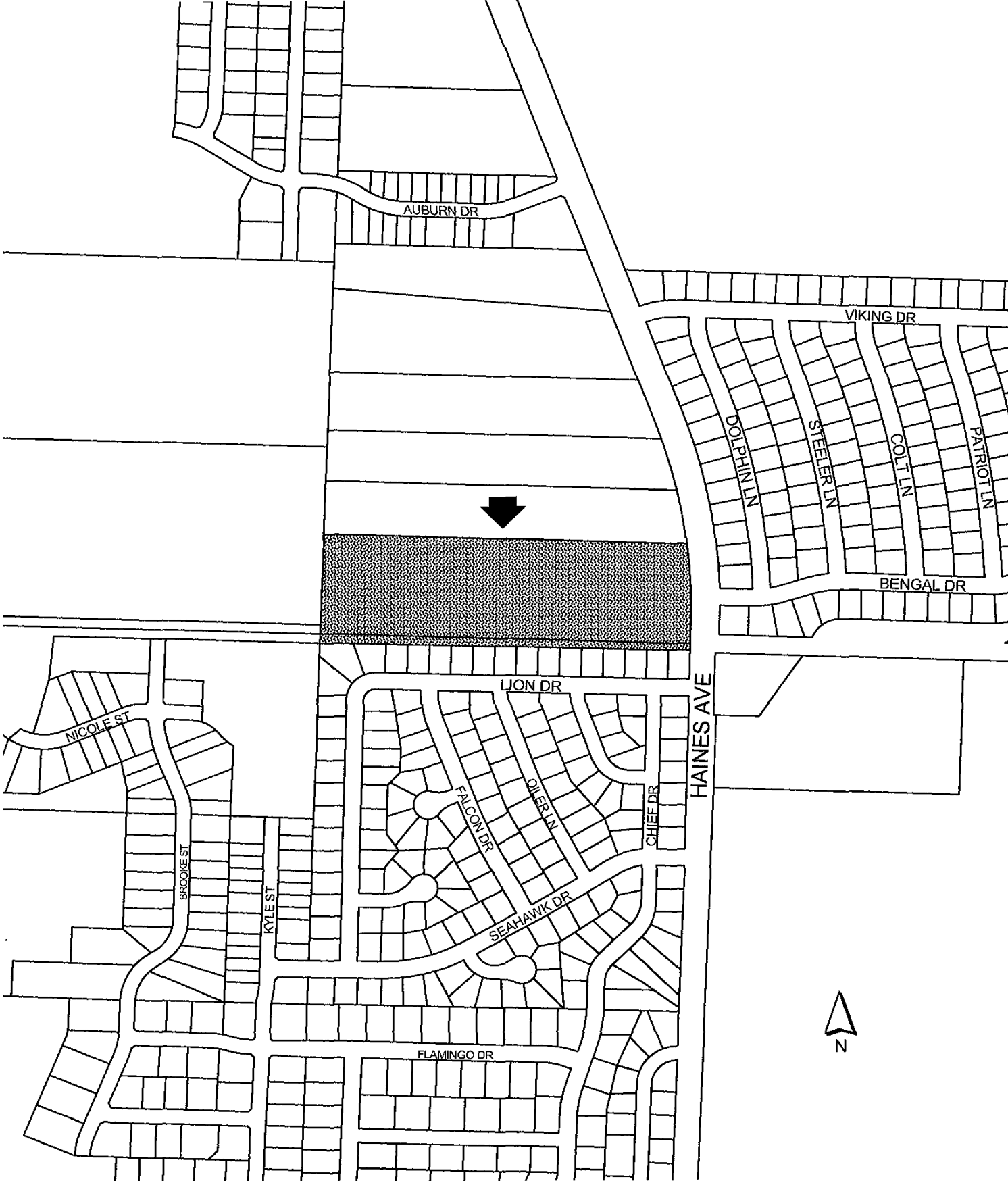


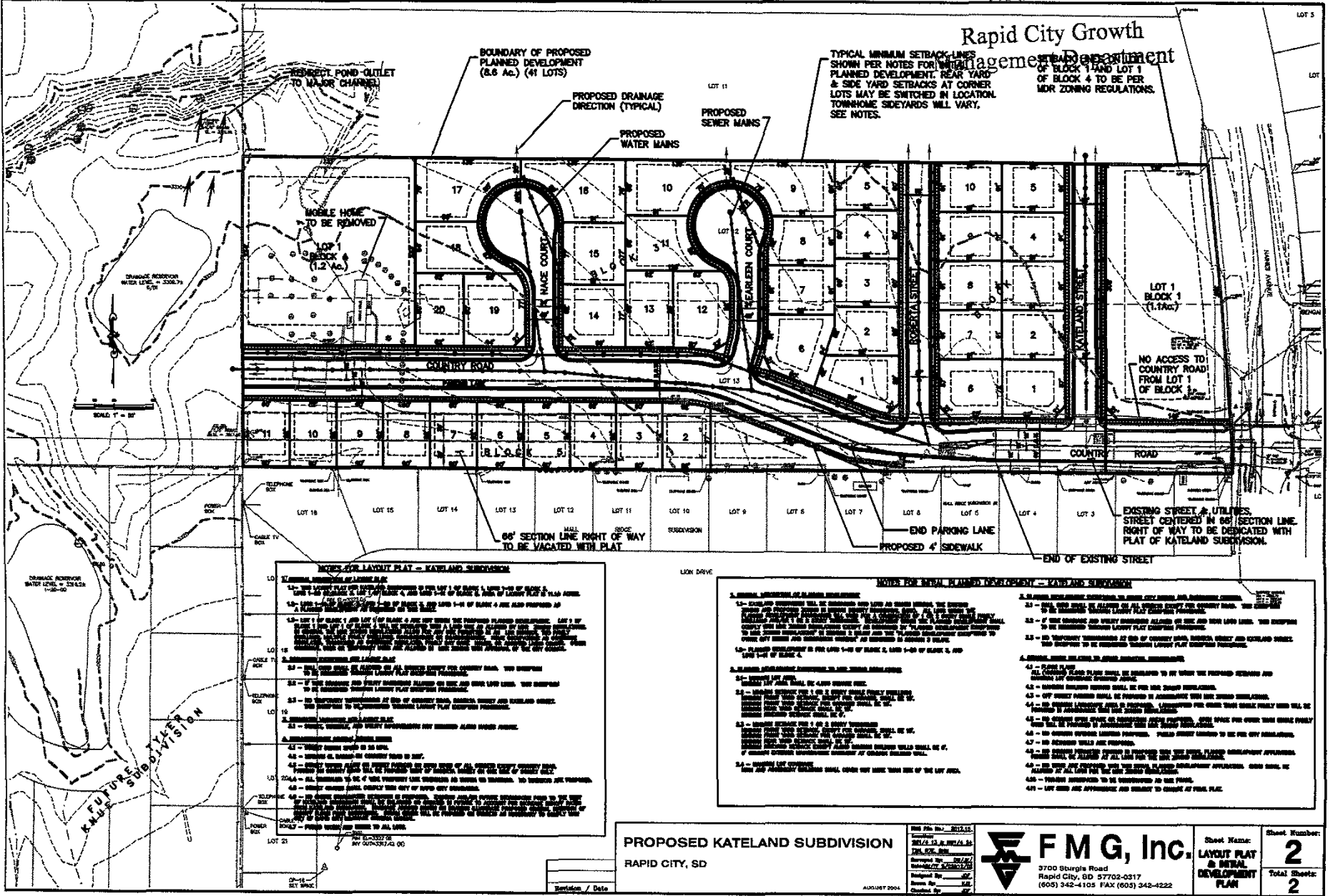
04PL121



AUG 27 2004

## Rapid City Growth Management Department

TYPICAL MINIMUM SETBACK LINES SHOWN PER NOTES FOR PLANNED DEVELOPMENT. REAR YARD & SIDE YARD SETBACKS AT CORNER LOTS MAY BE SWITCHED IN LOCATION. TOWNHOME SIDERYARDS WILL VARY, SEE NOTES.



