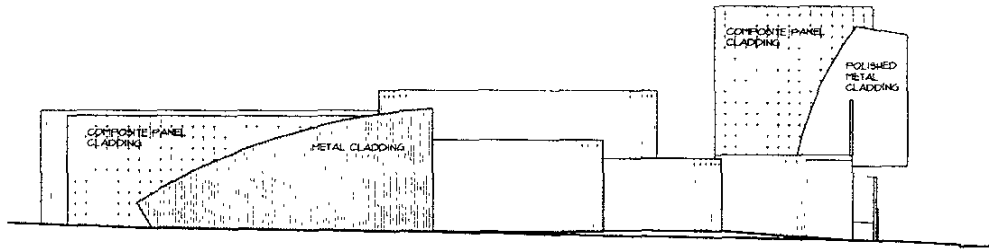
ARCHITECTURE  
THURSTON DESIGN GROUP



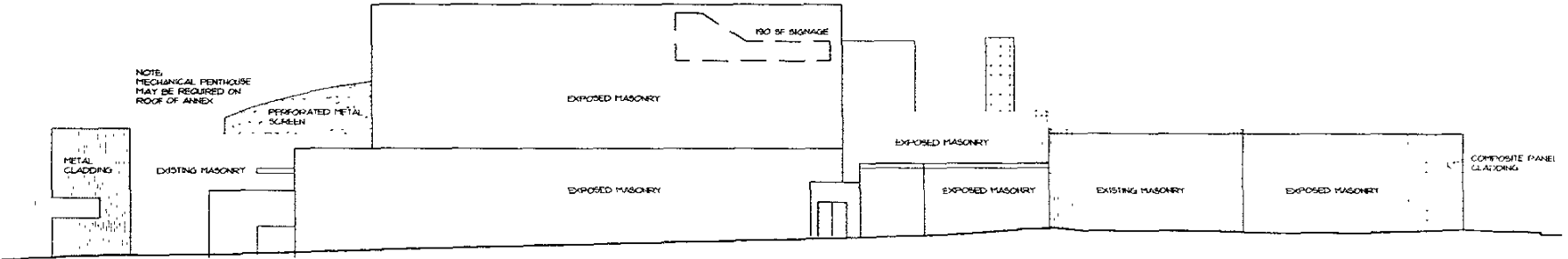
7TH STREET ELEVATION  
R16



KANSAS CITY STREET ELEVATION  
R16



⊙ QUINCY STREET ELEVATION  
NTS

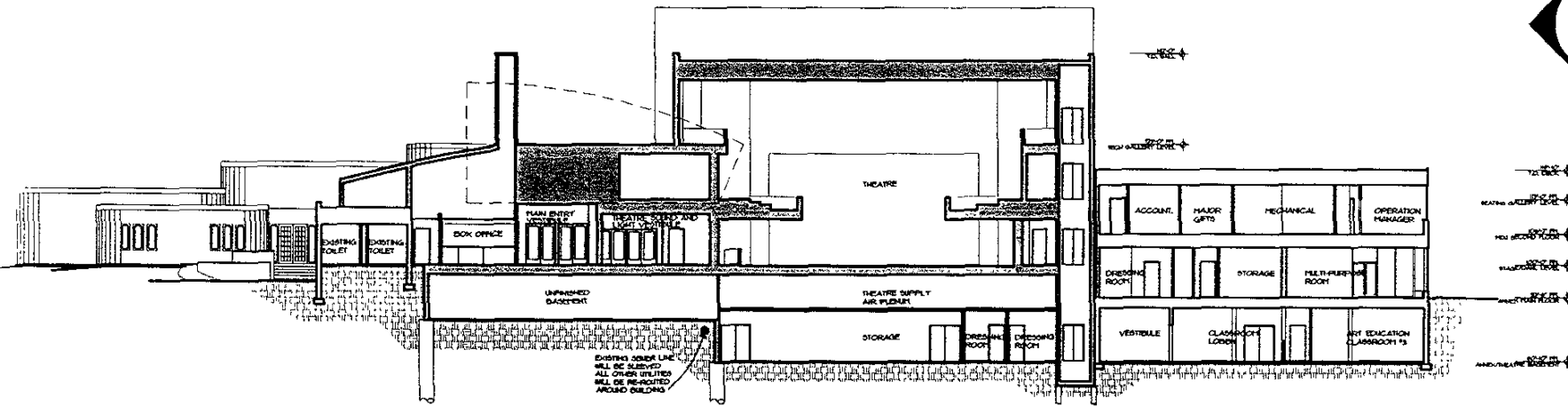


⊙ WEST (ALLEY) ELEVATION  
NTS

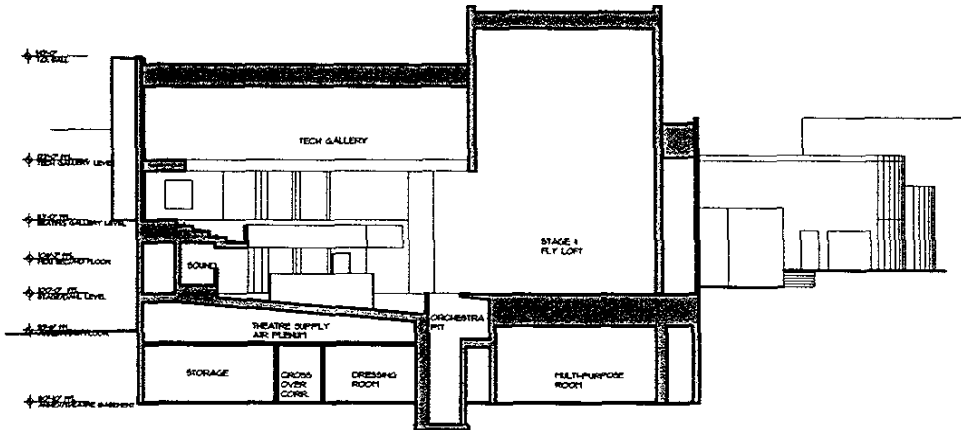
DAHL ARTS  
CENTER EXPANSION 135  
RAPID CITY, SOUTH DAKOTA 12/10/04

WEST AND SOUTH  
ELEVATIONS

ARCHITECTS  
THURSTON DESIGN GROUP  
1100 13th Street  
Rapid City, SD 57701  
605.342.1111  
www.thurstondesign.com



1 NORTH - SOUTH BUILDING SECTION  
N.T.S.



2 EAST - WEST BUILDING SECTION  
N.T.S.

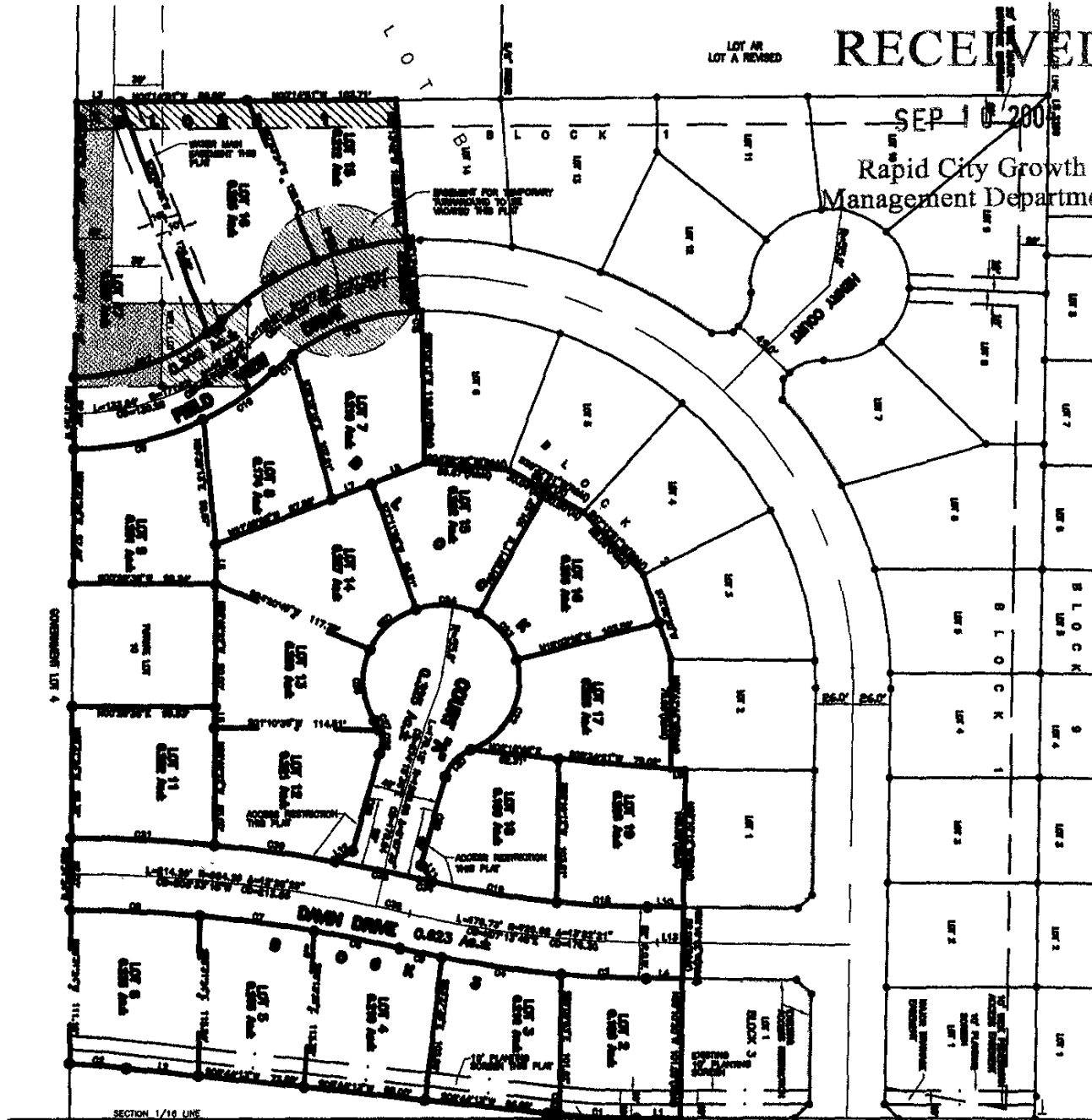
DAHL ARTS CENTER EXPANSION 10/17/04  
 RAPID CITY, SOUTH DAKOTA 12/17/04  
 BUILDING SECTIONS  
 ARCHITECTURE

**PLAT OF  
 LOTS 15 THRU 17 OF BLOCK 1, LOTS 7 THRU 19 OF BLOCK 2,  
 AND LOT 2 THRU 6 OF BLOCK 3,  
 KENNSINGTON HEIGHTS SUBDIVISION  
 (formerly a portion of Lot B of "Government" Lot 4)  
 LOCATED IN "GOVERNMENT" LOT 4  
 SECTION 18, T1N, R8E, BHM,  
 RAPID CITY, PENNINGTON COUNTY, SOUTH DAKOTA**

**RECEIVED**

SEP 10 2004

Rapid City Growth  
 Management Department



SEPT 10 2004  
 N.T.S.

TRACT B OF PARCEL C  
 M&K SUBDIVISION

UTILITY EMBANKMENTS AS  
 SHOWN IN PLAT BOOK  
 ST. FILE 74

SEE VIEW  
 UTILITY EMBANKMENT

REMAINDER OF TRACT A  
 OF PARCEL C  
 M&K SUBDIVISION

# KATELAND SUBDIVISION

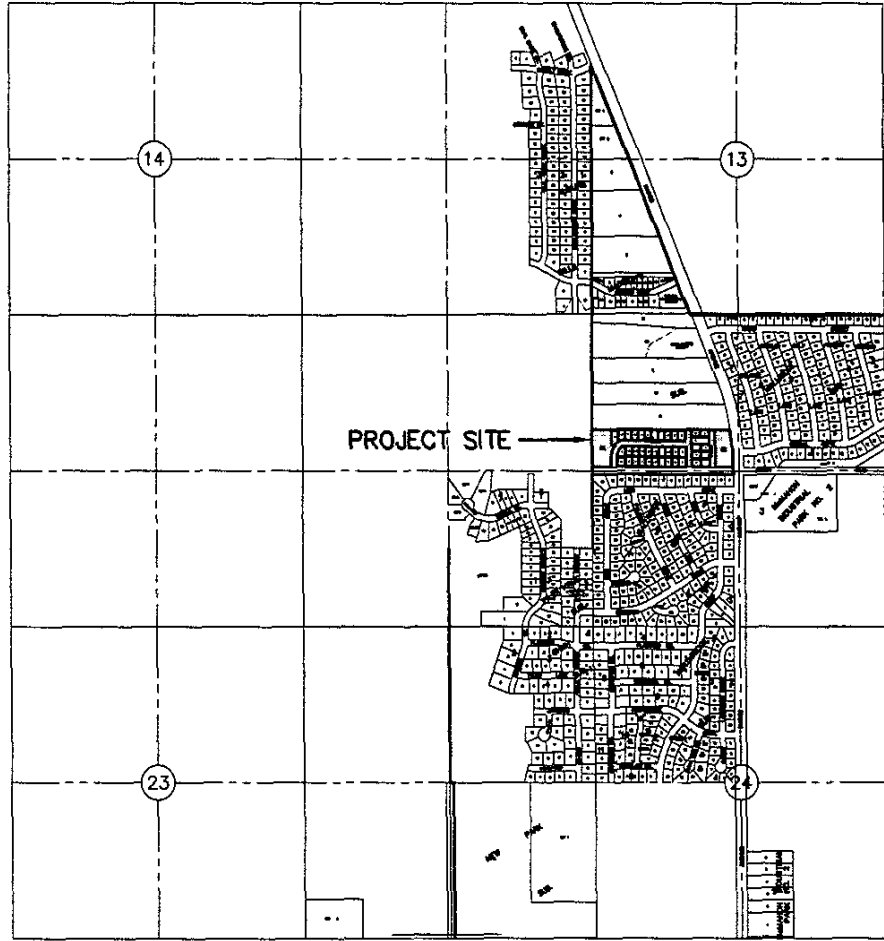
## PRELIMINARY PLAT & FINAL PLANNED DEVELOPMENT

### DECEMBER 2004

**F M G, Inc.**  
 1000 South Main Street  
 Rapid City, SD 57702-0017  
 (605) 342-4105 FAX (605) 348-4322



Title No. **011318**  
 Location: **SD/23, SEC. 13 & 23/14**  
**SEC. 23, T23, R23, S23**  
 Prepared by: **DLK/ML**  
 Drawn by: **DLK/ML**  
 Checked by: **DLK/ML**  
 Date: **12/10/04**



**CONSTRUCTION NOTES**

1. THE CONTRACTOR SHALL BELINE ALL REQUIRED POINTS PRIOR TO BEGINNING WORK.
2. ALL CENTER LINES MAY NOT BE SHOWN OR THE LOCATIONS MAY VARY FROM THAT SHOWN. THE CONTRACTOR IS RESPONSIBLE TO HAVE ALL UTILITIES LOCATED PRIOR TO BEGINNING WORK.
3. PROVIDE TRAFFIC CONTROL DURING CONSTRUCTION IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
4. ALL WORK SHALL COMPLY WITH CURRENT CITY OF RAPID CITY STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
5. THE SITE GRADING, DRAINAGE AND PLACEMENT OF FILL SHALL BE IN ACCORDANCE WITH CURRENT REGULATIONS AND PROCEDURES FOR SUBDIVISION CONSTRUCTION IN RAPID CITY, SD. THE SD REG. HAS NOT CONDUCTED A GEOLOGICAL EVALUATION OF THIS SITE. THE SD REG. MAKES NO REPRESENTATION OR WARRANTY EITHER EXPRESSED OR IMPLIED OF THE ACCURACY OF SO, AND EXISTING CONDITIONS FOR SUBDIVISION, UTILITIES AND OTHER STRUCTURES. APPROVED/DESIGNED/SPECIFIED BY THE ACCURACY OF THE DRAWING AND THE PLACEMENT OPERATIONS.

**INDEX OF SHEETS**

1. TITLE SHEET
- 2-3. PRELIMINARY PLAT
4. MASTER PLAN
5. GRADING & STREET DETAILS
- 6-13. PLAN & PROFILE

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DEC 10 2004

Rapid City Growth  
Management Department

VICINITY MAP  
SCALE: 1" = 300'

PROPOSED KATELAND SUBDIVISION  
 RAPID CITY, SD  
 DECEMBER 2004

Revision / Date

Sheet Name

**TITLE SHEET**

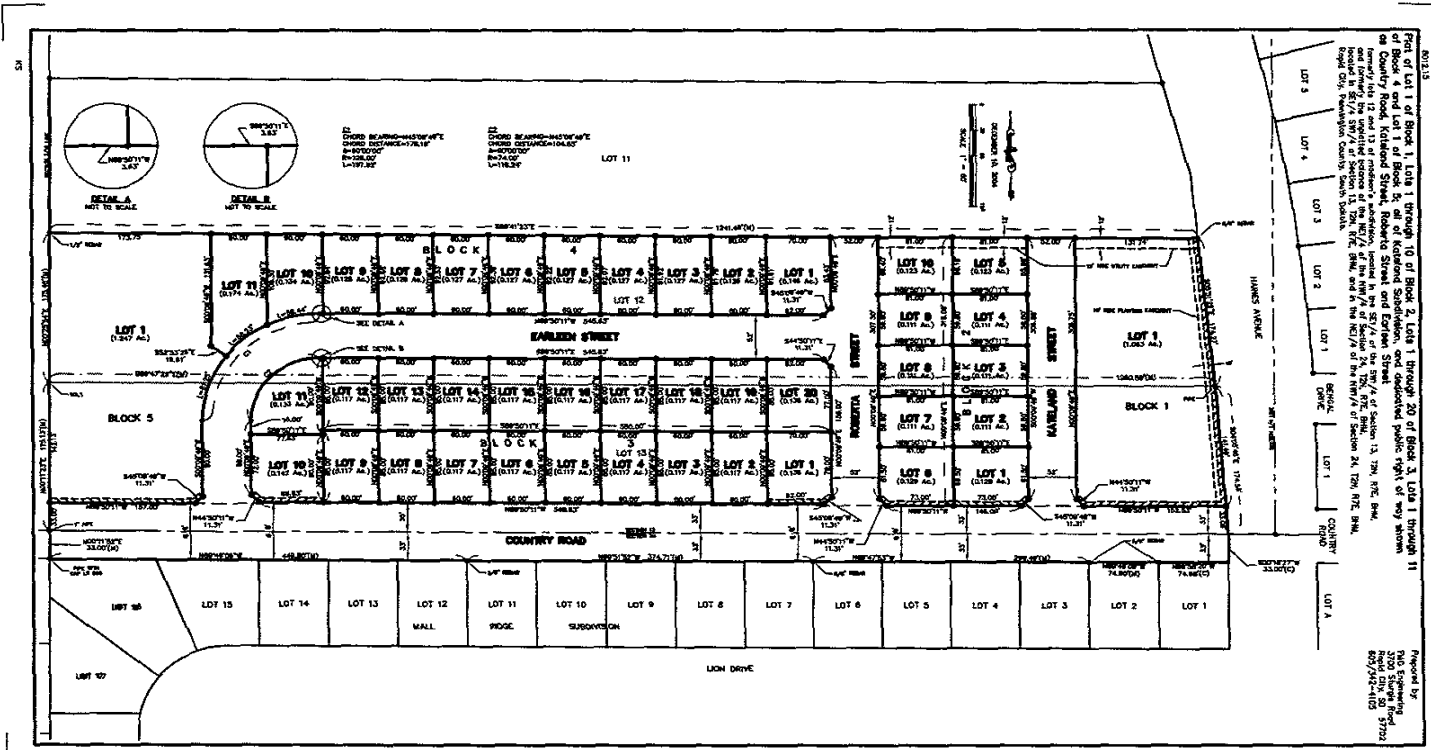
Sheet Number

**1**

Total Sheets

**13**





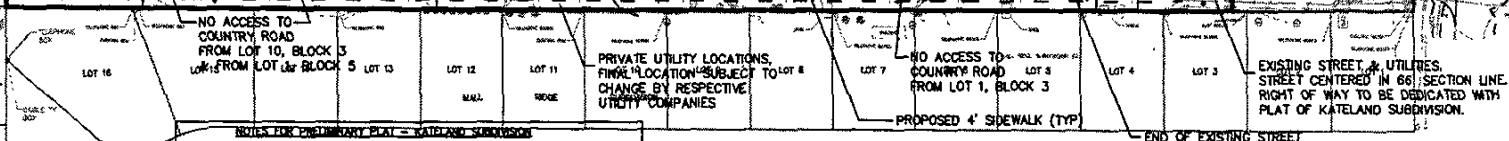
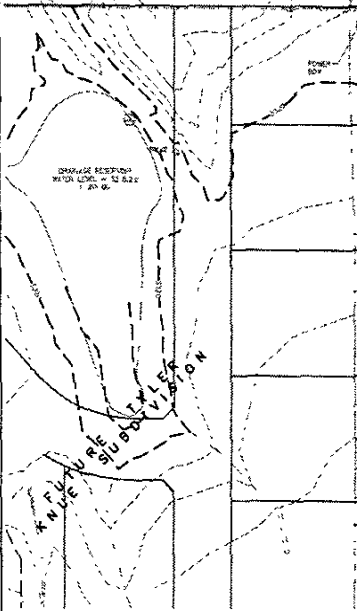
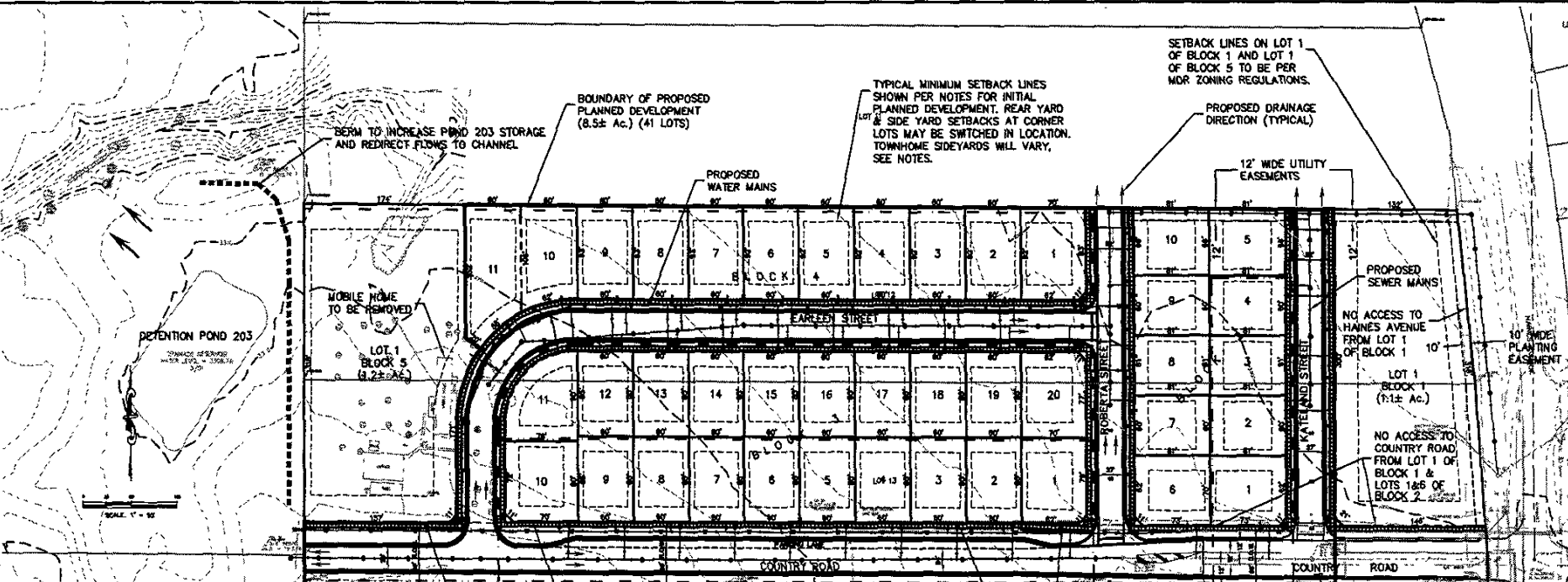
Prepared by: **FMG, Inc.**  
 3100 North Street  
 Rapid City, SD 57702-2037  
 605/342-4100 FAX: 605/342-4222

Proposed by: **FMG, Inc.**  
 3100 North Street  
 Rapid City, SD 57702-2037  
 605/342-4100 FAX: 605/342-4222



File No: 0122-0  
 Sheet Section: 13  
 Job No: 0122-013  
 Subdivision: 0122-013

**PROPOSED KATELAND SUBDIVISION**  
 RAPID CITY, SD



**NOTES FOR FINAL PLANNED DEVELOPMENT — KATELAND SUBDIVISION**

**1. GENERAL INFORMATION OF PRELIMINARY PLAN**

1.1 - THE PRELIMINARY PLAN FOR KATELAND SUBDIVISION IS FOR LOT 1 OF BLOCK 1, LOTS 1-14 OF BLOCK 3, LOTS 1-20 OF BLOCK 5, LOTS 1-13 OF BLOCK 4, AND LOT 1 OF BLOCK 6. AREA OF PRELIMINARY PLAN IS 17.14± ACRES.

1.2 - LOTS 1-14 OF BLOCK 3, LOTS 1-14 OF BLOCK 4, AND LOTS 1-14 OF BLOCK 5 ARE ALSO PROPOSED AS A PLANNED DEVELOPMENT AS SHOWN ON THE FINAL PLANNED DEVELOPMENT PLAN.

1.3 - LOT 1 OF BLOCK 1 AND LOT 1 OF BLOCK 2 ARE NOT WITHIN THE PROPOSED PLANNED DEVELOPMENT. LOT 1 OF BLOCK 2 AND LOT 1 OF BLOCK 3 ARE TO BE DEVELOPED WITH A LANE THAT IS ALLOWED BY LOCAL ZONING REGULATIONS. IN GENERAL, THE USE ZONING REGULATIONS ALLOW FOR AND THE PROVISIONS IN THE USE ZONING REGULATIONS SHALL COMPLY WITH LOCAL ZONING REGULATIONS EXCEPT AS OTHERWISE SPECIFIED BY PLANNED DEVELOPMENT EXEMPTIONS TO THE ZONING REGULATIONS IN SECTION 2 BELOW AND THE PLANNED DEVELOPMENT EXEMPTIONS TO OTHER CITY ORDINANCES AND SUBDIVISION ORDINANCES AS SHOWN IN SECTION 3 BELOW.

1.4 - OTHER EXISTING UTILITIES SHALL BE AS SHOWN WITH APPROVAL OF THE CITY ENGINEER.

**2. GENERAL INFORMATION OF SUBDIVISION PLAN**

2.1 - NO ACCESS SHALL BE ALLOWED ON ALL STREETS EXCEPT FOR COUNTRY ROAD, SPECIAL EXCEPTION FOR KATELAND STREET AND ROBERTA STREET AS PREVIOUSLY APPROVED AT LAYOUT PLAT.

2.2 - IF THE DRIVEWAY AND UTILITY CONNECTIONS ALLOWED ON SIDE AND REAR LOT LINES. THIS SPECIAL EXCEPTION AND PREVIOUSLY APPROVED AT LAYOUT PLAT.

2.3 - NO TEMPORARY TRAVELERS AT END OF COUNTRY ROAD, ROBERTA STREET, AND KATELAND STREET. THIS EXCEPTION IS PREVIOUSLY APPROVED AT LAYOUT PLAT.

**3. SUBDIVISION INFORMATION FOR EXEMPTION**

3.1 - ALL EXEMPTIONS AND SPECIAL EXCEPTIONS NOT REQUIRED SHALL HAVE BEEN PREVIOUSLY APPROVED BY THE CITY ENGINEER AND SPECIAL EXCEPTIONS NOT REQUIRED SHALL BE SUBJECT TO THE CITY ENGINEER'S APPROVAL.

3.2 - VARIANCE TO MAKE THE NEIGHBORHOOD TO CONTRIBUTE TO THE SOUTH SIDE OF COUNTRY ROAD.

3.3 - VARIANCE TO ALLOW A 12 FOOT SIDE YARDSET BACK FROM SIDE.

**4. UTILITIES INFORMATION FOR EXEMPTION**

4.1 - STREET SEWER SPEED IS 36 MPH.

4.2 - COUNTRY ROAD SHALL BE 60' EAST OF ROBERTA STREET, BETWEEN ROBERTA STREET & EAKES STREET AND 60' WEST OF EAKES STREET.

4.3 - STREET SEWER ALLOW ON STREET PAVEMENT ON BOTH SIDES OF ALL STREETS EXCEPT COUNTRY ROAD. PAVEMENT ON COUNTRY ROAD SHALL BE PROVIDED BETWEEN ROBERTA STREET & EAKES STREET ON THE WEST SIDE OF STREET AT THE PAVEMENT LANE BOUNDARY. NO PAVEMENT SHALL BE PROVIDED ON COUNTRY ROAD BETWEEN PAVEMENT LANE AT ALL LOCATIONS OTHER THAN THE PAVEMENT LANE.

4.4 - ALL THE STREET SHALL BE 7' WEST PROPERTY LINE MEASURED AS SHOWN ON GRADING AND PROPOSED.

4.5 - ALL THE STREET SHALL COMPLY WITH CITY OF RAPID CITY SPECIFICATIONS.

4.6 - NO STREET SIDEWALK CONNECTIONS SHALL BE PROVIDED TO THE STREET.

4.7 - PUBLIC WATER AND SEWER TO ALL LOTS.

**NOTES FOR FINAL PLANNED DEVELOPMENT — KATELAND SUBDIVISION**

**1. GENERAL INFORMATION OF SUBDIVISION PLAN**

1.1 - KATELAND SUBDIVISION SHALL BE SUBDIVIDED INTO LOTS AS SHOWN HEREON. THE EXISTING DRIVEWAY AND UTILITY CONNECTIONS SHALL BE AS SHOWN WITH APPROVAL OF THE CITY ENGINEER. THE EXISTING DRIVEWAY AND UTILITY CONNECTIONS SHALL BE AS SHOWN WITH APPROVAL OF THE CITY ENGINEER. THE EXISTING DRIVEWAY AND UTILITY CONNECTIONS SHALL BE AS SHOWN WITH APPROVAL OF THE CITY ENGINEER.

1.2 - IF THE DRIVEWAY AND UTILITY CONNECTIONS ALLOWED ON SIDE AND REAR LOT LINES. THIS EXCEPTION IS PREVIOUSLY APPROVED AT LAYOUT PLAT.

1.3 - NO TEMPORARY TRAVELERS AT END OF COUNTRY ROAD, ROBERTA STREET AND KATELAND STREET. THIS EXCEPTION IS PREVIOUSLY APPROVED AT LAYOUT PLAT.

1.4 - OTHER EXISTING UTILITIES SHALL BE AS SHOWN WITH APPROVAL OF THE CITY ENGINEER.

**2. PLANNED DEVELOPMENT EXEMPTIONS TO OTHER CITY ORDINANCES AND SUBDIVISION ORDINANCES**

2.1 - FLOOD PLANE

2.2 - VARIANCE FROM PLANS SHALL BE DEVELOPED TO FIT WITH THE PROPOSED SETBACKS AND EXEMPTIONS TO OTHER CITY ORDINANCES.

2.3 - VARIANCE FROM PLANS SHALL BE DEVELOPED TO FIT WITH THE PROPOSED SETBACKS AND EXEMPTIONS TO OTHER CITY ORDINANCES.

2.4 - IF THE DRIVEWAY AND UTILITY CONNECTIONS ALLOWED ON SIDE AND REAR LOT LINES. THIS EXCEPTION IS PREVIOUSLY APPROVED AT LAYOUT PLAT.

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4.6 - NO STREET SIDEWALK CONNECTIONS SHALL BE PROVIDED TO THE STREET.

4.7 - PUBLIC WATER AND SEWER TO ALL LOTS.