### NOTES FOR LAYOUT PLAT - KATELAND SUBDIVISION

1. GENERAL REQUIREMENTS OF PLANNED DEVELOPMENT
2. GENERAL REQUIREMENTS OF PLANNED DEVELOPMENT
3. GENERAL REQUIREMENTS OF PLANNED DEVELOPMENT
4. GENERAL REQUIREMENTS OF PLANNED DEVELOPMENT
5. GENERAL REQUIREMENTS OF PLANNED DEVELOPMENT
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18. GENERAL REQUIREMENTS OF PLANNED DEVELOPMENT
19. GENERAL REQUIREMENTS OF PLANNED DEVELOPMENT
20. GENERAL REQUIREMENTS OF PLANNED DEVELOPMENT
21. GENERAL REQUIREMENTS OF PLANNED DEVELOPMENT

### NOTES FOR RETAIL PLANNED DEVELOPMENT - KATELAND SUBDIVISION

1. GENERAL REQUIREMENTS OF PLANNED DEVELOPMENT
2. GENERAL REQUIREMENTS OF PLANNED DEVELOPMENT
3. GENERAL REQUIREMENTS OF PLANNED DEVELOPMENT
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20. GENERAL REQUIREMENTS OF PLANNED DEVELOPMENT
21. GENERAL REQUIREMENTS OF PLANNED DEVELOPMENT

**PROPOSED KATELAND SUBDIVISION**  
 RAPID CITY, SD

Revision / Date

**FMG, Inc.**  
 3700 Shrigle Road  
 Rapid City, SD 57702-0317  
 (605) 342-4105 FAX (605) 342-4222

Sheet Name: **LAYOUT PLAT & RETAIL DEVELOPMENT PLAN**  
 Sheet Number: **2**  
 Total Sheets: **2**