**PROPOSED KATELAND SUBDIVISION**  
RAPID CITY, SD

DATE: 10/20/2021

BY: [Signature]

FOR: [Signature]

SCALE: 1" = 50'

**F M G, Inc.**

3700 Burgin Road  
Rapid City, SD 57702-0317  
(605) 342-4105 FAX (605) 342-4222

Sheet Name: MASTER PLAN

Sheet Number: 4

Total Sheets: 13

DATE: 10/20/2021

BY: [Signature]

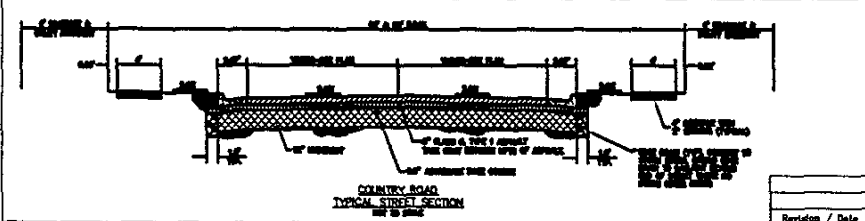
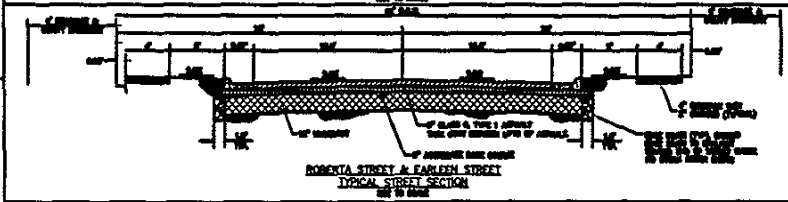
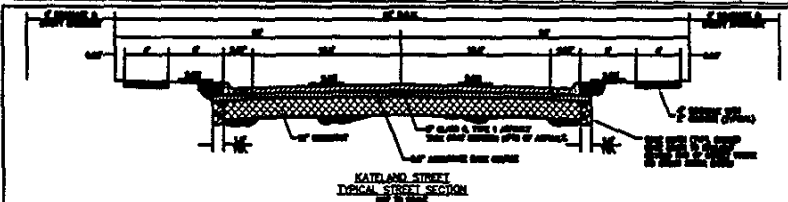
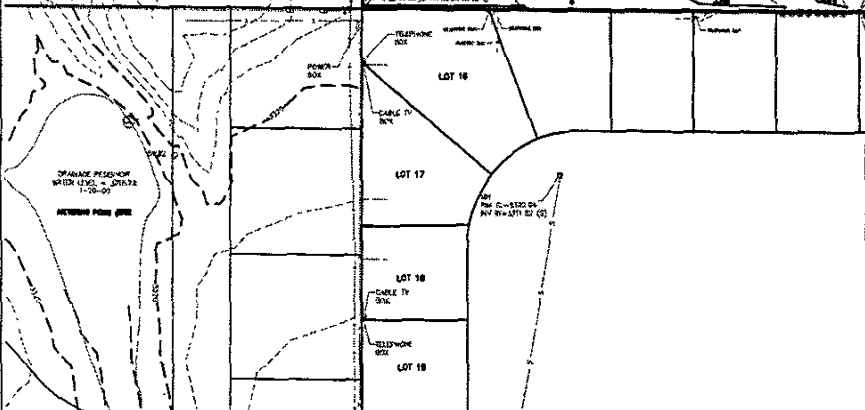
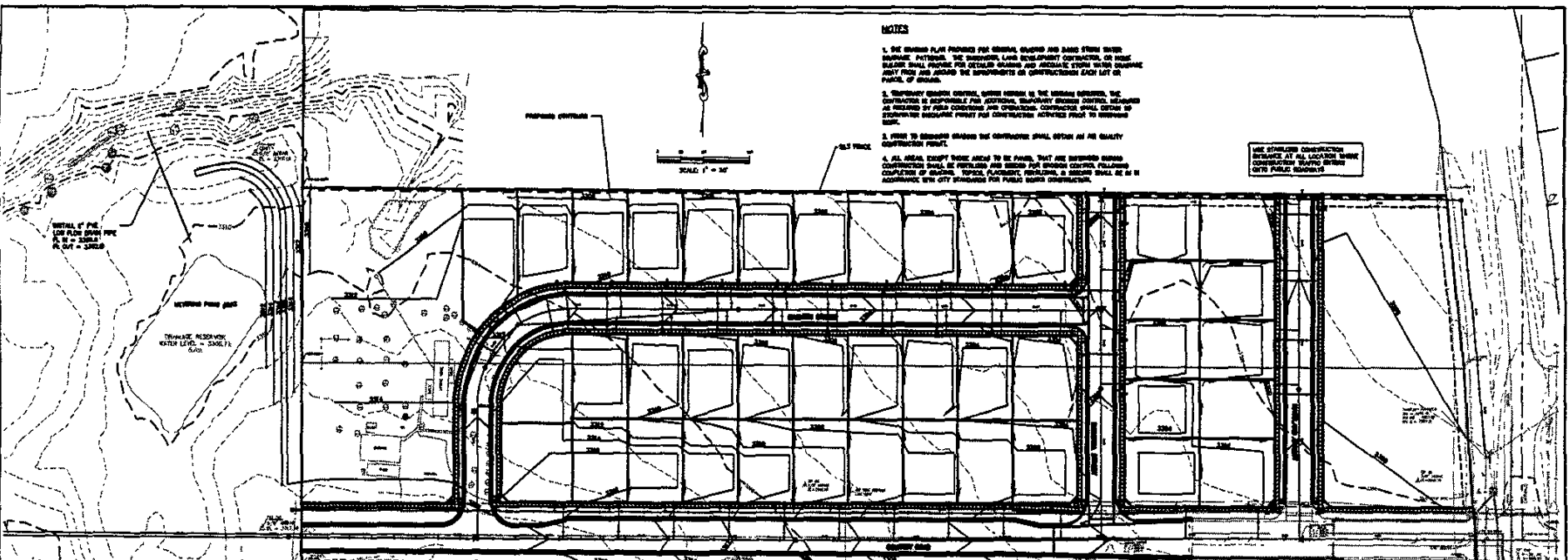
FOR: [Signature]

SCALE: 1" = 50'

**NOTES**

1. THE SHOWN PLAN PORTIONS FOR ORIGINAL GRADING AND DRAIN STORM WATER DRAINAGE PATTERNS. THE SUBSEQUENT LAND DEVELOPMENT CONTRACTOR OR OTHER HOLDER SHALL PROVIDE FOR DETAIL GRADING AND DRAINAGE FROM WITHIN THE LOT PLAN AND AROUND THE IMPROVEMENTS ON EACH LOT IN ACCORDANCE WITH CITY STANDARDS FOR PUBLIC WORKS CONSTRUCTION.
2. SURVEYOR'S BOUNDARY CONTROL, SPARSE HEREIN IN THE VERTICAL ALIGNMENT, THE CONTRACTOR IS RESPONSIBLE FOR ACQUIRING, MAINTAINING BOUNDARY CONTROL, MEASUREMENTS AS REQUIRED BY PUBLIC CONDITIONS AND OPERATIONS. CONTRACTOR'S OBLIGATION OF MAINTAINING BOUNDARY CONTROL SHALL BE COMPLETED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. PRIOR TO COMMENCEMENT THE CONTRACTOR SHALL NOTIFY AN AS BUILT CONSTRUCTION POINT.
4. ALL AREAS, EXCEPT THOSE AREAS TO BE PAVED, THAT ARE IMPROVED HEREON CONSTRUCTION SHALL BE FURTHEL AND SURETY FOR BOUNDARY CONTROL FOLLOWING COMPLETION OF ORIGINAL, UTILITY, PLUMBING, & ELECTRICAL SHALL BE IN ACCORDANCE WITH CITY STANDARDS FOR PUBLIC WORKS CONSTRUCTION.

ALL UTILITIES CONSTRUCTION SHALL BE AT ALL LOCATIONS SHOWN UNLESS OTHERWISE NOTED ON THIS PUBLIC RECORD.



<p><b>PROPOSED KATLAND SUBDIVISION</b> RAPID CITY, SD</p>	<p>SEE PLAN SHEET: R12.15 R12.16 &amp; R12.17 R12.18, 20, 21 R12.22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100</p>	<p><b>F M G, Inc.</b> 3700 Shurliga Road Rapid City, SD 57702-0317 (605) 942-4108 FAX (605) 942-4222</p>	<p>Sheet Name: <b>GRADING &amp; STREET DETAILS</b></p>	<p>Sheet Number: <b>5</b></p>
	<p>ORDINANCE NO. _____ APPROVED BY: _____ DATE: _____</p>		<p>Total Sheets: <b>13</b></p>	



File No. 1813.0  
 SHEET NUMBER 13  
 T.S. P.C. 804  
 Approved By: [Signature]  
 Date: 5/28/2004

Designed By: [Signature]  
 Drawn By: [Signature]  
 Checked By: [Signature]

**PROPOSED KATELAND SUBDIVISION**  
 RAPID CITY, SD

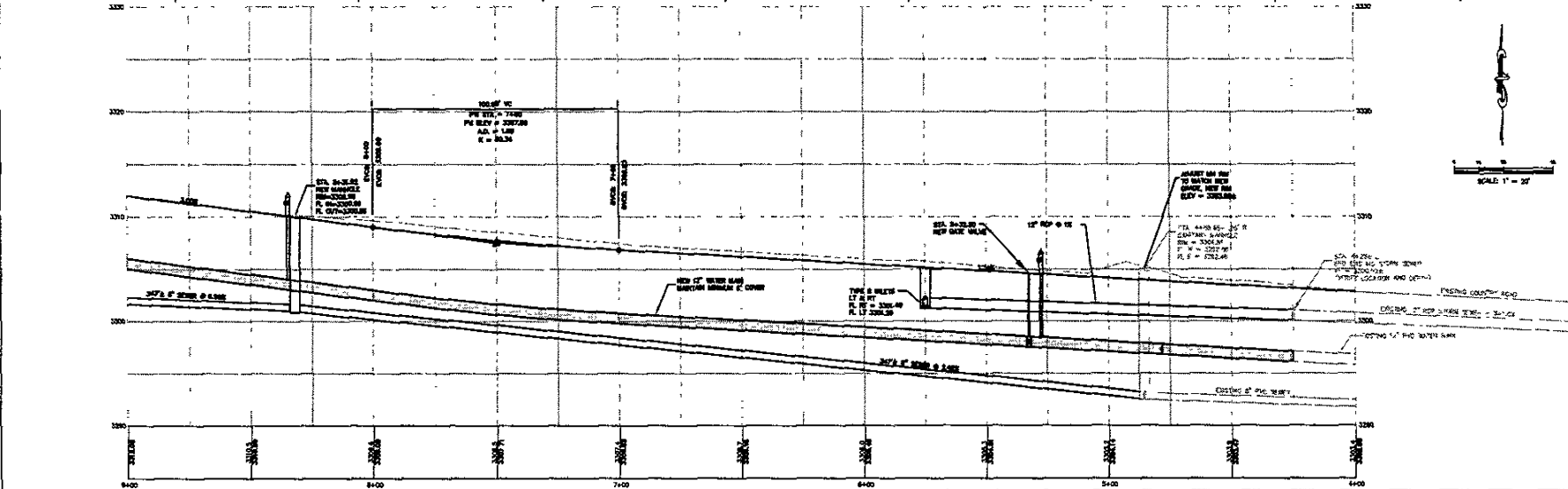
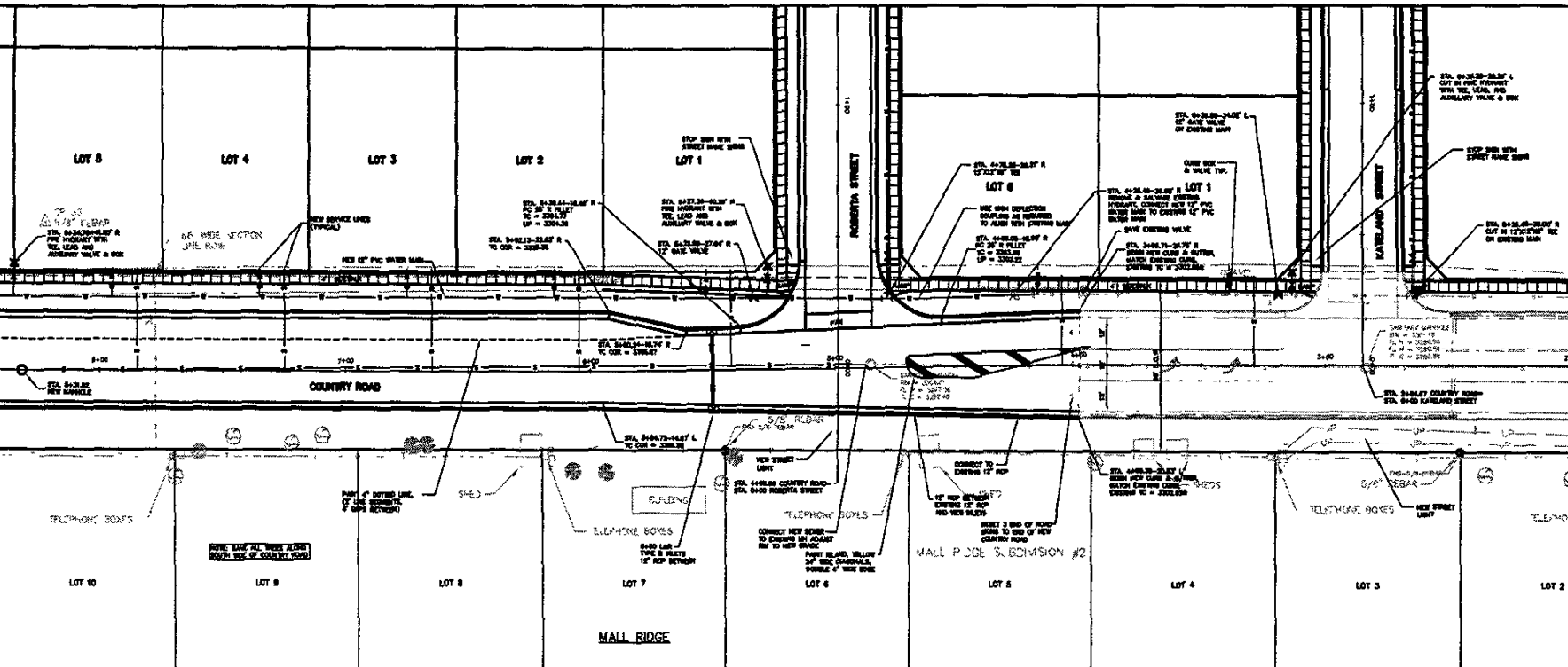
Revision / Date

Sheet Name:  
**COUNTRY ROAD  
 PLAN AND  
 PROFILE**

Sheet Number:

**6**

Total Sheets  
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 Location: 301/4 SECTION 13  
 T2N, 27E, 25N  
 Drawn by: J.E.  
 Checked by: J.E.

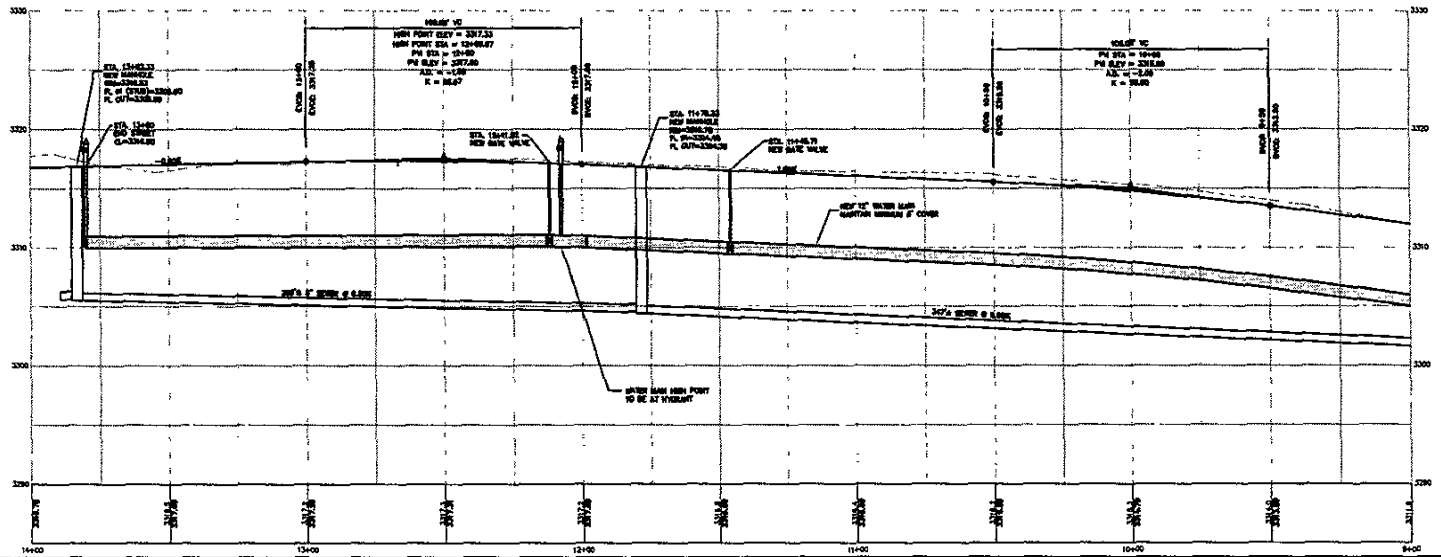
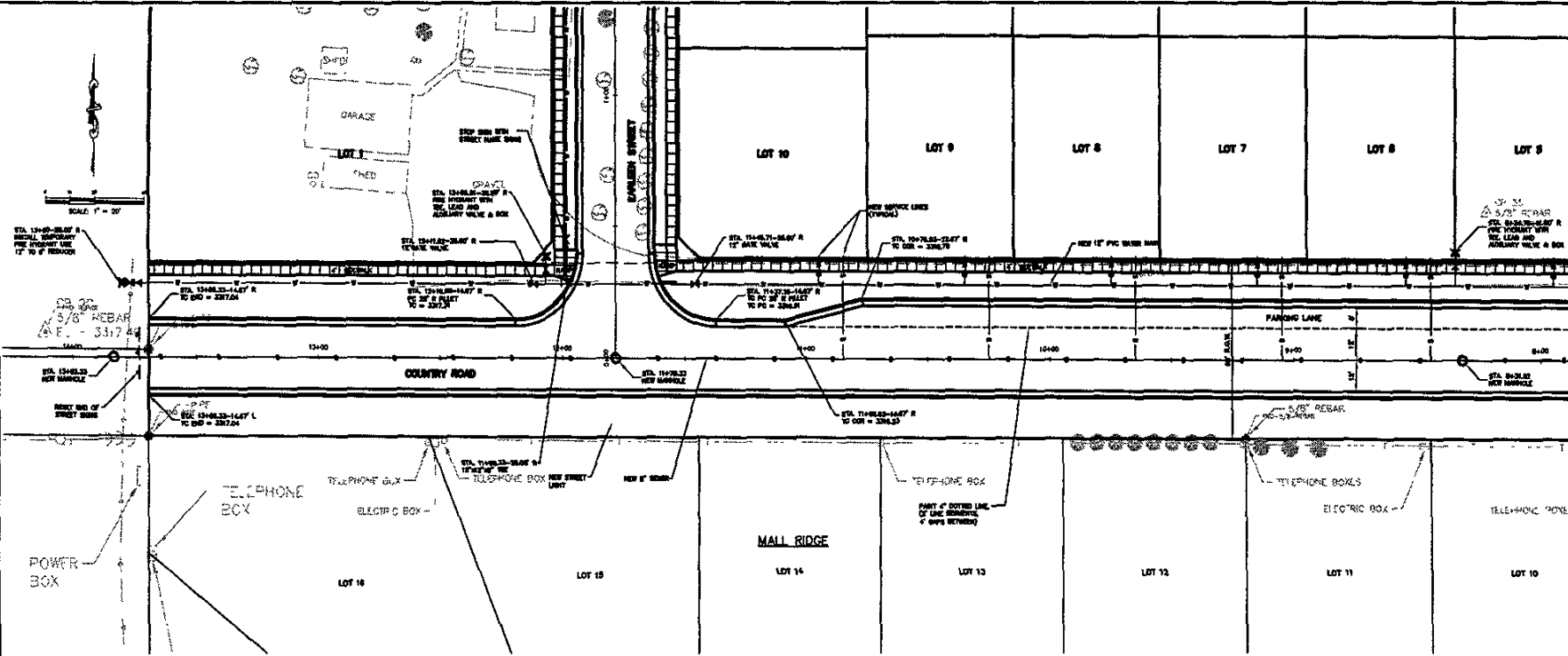
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 RAPID CITY, SD