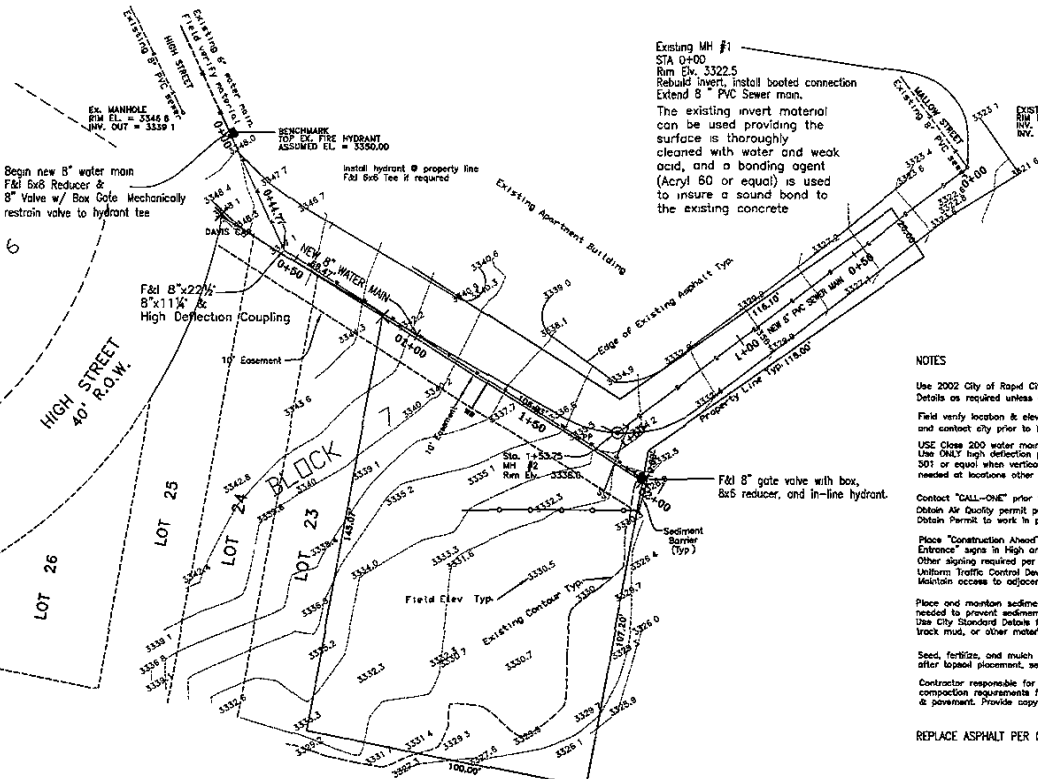
04SR053



INTERSTATE 190

NOR



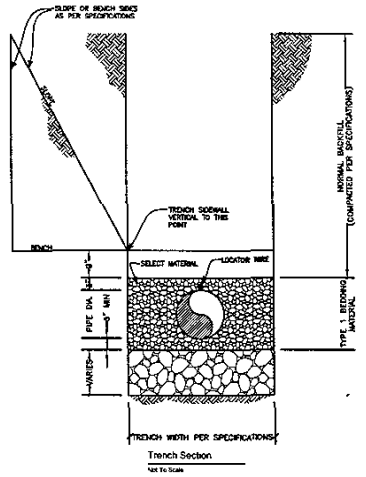
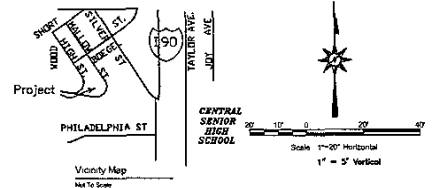


Existing MH #1  
 STA 0+00  
 Rim Elev. 3322.5  
 Rebuild invert, install booted connection  
 Extend 8" PVC Sewer man.  
 The existing invert material  
 can be used providing the  
 surface is thoroughly  
 cleaned with water and weak  
 acid, and a bonding agent  
 (Acryl 80 or equal) is used  
 to insure a sound bond to the  
 existing concrete

Begin new 8" water main  
 F&B Reducer &  
 8" Valve w/ Box Cofe Mechanically  
 restrain valve to hydrant tee

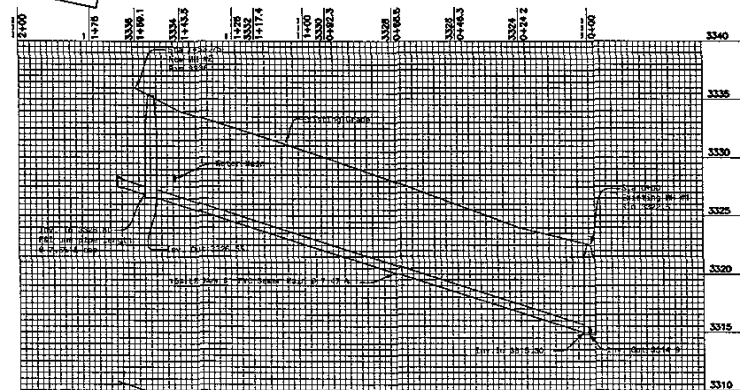
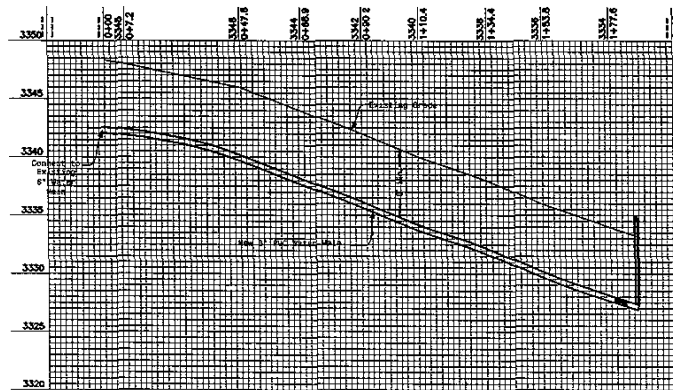
**NOTES**

- Use 2002 City of Rapid City Standard Specifications & Details as required unless otherwise noted.
- Field verify location & elevation of all existing features and contact city prior to beginning work.
- USE Close 200 water main for high pressure water main. Use ONLY high deflection pipe couplings (Romatic style 301 or equal) when vertical or horizontal deflections needed at locations other than bends shown.
- Contact "CALL-ONE" prior to beginning work. Obtain All Quality permit prior to staking work. Obtain Permit to work in public right of way
- Place "Construction Ahead" & "Truck Entrance" signs in High and Main Streets. Other signing required per Manual of Uniform Traffic Control Devices (MUTCD). Restrict access to adjacent properties.
- Place and maintain sediment control barriers as needed to prevent sediment from leaving work zone. Use City Standard Details for barrier types. Do not track mud, or other material onto public street.
- Seed, fertilize, and mulch topsoil area immediately after lapal placement, season permitting.
- Contractor responsible for soil analysis to determine compaction requirements for embankment, trenches, & pavement. Provide copy to Owner, City



REPLACE ASPHALT PER CITY STANDARDS 5' Min.

TOPOGRAPHIC INFORMATION SHOWN FROM FIELD SURVEY HANSON SURVEYING AND MAPPING.



**CITY OF RAPID CITY  
 GROWTH MANAGEMENT DEPT.  
 DEVELOPMENT SERVICES**

Plans are reviewed for general conformance with applicable governmental regulations, specifications, design criteria and engineering standards. The City of Rapid City does not certify the suitability, adequacy or completeness of the plans or design, which are the responsibility of the engineer of record. All necessary permits shall be obtained prior to construction of the proposed public improvements.