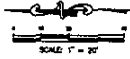
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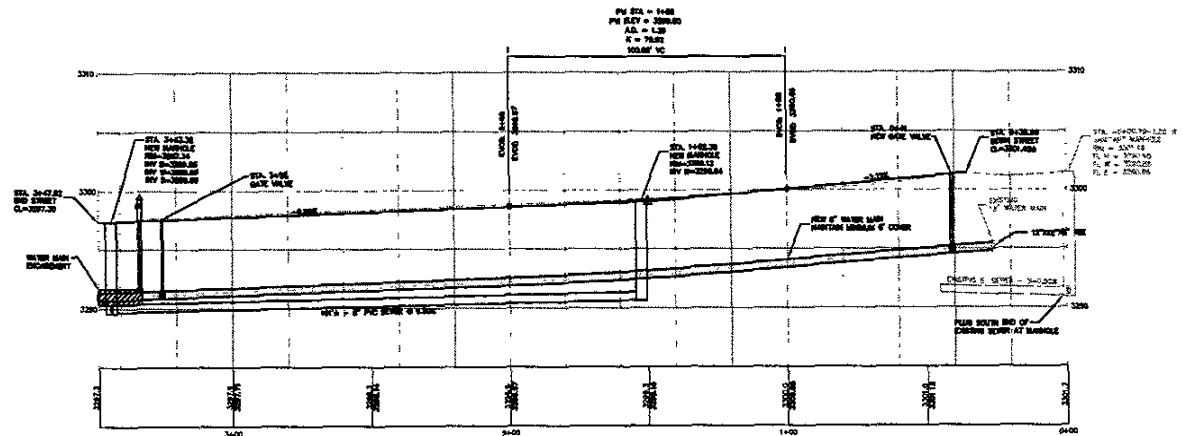
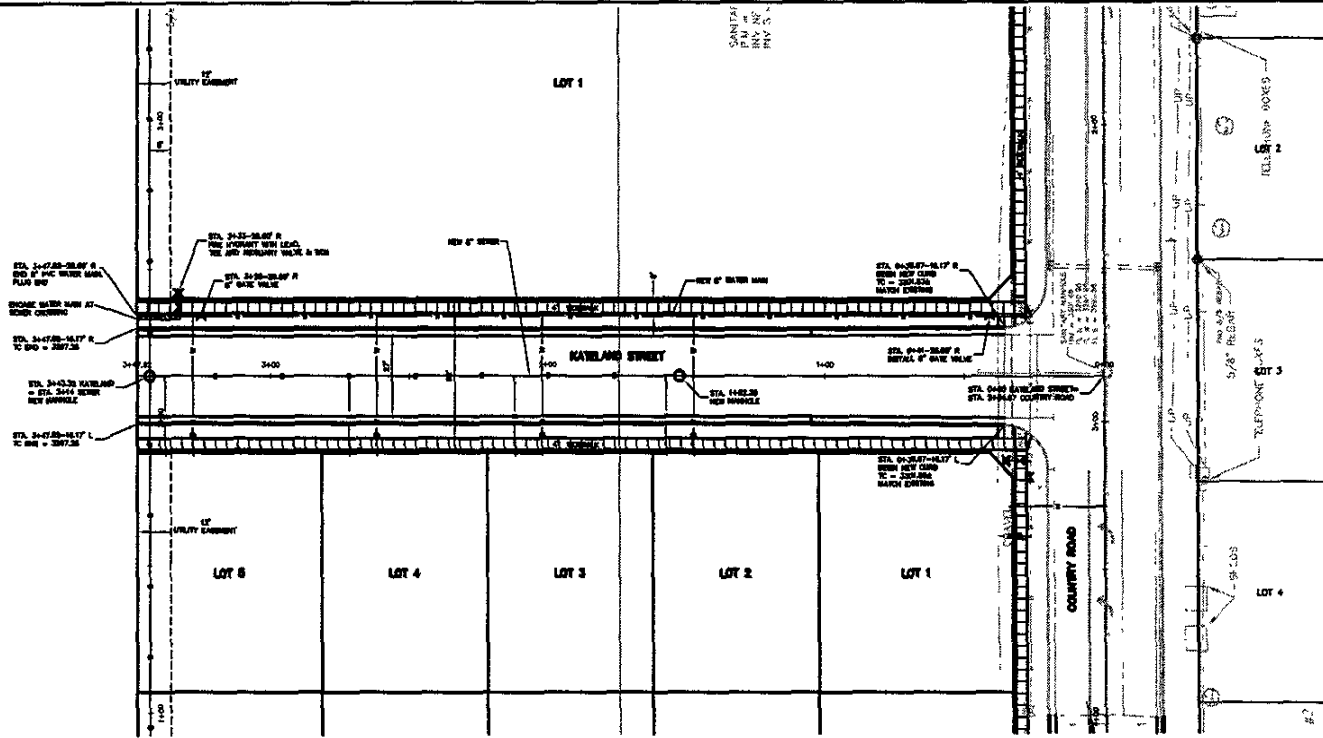
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 Total Sheets:  
**13**





LOT 11



**F M G, Inc.**  
 3700 Stought Road  
 Rapid City, SD 57702-0317  
 (605) 342-1103 FAX (605) 342-1222



PROJ. NO. 81215  
 SHEET NO. 12  
 DATE: 12/1/02

DESIGNED BY: J.C.  
 CHECKED BY: J.C.

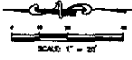
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 RAPID CITY, SD

Revision / Date

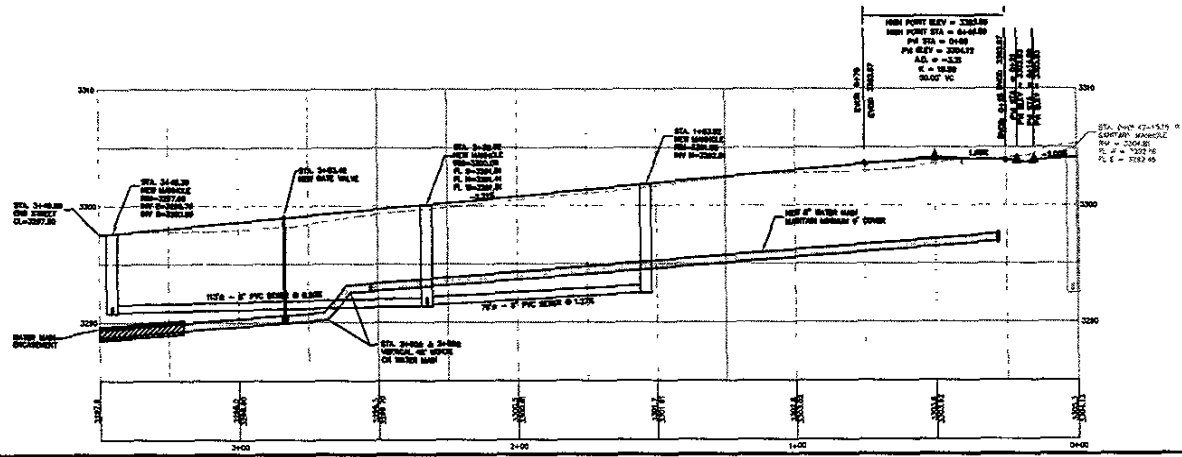
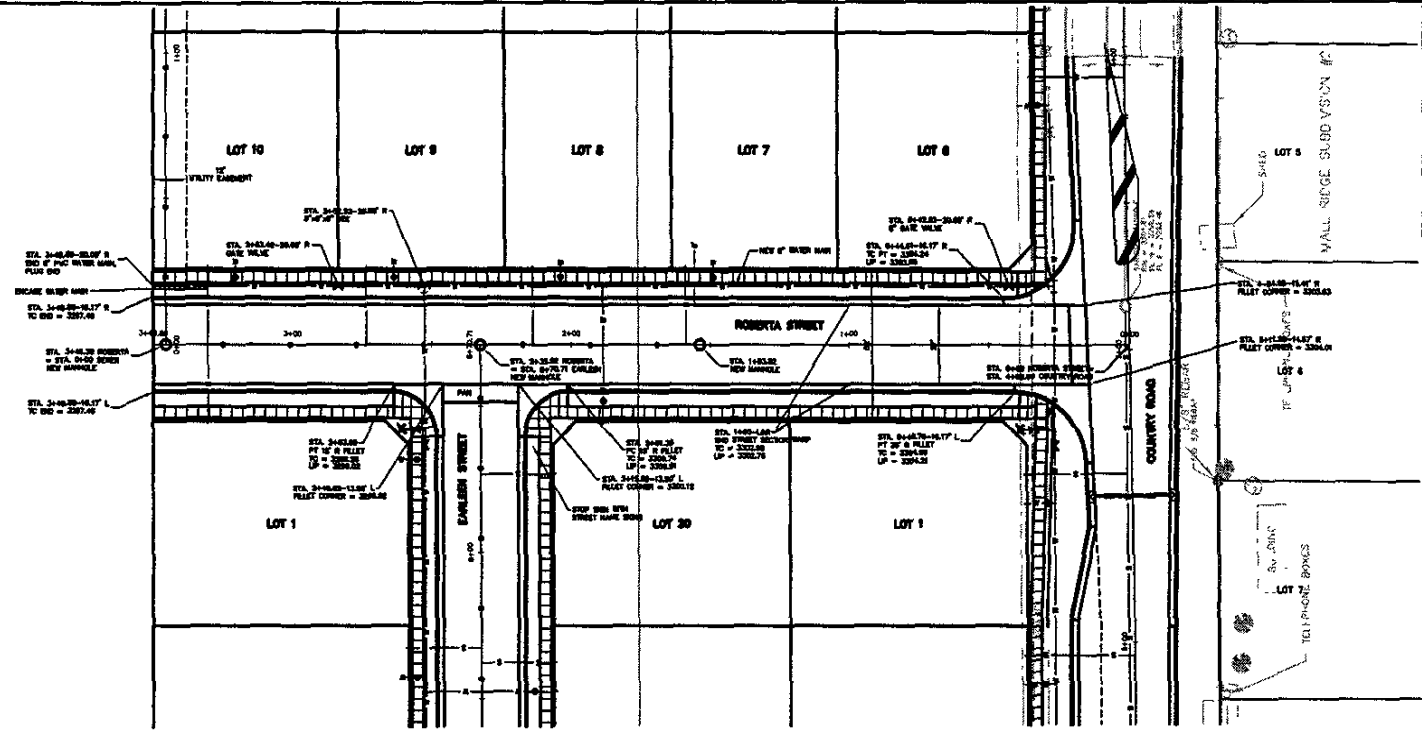
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**KATELAND STREET  
 PLAN AND  
 PROFILE**

Sheet Number

**8**  
 Total Sheets  
**13**



LOT 11



**F M G, Inc.**  
 3700 Sibley Road  
 Rapid City, SD 57702-0917  
 (605) 342-4105 FAX (605) 342-4222



780 Title No. 0112113  
 12/14 SECTION 13  
 12/14 STA. 348  
 Prepared by: J.M./J.L.  
 Checked by: J.M./J.L.  
 Drawn by: J.M./J.L.  
 Date: 12/14/13

UNREGISTERED

**PROPOSED KATELAND SUBDIVISION**  
 RAPID CITY, SD

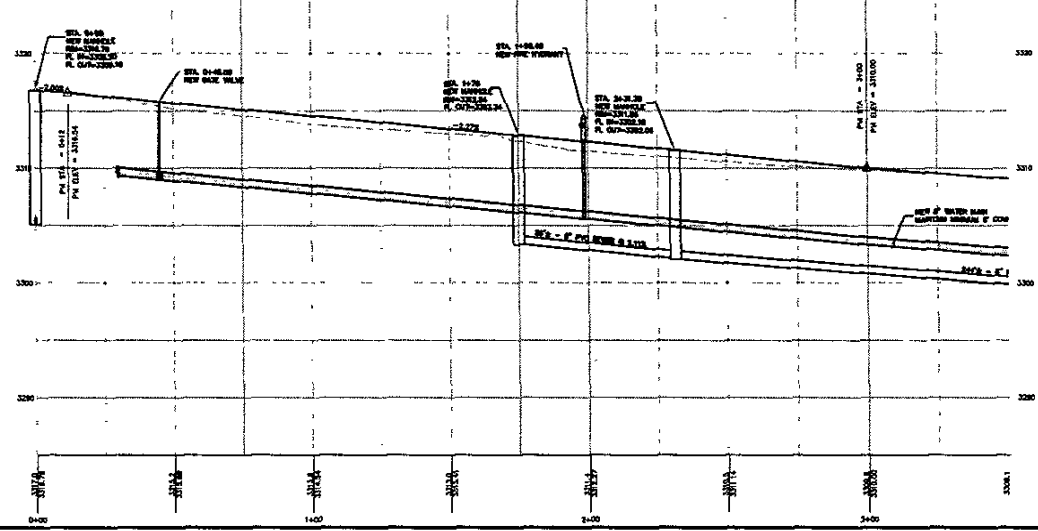
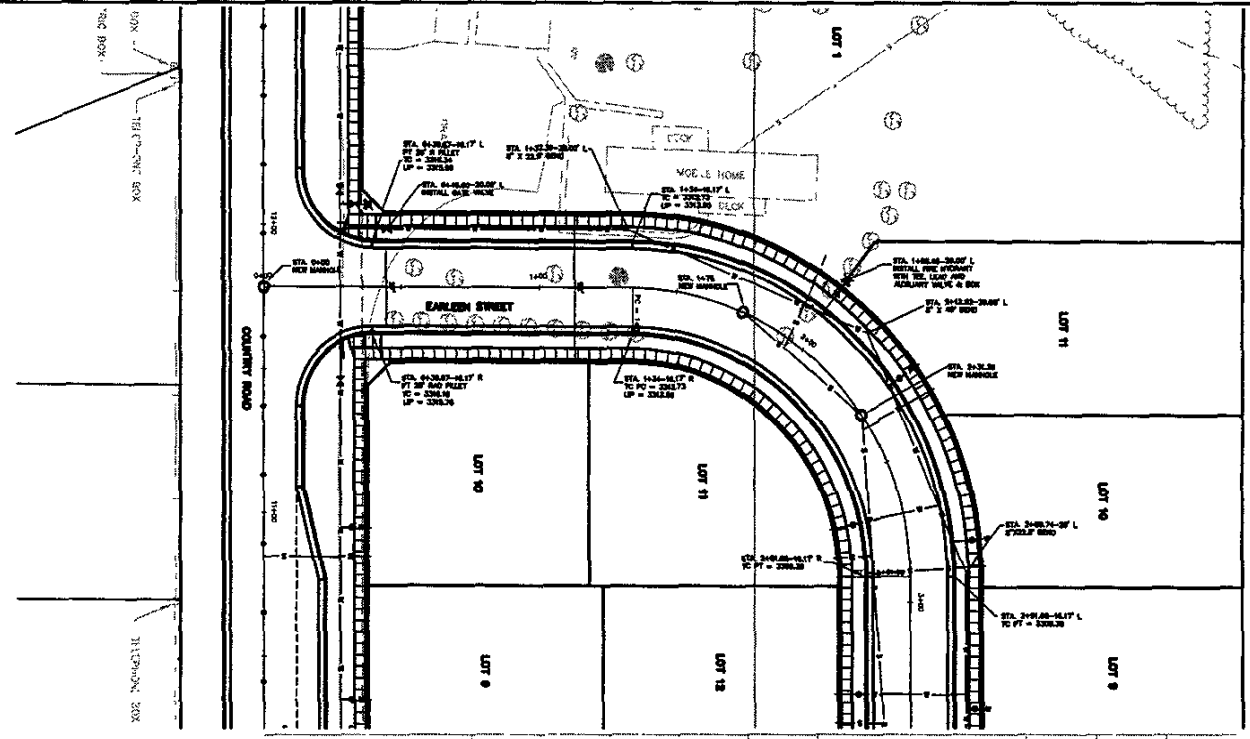
Revision / Date

Sheet Name:  
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Sheet Number:

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Total Sheets:  
**13**



**F M G, Inc.**  
 3700 Sharda's Road  
 Rapid City, SD 57701  
 (605) 242-1103 FAX (605) 242-4222



PROJ. No. 221218  
 Location:  
 SHEET NO. 13  
 DATE: 07/24/08  
 Drawn by: JLP  
 Checked by: KJL  
 Date: 07/24/08