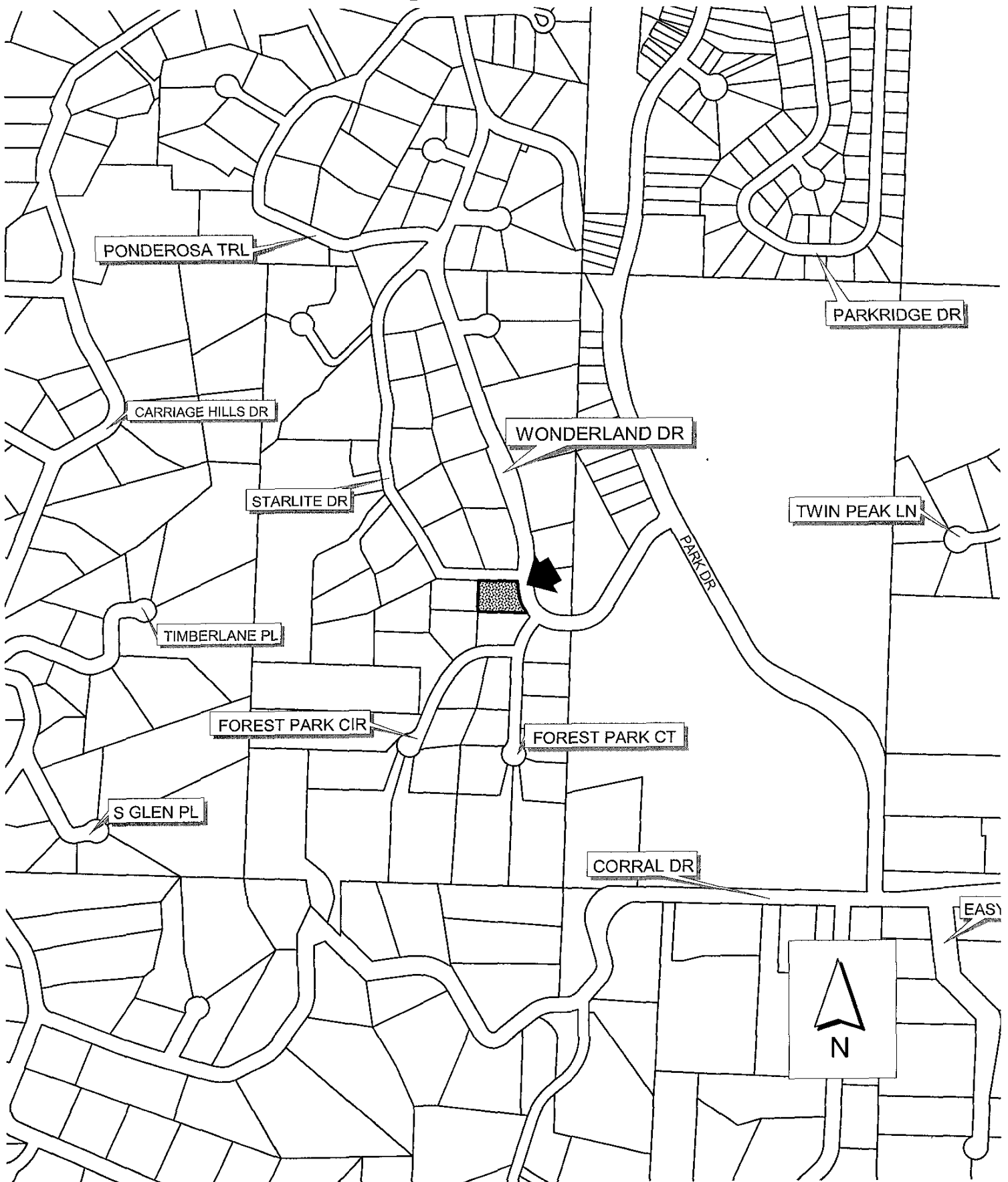
Engineering Permit # \_\_\_\_\_ Date \_\_\_\_\_  
 COMMENTS \_\_\_\_\_

0284 Mallow Street Utility Extension

**CENTERLINE**  
 724 54 Ave Street, Suite 120, Rapid City, SD 57701  
 Phone: (605) 341-3193 Fax: (605) 341-3324  
 email: info@centerline.com