**PROPOSED KATELAND SUBDIVISION**  
 RAPID CITY, SD

Revision / Date

Sheet Name  
**EARLEEN STREET PLAN AND PROFILE**

Sheet Number  
**10**

Total Sheets  
**13**





PROJ No. 021218  
 2017 SECTION 13  
 T&E, R.M.  
 Drawn By: JSC/ML  
 Check By: JSC/ML  
 Date: 05/20/17

**PROPOSED KATELAND SUBDIVISION**  
 RAPID CITY, SD

Revision / Date

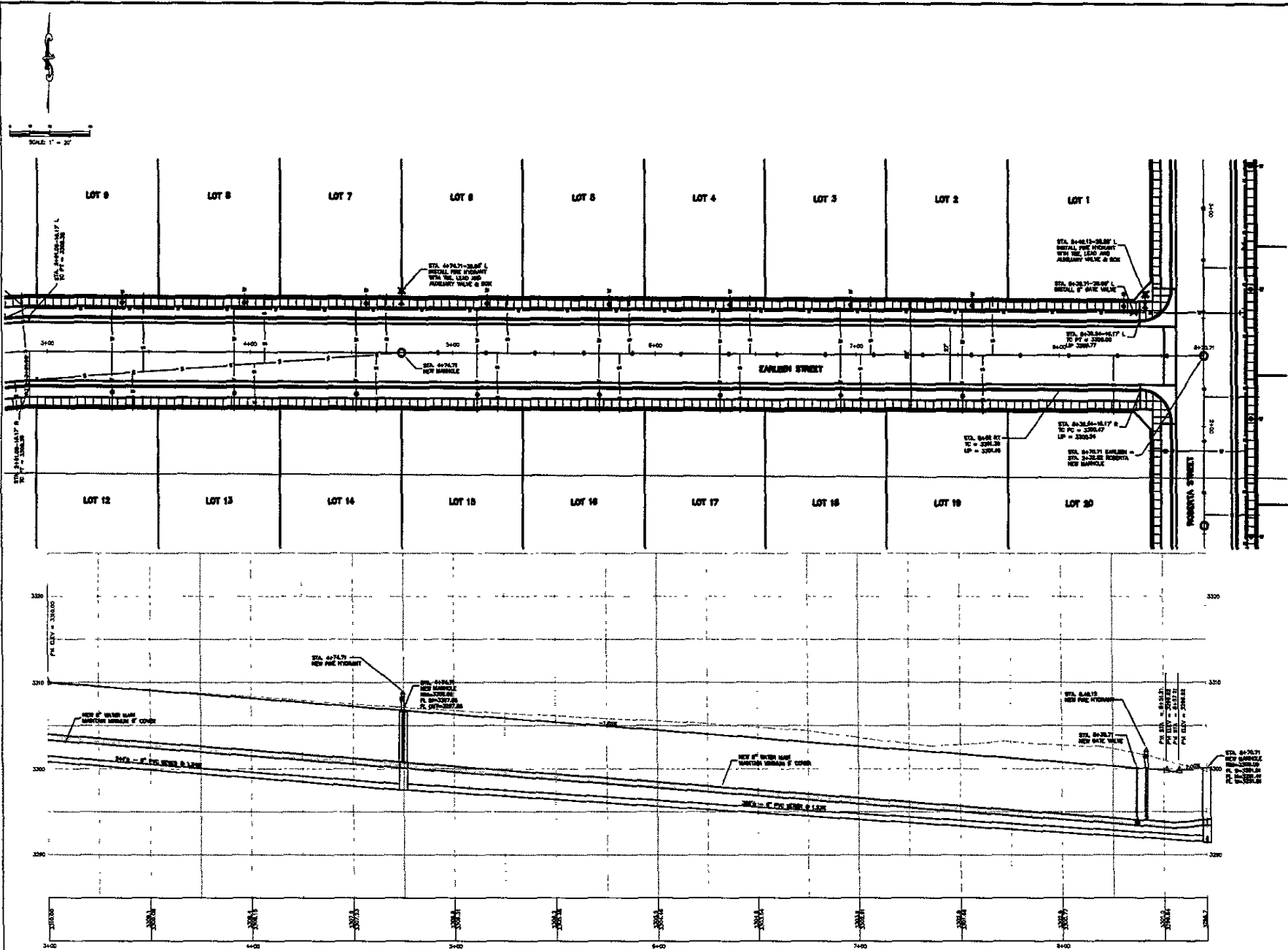
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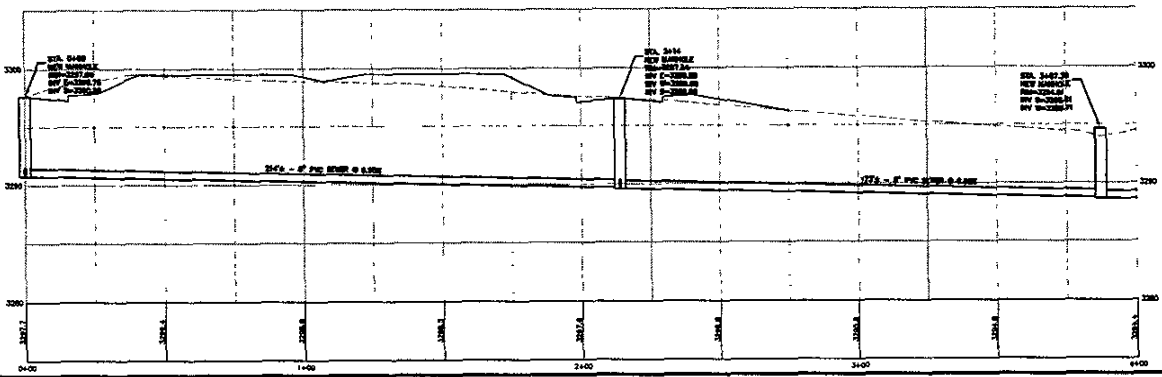
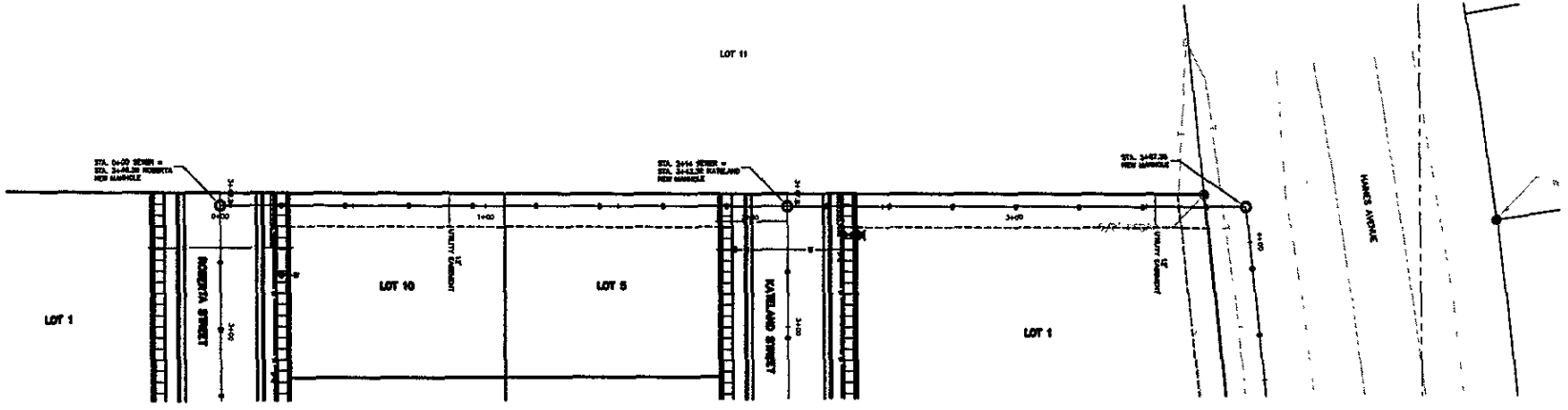
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Total Sheets:

**13**





**F M G, Inc.**  
 3700 Bluffs Road  
 Rapid City, SD 57701  
 (605) 342-4105 FAX (605) 342-4222



PROJ No. 221218  
 SHEET NO. 12  
 12A 576 584  
 Prepared by: JG/SL  
 Checked by: JG/SL  
 Date: 10/1/01

**PROPOSED KATELAND SUBDIVISION**  
 RAPID CITY, SD

Revision / Date

Sheet Name:  
**SEWER MAIN  
 PLAN AND  
 PROFILE**

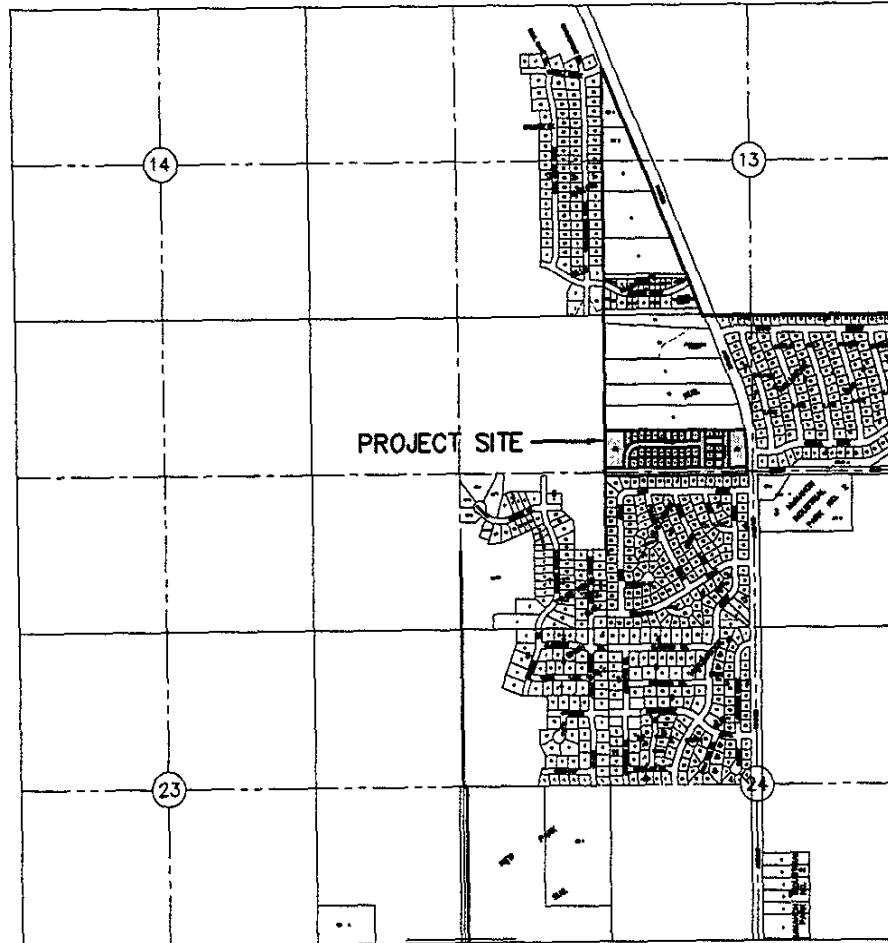
Sheet Number:  
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 Total Sheets:  
**13**



# KATELAND SUBDIVISION

## PRELIMINARY PLAT & FINAL PLANNED DEVELOPMENT

### DECEMBER 2004



**UNITY MAP**  
SCALE: 1" = 200'

**CONSTRUCTION NOTES**

1. THE CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS PRIOR TO BEGINNING WORK.
2. ALL CONCRETE VOLUMES MAY NOT BE SHOWN ON THE CONTRACTS MAY VARY FROM THAT SHOWN. THE CONTRACTOR IS RESPONSIBLE TO HAVE ALL UTILITIES LOCATED PRIOR TO BEGINNING WORK.
3. MAJOR SURFACE CONTROL DRAINAGE CONSTRUCTION IN ACCORDANCE WITH THE MANUAL OF UNIFORM BULKHEADS CODES.
4. ALL BULK SHALL COMPLY WITH CURRENT CITY OF RAPID CITY STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
5. THE SITE GRADING, DRAINAGE AND PLACEMENT OF PAVEMENT SHALL BE IN ACCORDANCE WITH CURRENT REGULATIONS AND PROCEDURES FOR SUBDIVISIONS CONTROLLED BY RAPID CITY. THE ENGINEER HAS NOT CONDUCTED A GEOLOGICAL EVALUATION OF THIS SITE. THE ENGINEER HAS MADE NO REPRESENTATIONS OR WARRANTIES, STATE OR IMPLIED, OF THE ACCURACY OF JOB AND VOLUMES/WEIGHTS FOR SOILS, STREETS, UTILITIES AND OTHER UTILITIES, APPLICABLE REQUIREMENTS OF THE CONTRACT OF THE GRADING AND SOIL PLACEMENT PROVISIONS.

**INDEX OF SHEETS**

- |        |                          |
|--------|--------------------------|
| 1.     | TITLE SHEET              |
| 2.-3.  | PRELIMINARY PLAT         |
| 4.     | MASTER PLAN              |
| 5.     | GRADING & STREET DETAILS |
| 6.-13. | PLAN & PROFILE           |

RECEIVED

DEC 10 2004

Rapid City Growth  
Management Department

**F M G, Inc.**  
 5070 Bluffs Road  
 Rapid City, SD 57702-0017  
 (605) 342-4105 FAX (605) 342-4222

FOR THE SD... 011814  
 TITLE SHEET  
 SCALE: 1" = 200'  
 SHEET NO. 1 OF 13  
 SHEET DATE: 12/10/04

DESIGNED BY: [Signature]  
 DRAWN BY: [Signature]  
 CHECKED BY: [Signature]

PROPOSED KATELAND SUBDIVISION  
 RAPID CITY, SD

Version / Date

Sheet Name:

**TITLE SHEET**

Sheet Number:

1

Total Sheets:

13

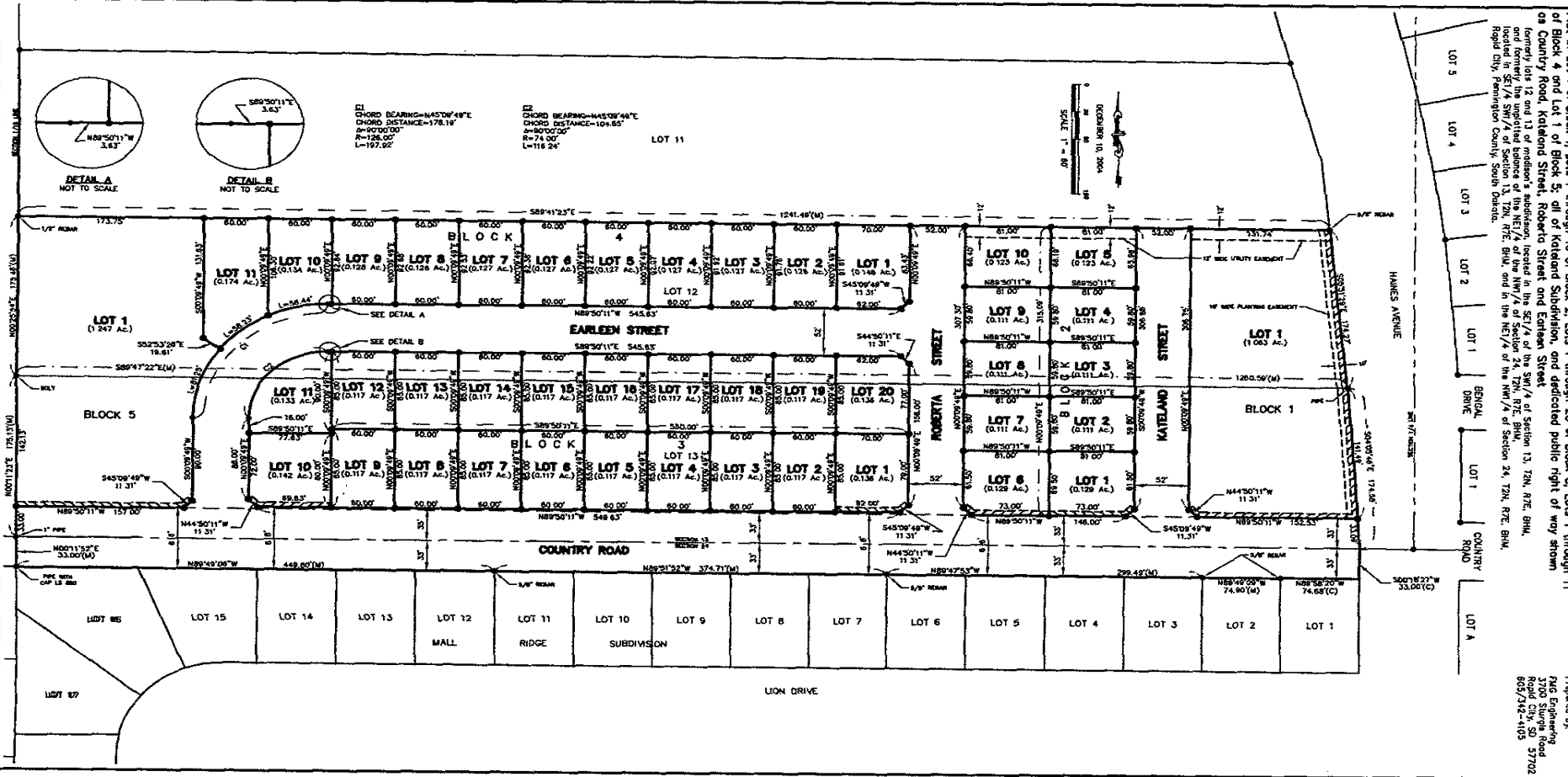
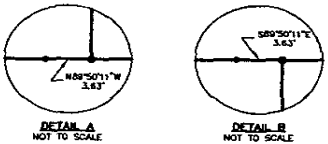
Plot of Lot 1 of Block 1, Lots 1 through 10 of Block 2, Lots 1 through 20 of Block 3, Lots 1 through 11 of Block 4 and Lot 1 of Block 5, all of Kaledon Subdivision, and dedicated public right of way stream as Country Road, Kaledon Street, Roberto Street and Earleen Street.

Formerly Lots 12 and 13 of section 8 subsection, located in the SW 1/4 of section 13, T2N, R7E, B1M, located in SW 1/4 SW 1/4 of section 13, T2N, R7E, B1M, and in the NE 1/4 of the SW 1/4 of section 24, T2N, R7E, B1M, Registered City, Pennington County South Dakota.



**E1**  
CHORD BEARING=N45°09'49"E  
CHORD DISTANCE=178.19'  
A=90°00'00"  
R=128.00'  
L=197.92'

**E2**  
CHORD BEARING=N45°09'49"E  
CHORD DISTANCE=104.55'  
A=90°00'00"  
R=74.00'  
L=116.24'



SECTION 13, T2N, R7E, B1M

SECTION 24, T2N, R7E, B1M

SECTION 13, T2N, R7E, B1M

SECTION 24, T2N, R7E, B1M

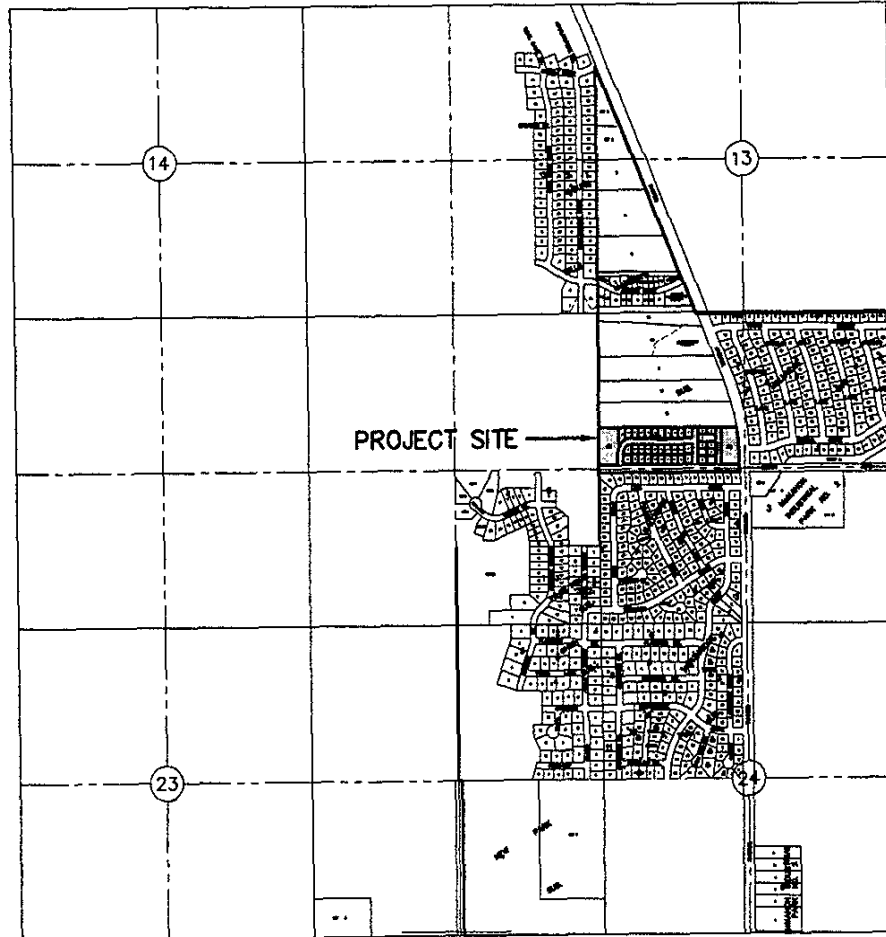
SECTION 13, T2N, R7E, B1M

SECTION 24, T2N, R7E, B1M

# KATELAND SUBDIVISION

## PRELIMINARY PLAT & FINAL PLANNED DEVELOPMENT

### DECEMBER 2004



VIGNY MAP  
SCALE: 1" = 500'

**CONSTRUCTION NOTES**

1. THE CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS PRIOR TO BEGINNING WORK.
2. ALL UTILITY LOCATIONS MAY NOT BE SHOWN ON THE LOCATIONS MAY VARY FROM WHAT SHOWN. THE CONTRACTOR IS RESPONSIBLE TO HAVE ALL UTILITIES LOCATED PRIOR TO BEGINNING WORK.
3. PROVIDE TRAFFIC CONTROL DURING CONSTRUCTION IN ACCORDANCE WITH THE MANUAL OF TRAFFIC CONTROL DEVICES.
4. ALL WORK SHALL COMPLY WITH CURRENT CITY OF RAPID CITY STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
5. THE SITE GRADING, DRAINAGE AND PLACEMENT OF ALL SHALL BE IN ACCORDANCE WITH CURRENT REGULATIONS AND PROCEDURES FOR SUBDIVISION CONSTRUCTION IN RAPID CITY, SD. THE SDC HAS NOT CONDUCTED A GEOLOGICAL EVALUATION OF THIS SITE. THE SDC MAKES NO REPRESENTATION OR WARRANTY REGARDING EXISTING OR IMPENDING UTILITY AND FOUNDATION CONDITIONS FOR FOUNDATION, STREET UTILITIES AND OTHER STRUCTURAL APPEARANCES PROVIDED BY THE AGENCY OF THE SDC. THE SDC HAS NOT CONDUCTED A GEOLOGICAL EVALUATION OF THIS SITE.

**INDEX OF SHEETS**

- |        |                          |
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| 1.     | TITLE SHEET              |
| 2.-3.  | PRELIMINARY PLAT         |
| 4.     | MASTER PLAN              |
| 5.     | GRADING & STREET DETAILS |
| 6.-13. | PLAN & PROFILE           |

RECEIVED

DEC 10 2004

Rapid City Growth  
Management Department

**F M G, Inc.**  
5700 Broadway, Rapid City, SD 57702  
(605) 342-1100 FAX (605) 342-4222



FILE NO. 022111  
 DRAWN BY: J.S. / S.D. / S.D.  
 CHECKED BY: J.S. / S.D. / S.D.  
 APPROVED BY: J.S. / S.D. / S.D.  
 DATE: 12/10/04

PROPOSED KATELAND SUBDIVISION  
 RAPID CITY, SD  
 SHEET NUMBER 001

Revisions / Date

Sheet Name:

TITLE SHEET

Sheet Number:

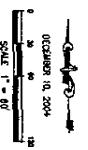
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Total Sheets:

13

Part of Lot 1 of Block 1, Lots 1 through 10 of Block 2, Lots 1 through 20 of Block 3, Lots 1 through 11 of Block 4 and Lot 1 of Block 5, all of Katedand Subdivision, and dedicated public right of way street as Country Road, Katedand Street, Roberto Street and Earlean Street  
 formerly lots 12 and 13 of meadow's subdivision, located in the SW 1/4 of the SW 1/4 of Section 13, T24N, R2E, B1M, and forming the upper portion of the NE 1/4 of the NW 1/4 of the SW 1/4 of the NW 1/4 of Section 24, T24N, R2E, B1M, located in the City of Parkersburg, Putnam County, South Dakota.

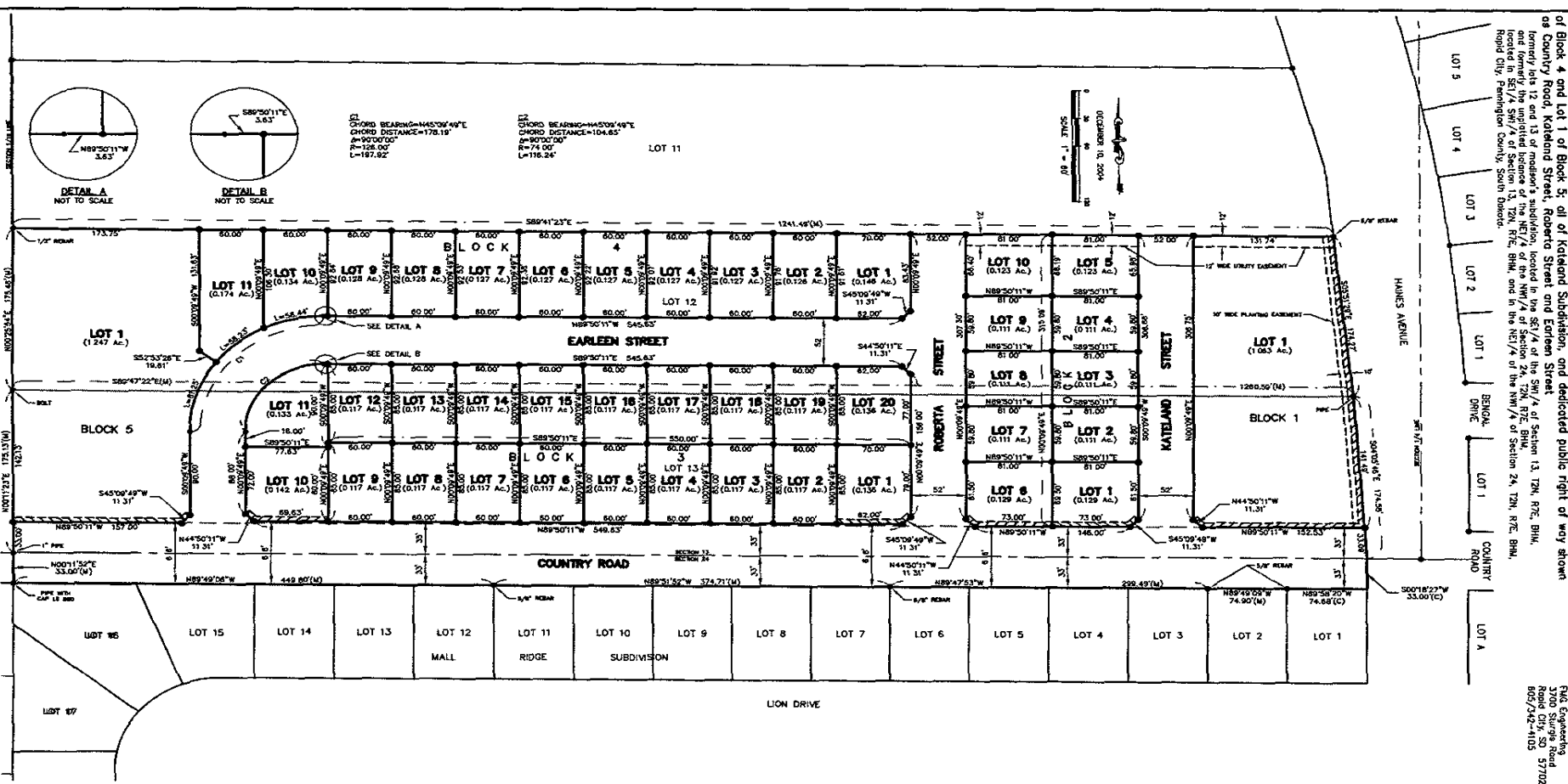
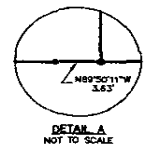
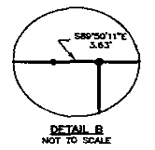
Prepared by  
 Eric Engineering  
 3700 Stevens Road  
 Rapid City, SD 57702  
 605/742-4105



LOT 11

CHORD BEARING=N45°00'49"E  
 CHORD DISTANCE=104.65'  
 Δ=90°00'00"  
 R=74.00'  
 L=116.24'

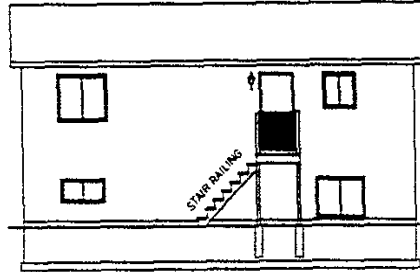
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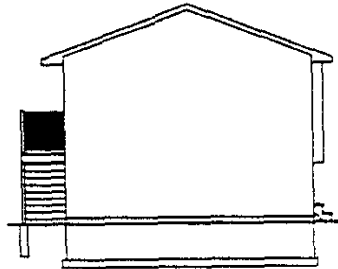
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DEC 13 2004

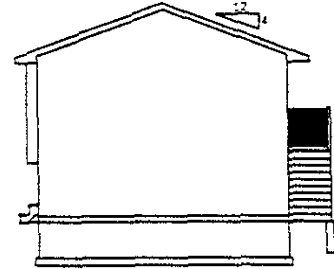
Rapid City Growth  
Management Department



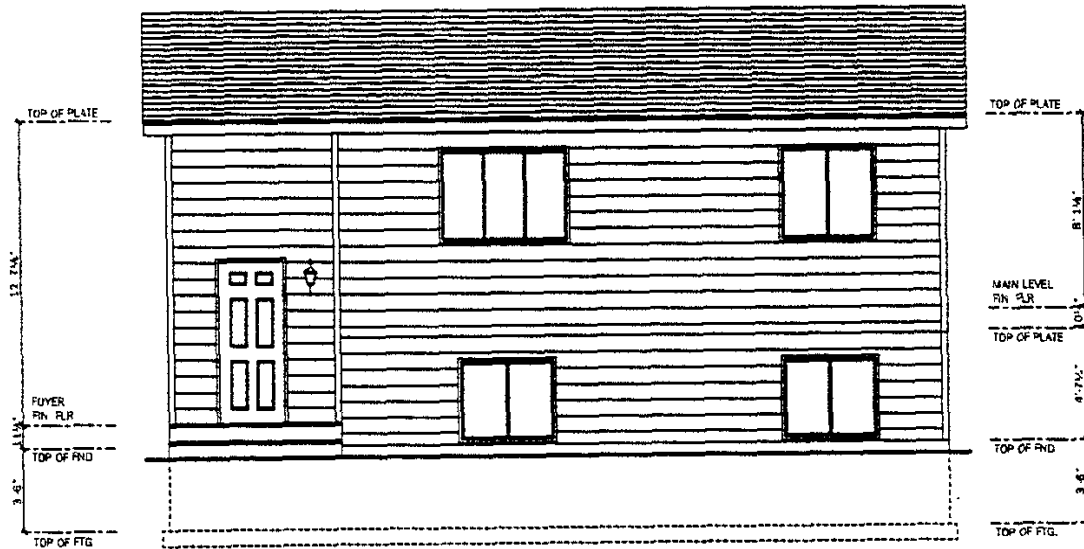
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LEFT ELEVATION  
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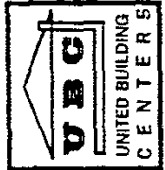


RIGHT ELEVATION  
SCALE: 1/8" = 1'-0"



FRONT ELEVATION  
SCALE: 1/4" = 1'-0"

United Building Center  
Rapid City, S D  
Phone (605) 345-1135  
Fax (605) 388-8739  
Drawn For: TRIPLE J CONSTRUCTION  
Contributor: JERRY FINES  
Drawn By: RODNEY BUISETTI  
Date: 08/10/04  
Category: LOT 8 BLK. 4 MURPHY



U B C  
UNITED BUILDING  
CENTERS  
A Division of Lepage Corporation

As Authorized by Customer's Signatures  
This set of drawings shall be used for construction purposes only. No other use is permitted. The contractor shall be responsible for obtaining all necessary permits and for complying with all applicable codes and regulations. The contractor shall be responsible for obtaining all necessary permits and for complying with all applicable codes and regulations. The contractor shall be responsible for obtaining all necessary permits and for complying with all applicable codes and regulations.

**IMPORTANT**  
These drawings may not meet applicable building codes. Please consult your local building department for more information. The contractor shall be responsible for obtaining all necessary permits and for complying with all applicable codes and regulations.

ELEVATIONS  
Date: 08/10/04  
Scale: 1/4" = 1'-0"

THE STATE OF SOUTH DAKOTA DOES NOT REQUIRE REGISTERED ARCHITECTS TO SEAL ARCHITECTURAL DRAWINGS. HOWEVER, THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED BY THE ARCHITECT AND DOES NOT INCLUDE THE CONSTRUCTION OF THE PROJECT OR THE PERFORMANCE OF THE PROJECT.



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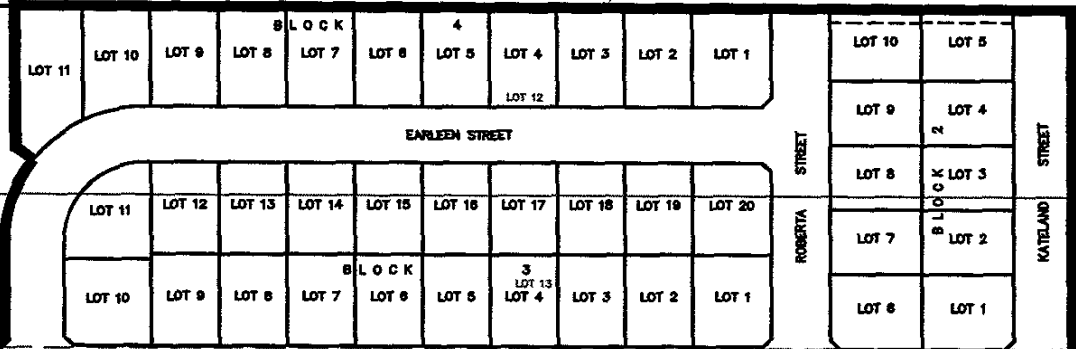
DEC 10 2004

Rapid City Growth  
Management Department

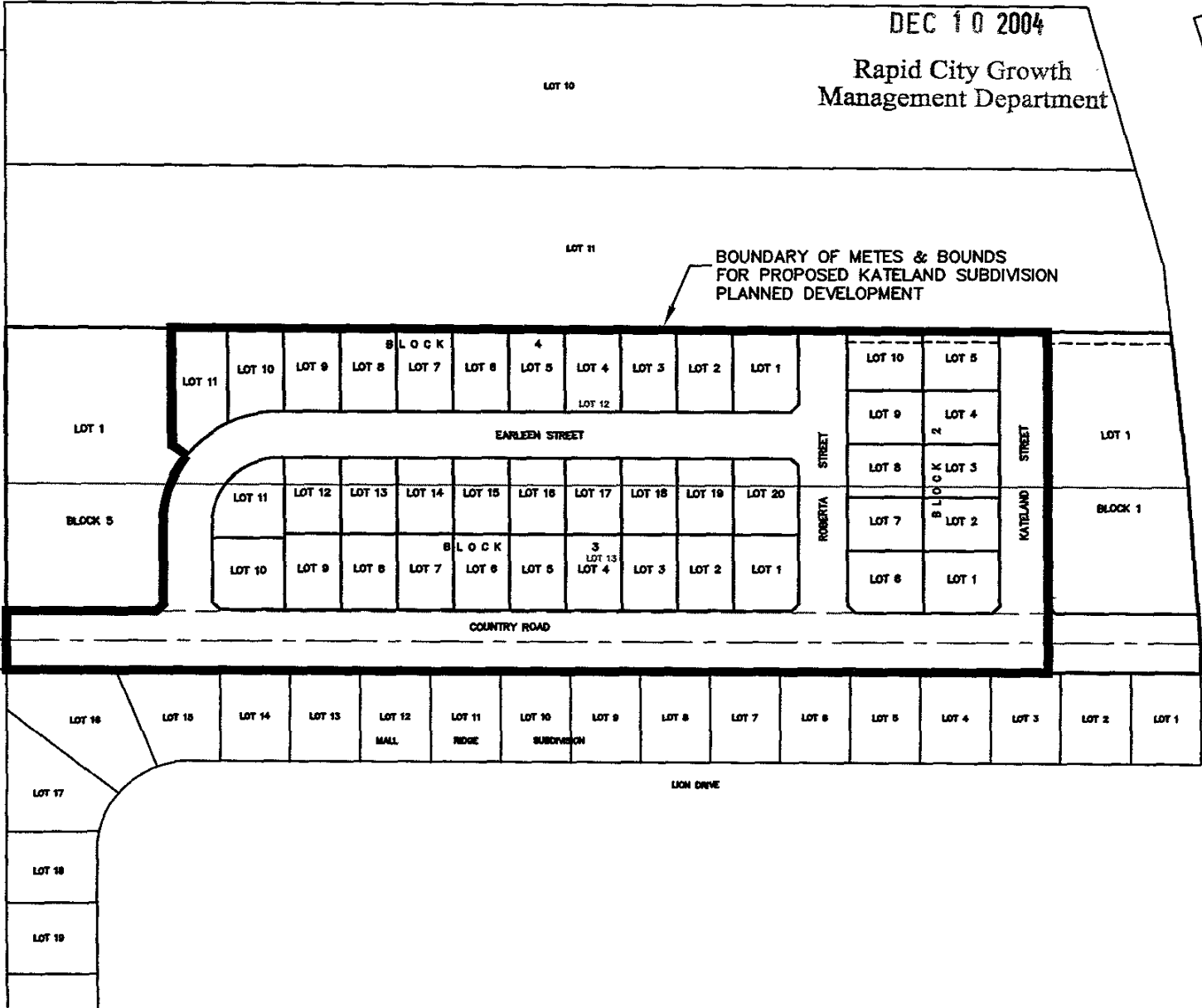
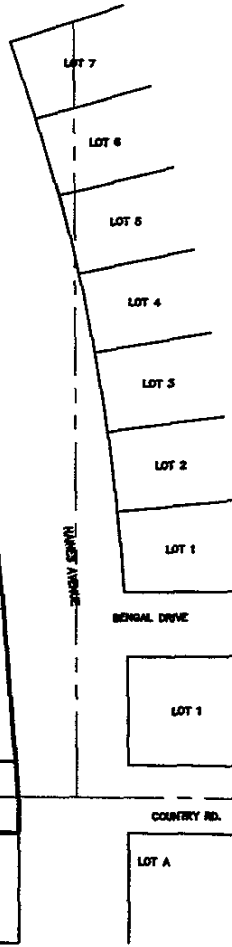
LOT 10

LOT 11

BOUNDARY OF METES & BOUNDS  
FOR PROPOSED KATELAND SUBDIVISION  
PLANNED DEVELOPMENT



POINT OF BEGINNING

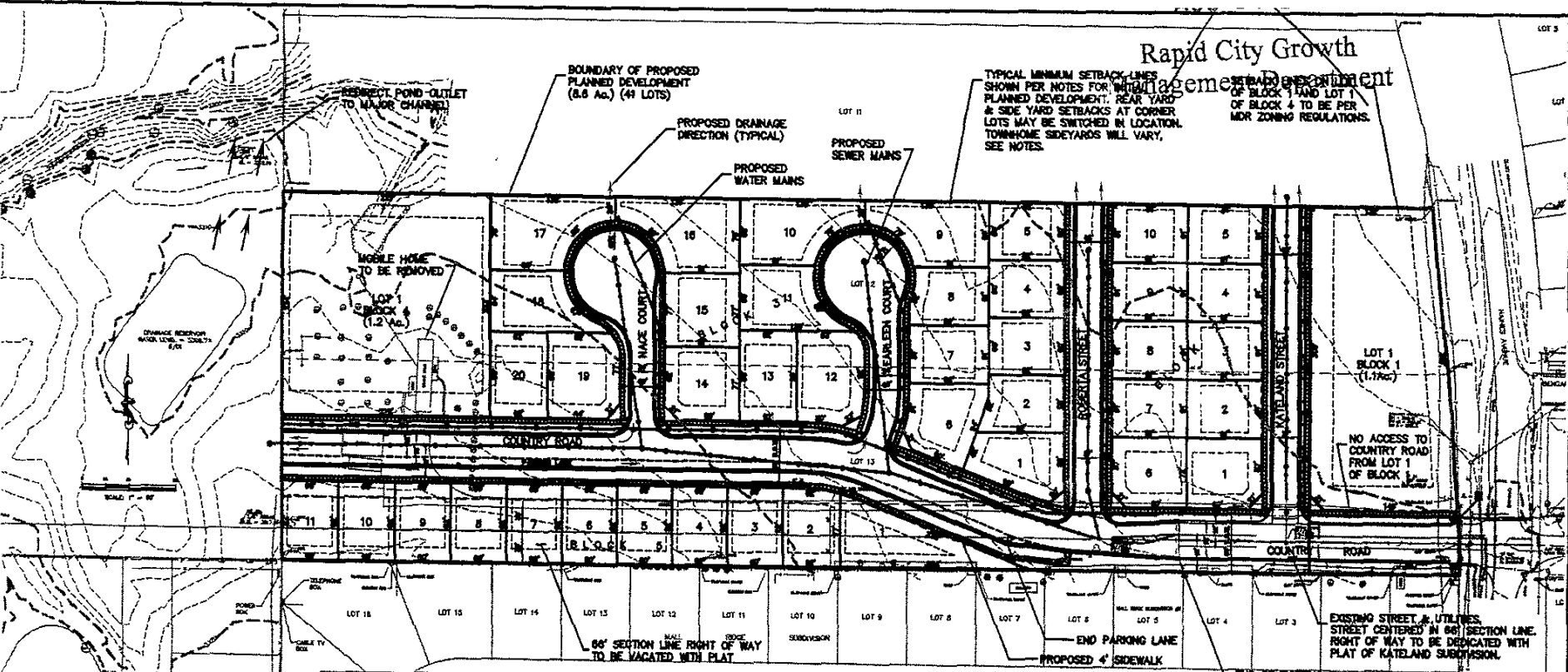


# Rapid City Growth

## Planning & Engineering Department

TYPICAL MINIMUM SETBACK LINES SHOWN PER NOTES FOR WITHIN PLANNED DEVELOPMENT. REAR YARD & SIDE YARD SETBACKS AT CORNER LOTS MAY BE SWITCHED IN LOCATION. TOWNHOME SIDEYARDS WILL VARY, SEE NOTES.

REAR YARD SETBACK OF BLOCK 4 AND LOT 1 OF BLOCK 4 TO BE PER MOR ZONING REGULATIONS.



### NOTES FOR LAYOUT PLAT - KATELAND SUBDIVISION

1. GENERAL INFORMATION AND ASSUMPTIONS
  - 1.1 - ALL DISTANCES SHOWN ARE IN FEET AND DECIMALS THEREOF.
  - 1.2 - ALL CORNERS ARE TO BE PLACED BY THE SURVEYOR.
  - 1.3 - ALL LOTS ARE TO BE CONVEYED BY DEED.
  - 1.4 - ALL LOTS ARE TO BE CONVEYED BY DEED.
  - 1.5 - ALL LOTS ARE TO BE CONVEYED BY DEED.
2. GENERAL INFORMATION AND ASSUMPTIONS
  - 2.1 - ALL DISTANCES SHOWN ARE IN FEET AND DECIMALS THEREOF.
  - 2.2 - ALL CORNERS ARE TO BE PLACED BY THE SURVEYOR.
  - 2.3 - ALL LOTS ARE TO BE CONVEYED BY DEED.
  - 2.4 - ALL LOTS ARE TO BE CONVEYED BY DEED.
  - 2.5 - ALL LOTS ARE TO BE CONVEYED BY DEED.
3. GENERAL INFORMATION AND ASSUMPTIONS
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### NOTES FOR LAYOUT PLAT - KATELAND SUBDIVISION

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### NOTES FOR LAYOUT PLAT - KATELAND SUBDIVISION

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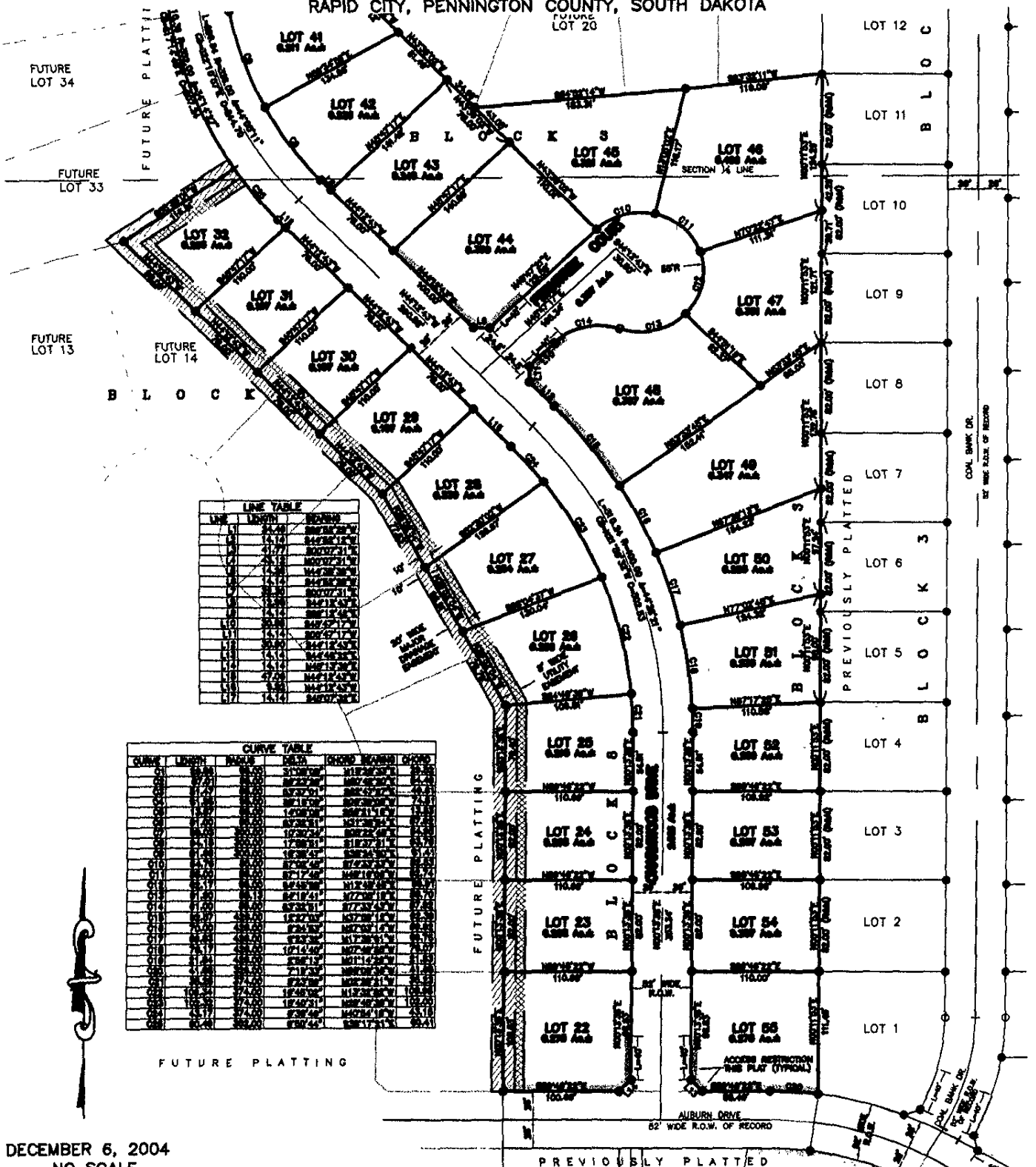
PROPOSED KATELAND SUBDIVISION  
RAPID CITY, SD

**F M G, Inc.**  
3700 Shurgle Road  
Rapid City, SD 57702-0317  
(605) 342-4100 FAX (605) 342-4222

Sheet Name: LAYOUT PLAT & SETBACK DEVELOPMENT PLAN  
Sheet Number: 2  
Total Sheets: 2

**PLAT OF  
 LOTS 27-55 BLOCK 3, LOTS 6-11 BLOCK 4, LOTS 22-32 BLOCK 8,  
 AUBURN HILLS SUBDIVISION**

(FORMERLY A PORTION OF THE NW<sup>1</sup>/<sub>4</sub> OF THE SW<sup>1</sup>/<sub>4</sub>, AND A PORTION OF THE SW<sup>1</sup>/<sub>4</sub> OF THE NW<sup>1</sup>/<sub>4</sub>)  
 LOCATED IN THE NW<sup>1</sup>/<sub>4</sub> OF THE SW<sup>1</sup>/<sub>4</sub>, AND IN THE SW<sup>1</sup>/<sub>4</sub> OF THE NW<sup>1</sup>/<sub>4</sub>,  
 SECTION 13, T2N, R7E, BHM,  
 RAPID CITY, PENNINGTON COUNTY, SOUTH DAKOTA



LINE	LENGTH	BEGINNING	ENDING
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CURVE	LENGTH	BEARING	AREA	CHORD BEARING	CHORD LENGTH
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DECEMBER 6, 2004  
 NO SCALE

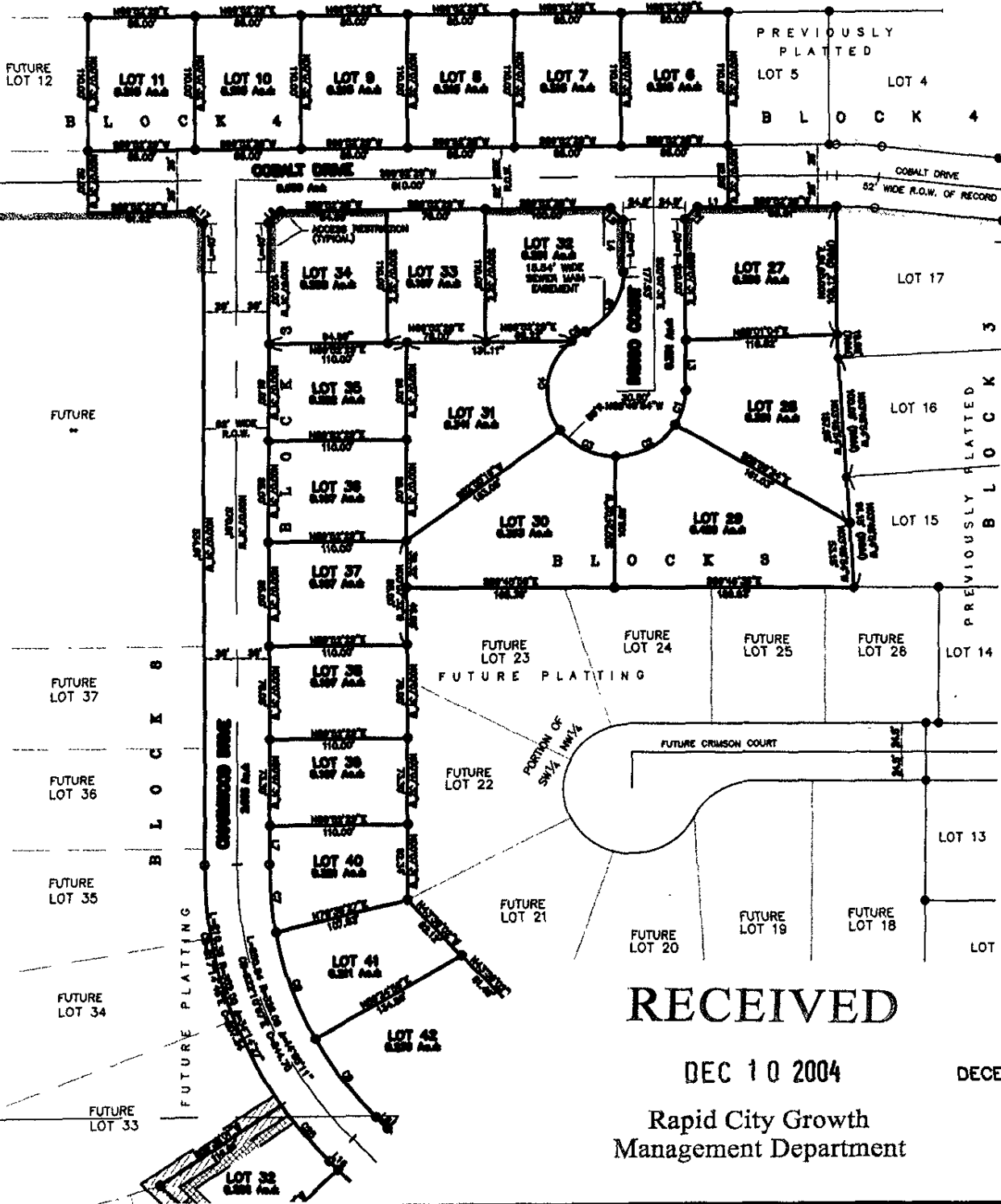
PREPARED BY: SPERLICH CONSULTING, INC. \* 821 1/2 COLUMBUS STREET RAPID CITY SD 57701 \* (605) 721-4040

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**PLAT OF  
 LOTS 27-55 BLOCK 3, LOTS 6-11 BLOCK 4, LOTS 22-32 BLOCK 8,  
 AUBURN HILLS SUBDIVISION**

(FORMERLY A PORTION OF THE NW<sup>1</sup>/<sub>4</sub> OF THE SW<sup>1</sup>/<sub>4</sub>, AND A PORTION OF THE SW<sup>1</sup>/<sub>4</sub> OF THE NW<sup>1</sup>/<sub>4</sub>)  
 LOCATED IN THE NW<sup>1</sup>/<sub>4</sub> OF THE SW<sup>1</sup>/<sub>4</sub>, AND IN THE SW<sup>1</sup>/<sub>4</sub> OF THE NW<sup>1</sup>/<sub>4</sub>,  
 SECTION 13, T2N, R7E, BHM,  
 RAPID CITY, PENNINGTON COUNTY, SOUTH DAKOTA

FUTURE PLATTING



**RECEIVED**

DEC 10 2004

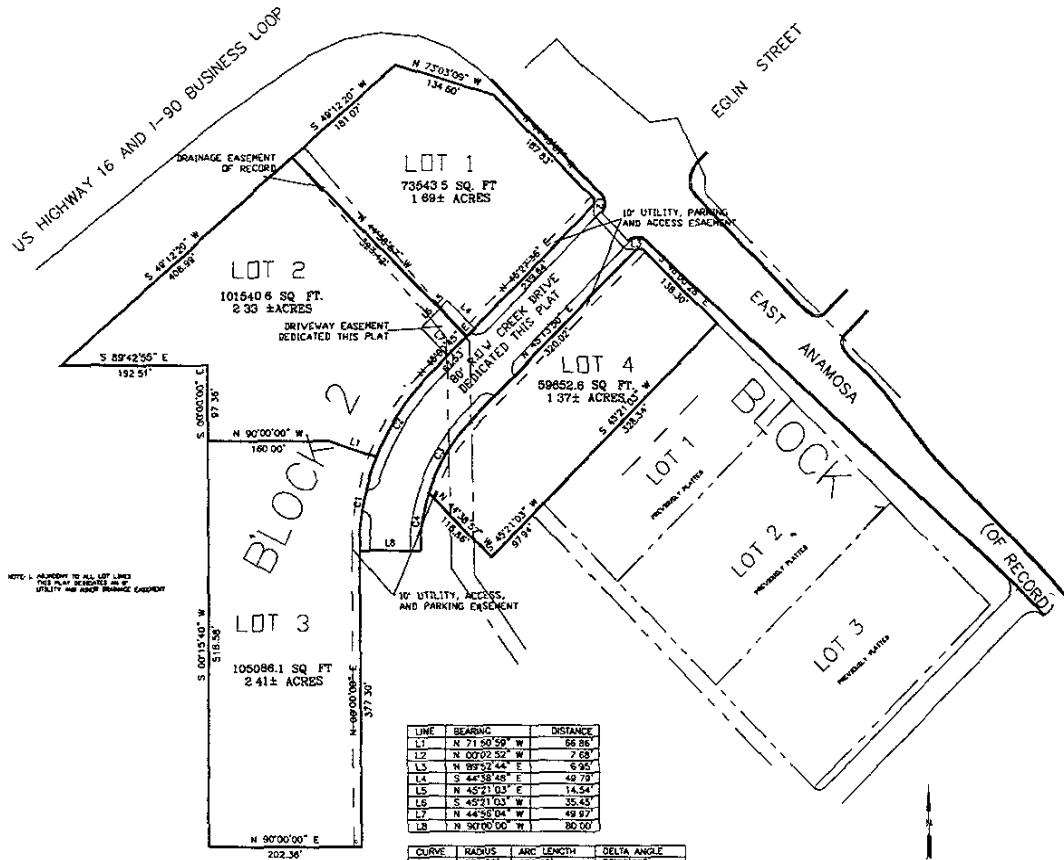
DECEMBER 6, 2004  
 NO SCALE

Rapid City Growth  
 Management Department



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PRELIMINARY PLAT OF LOTS 4 OF BLOCK 1, AND LOTS 1, 2, AND 3 OF BLOCK 2,  
AND DEDICATED PUBLIC RIGHT OF WAY OF MENARD SUBDIVISION,  
FORMERLY A PORTION OF THE UNPLATTED BALANCE OF THE S&1/4NW1/4, NE1/4SW1/4  
ALL LOCATED IN SECTION 32, T.2N., R.8E., B.H.M.,  
RAPID CITY, PENNINGTON COUNTY, SOUTH DAKOTA.



LINE	BEARING	DISTANCE
L1	N 71°50'59" W	58.85'
L2	N 02°02'52" W	7.68'
L3	N 89°52'44" E	6.95'
L4	S 44°58'28" E	49.79'
L5	N 45°21'03" E	14.24'
L6	S 45°21'03" W	35.43'
L7	N 44°58'04" W	49.97'
L8	N 90°00'00" W	80.00'

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE
C1	320.00'	123.49'	22°06'36"
C2	320.00'	129.82'	23°14'36"
C3	140.00'	109.35'	24°28'03"
C4	240.00'	75.20'	17°57'14"

CERTIFICATE OF SURVEYOR

I, Randy L. Deibert, P.E. Box 400 Spearfish, S.D., being a Registered Land Surveyor in the State of South Dakota, No. 2086, do hereby certify that, at the request of the owner and under my supervision, I have caused to be surveyed and plotted the property shown as described herein. I also certify that this plat is true and correct to the best of my knowledge and belief. This survey does not constitute a title search to determine ownership or easements of record. I further state that I did not obtain the signatures for the certificates other than the Surveyor Certificate. In witness whereof, I have hereunto set my hand and seal dated this \_\_\_\_\_ day of \_\_\_\_\_, 2004.

Randy L. Deibert's R.L.S. 2086

CERTIFICATE OF OWNERSHIP

State of South Dakota  
County of Pennington ss.

I, the undersigned do hereby certify that I am the owner of the land shown and described herein; that the survey was done at my request for the purpose indicated herein; that I do hereby approve the survey and attach plat of said land; and that the development of this land shall conform to all existing applicable zoning, subdivision, and erosion and sediment control regulations.

Any land shown on the within plat as being hereby dedicated to public use and public utility use as such, forever, but such dedication shall not be construed to be a donation of the Fee of such land.

Owner:

On the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, before me, a Notary Public personally appeared \_\_\_\_\_, known to me to be the person described in the foregoing instrument and acknowledged to me that she, she signed the same.

Notary Public: \_\_\_\_\_

My Commission Expires: \_\_\_\_\_

CERTIFICATE OF GROWTH MANAGEMENT DIRECTOR

I, Growth Management Director of the City of Rapid City, have reviewed this plat and have found it to conform to the Subdivision requirements of Chapter 15.05.05 of the Rapid City Municipal Code and as such I have approved this Plat as Final Plat.  
\_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Growth Management Director of the City of Rapid City

CERTIFICATE OF HIGHWAY OR STREET AUTHORITY

The location of the proposed lot lines with respect to the Highway or Street as shown herein is hereby approved. Any approaches or access to the Highway or Street will require additional approval.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Highway/Street Authority

CERTIFICATE OF DIRECTOR EQUALIZATION

I, Director of Equalization of Pennington County, do hereby certify that I have on record in my office a Dated this Copy of the within described plat.  
Dated this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Director of Equalization of Pennington County

APPROVED: \_\_\_\_\_

Director of Equalization of Pennington County

CERTIFICATE OF FINANCE OFFICER

I, Finance Officer of the City of Rapid City, do hereby certify that the Growth Management Director of the City of Rapid City, has approved this Final Plat as shown herein.  
Dated this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Finance Officer of the City of Rapid City

CERTIFICATE OF FINANCE OFFICER

I, Finance Officer of the City of Rapid City, do hereby certify that all special assessments which are liens upon the within described lands are fully paid according to the records of my office.  
Dated this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Finance Officer of the City of Rapid City

CERTIFICATE OF COUNTY TREASURER

I, Treasurer of Pennington County, do hereby certify that all taxes which are liens upon the within described lands are fully paid according to the records of my office.  
Dated this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Treasurer of Pennington County

CERTIFICATE OF REGISTER OF DEEDS

State of South Dakota ss.

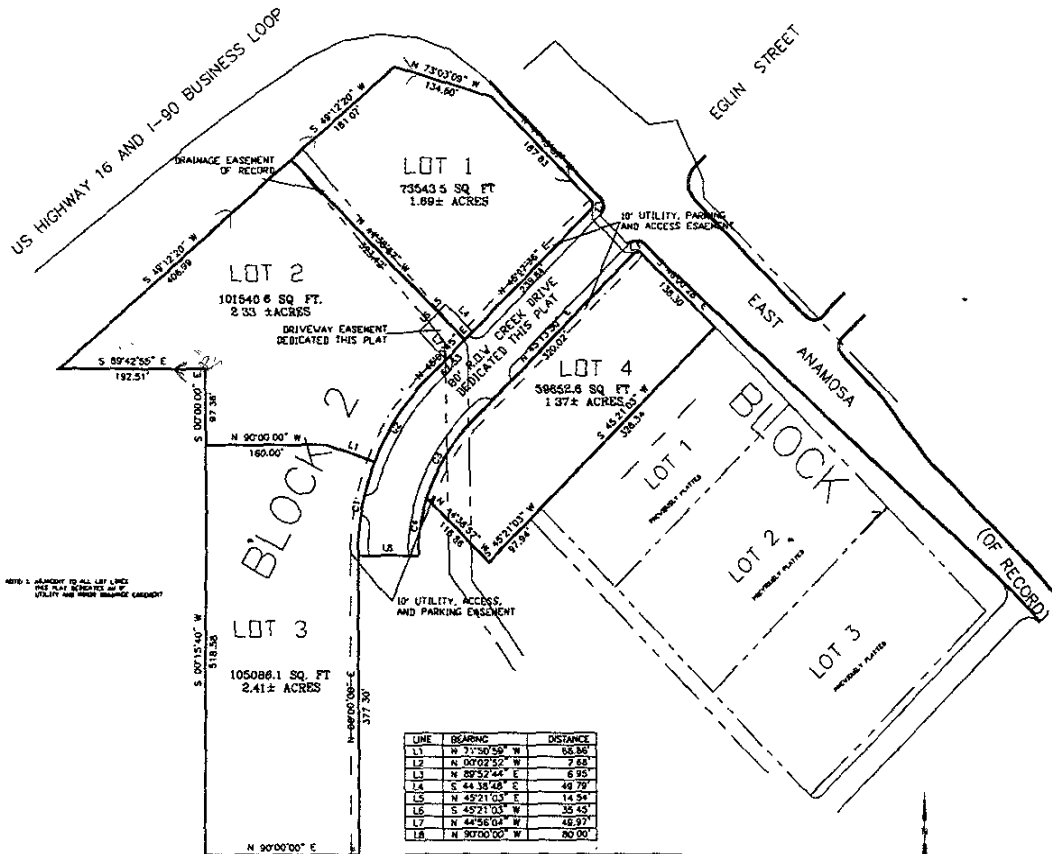
County of Pennington ss.

Filed this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

in Book \_\_\_\_\_ of Plats on Page \_\_\_\_\_

Register of Deeds

PRELIMINARY PLAT OF LOTS 4 OF BLOCK 1, AND LOTS 1, 2, AND 3 OF BLOCK 2,  
AND DEDICATED PUBLIC RIGHT OF WAY OF MENARD SUBDIVISION,  
FORMERLY A PORTION OF THE UNPLATTED BALANCE OF THE SE1/4NW1/4, NE1/4SW1/4  
ALL LOCATED IN SECTION 32, T.2N., R.8E., B.H.M.,  
RAPID CITY, PENNINGTON COUNTY, SOUTH DAKOTA.



LINE	BEARING	DISTANCE
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CURVE	RADIUS	ARC LENGTH	DELTA ANGLE
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C2	320.00	129.82	25°14'36"
C3	240.00	102.35	24°26'03"
C4	240.00	75.20	17°57'14"



CERTIFICATE OF SURVEYOR

I, Randy L. Dehnert, P.E. Box 408 Spearfish, SD, being a Registered Land Surveyor in the State of South Dakota, No. 5286, do hereby certify that the bearings of the lines and under my supervision, I have caused to be surveyed and plotted the property shown and described hereon. I also certify that this plat is true and correct to the best of my knowledge and belief. This survey does not constitute a title search to determine ownership or assessments of record. I further state that I did not obtain the signatures for the certificates other than the Surveyor Certificate in witness whereof, I have hereunto set my hand and seal dated this \_\_\_\_\_ day of \_\_\_\_\_ 2004.

Randy L. Dehnert, R.L.S., 5286

CERTIFICATE OF OWNERSHIP

State of South Dakota  
County of Pennington ss.

I, the undersigned do hereby certify that I, on the owner of the land shown and described hereon that the survey was done at my request for the purpose indicated hereon, that I do hereby approve the survey and within plat of said land, and that the development of the land shall conform to all existing local, state, subdivision and erosion and sediment control regulations.

Any land shown on the other plat as dedicated to public right or way is hereby dedicated to public use and public utility use as such, forever, but such dedication shall not be construed to be a donation of the fee of such land.

Given on this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_, before me, a Notary Public, personally appeared \_\_\_\_\_ known to me to be the person described in the foregoing instrument and acknowledged to me that he, she, signed the same.

Notary Public: \_\_\_\_\_

My Commission Expires: \_\_\_\_\_

CERTIFICATE OF GROWTH MANAGEMENT

I, Growth Management Director of the City of Rapid City have reviewed this plat and have found it to conform to the Subdivision requirements of Chapter 16A-0205 of the Rapid City Municipal Code and as such I have approved this Plat as Final Plat.

\_\_\_\_\_, Day of \_\_\_\_\_, 20\_\_\_\_.

Growth Management Director of the City of Rapid City

CERTIFICATE OF HIGHWAY OR STREET AUTHORITY

The location of the proposed lot lines with respect to the Highway or Street as shown hereon is hereby approved. Any approaches or access to the Highway or Street will require additional approval.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Highway/Street Authority

CERTIFICATE OF DIRECTOR EQUALIZATION

I, Director of Equalization of Pennington County do hereby certify that I have on record in my office a Dated this Copy of the within described plat.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Director of Equalization of Pennington County

APPROVED: Director of Equalization of Pennington County

CERTIFICATE OF FINANCE OFFICER

I, Finance Officer of the City of Rapid City do hereby certify that the Growth Management Director of the City of Rapid City, has approved this Final Plat as shown hereon.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Finance Officer of the City of Rapid City

CERTIFICATE OF FINANCE OFFICER

I, Finance Officer of the City of Rapid City, do hereby certify that all special assessments which are levied upon the within the described lands are fully paid according to the records of my office.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Finance Officer of the City of Rapid City

CERTIFICATE OF COUNTY TREASURER

I, Treasurer of Pennington County, do hereby certify that all taxes which are levied upon the within described lands are fully paid according to the records of my office.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Treasurer of Pennington County

CERTIFICATE OF REGISTER OF DEEDS

State of South Dakota  
County of Pennington ss.

Filed this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

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Register of Deeds