project no. 0284  
 date: 8/20/04  
 file: 0284-0284-0276  
 sheet: 1 of 1

04VR007

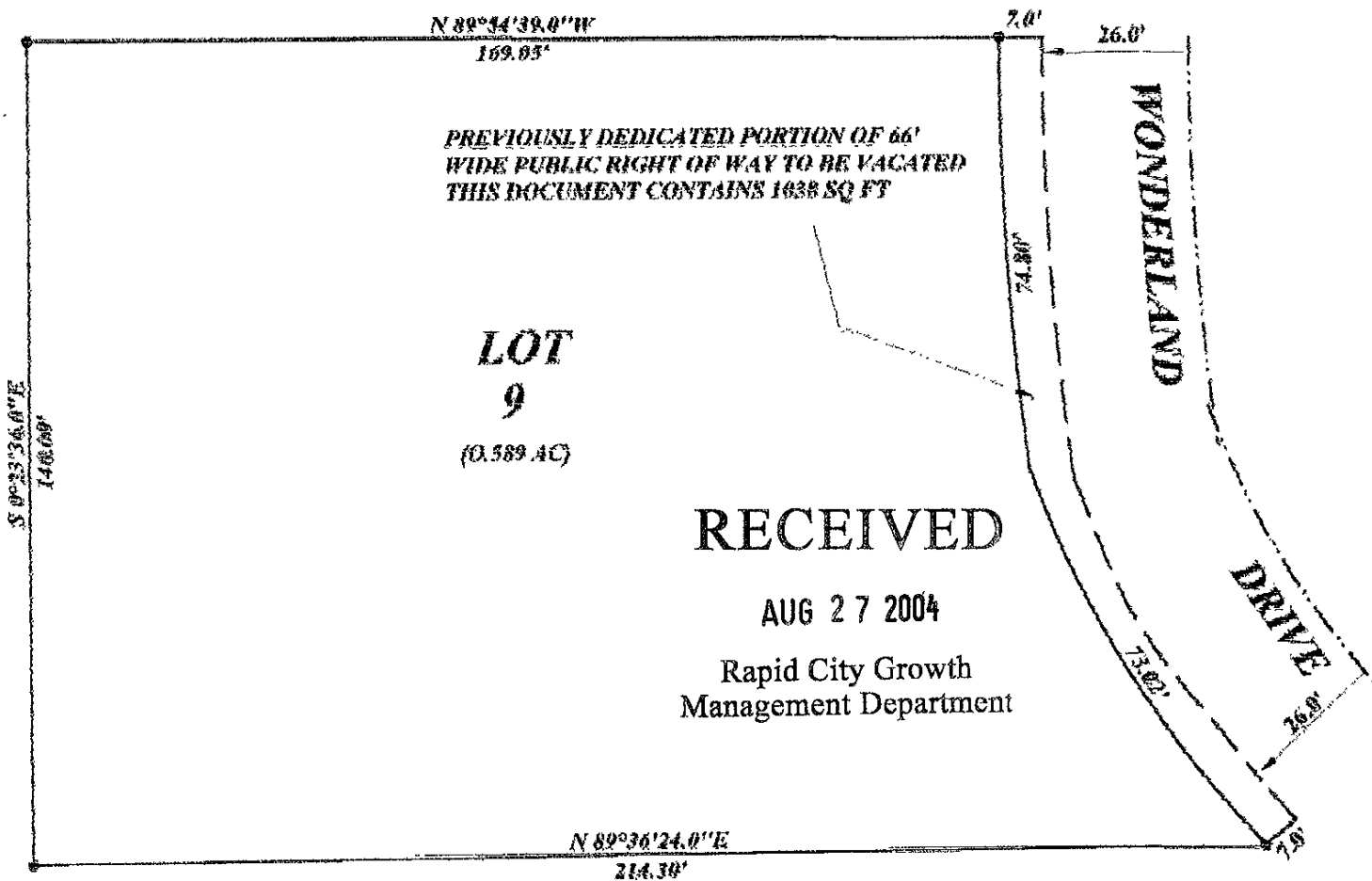


**EXHIBIT "A"**

**VACATION OF 7.0' OF 66' WIDE PUBLIC RIGHT-OF-WAY**

LOT 9 OF FOREST PARK ESTATES SUBDIVISION,  
RAPID CITY, PENNINGTON COUNTY, SOUTH DAKOTA.

**ROSEMARY LANE**



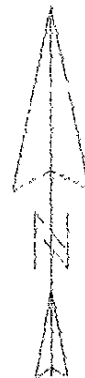
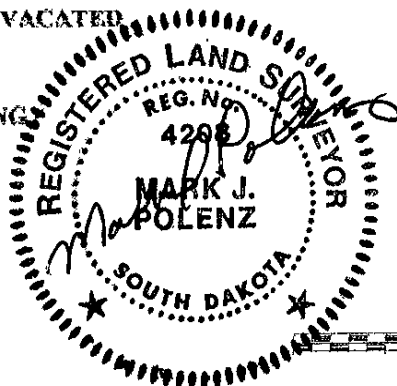
**RECEIVED**

AUG 27 2004

Rapid City Growth  
Management Department

NOTE: PORTION OF EXISTING 66' WIDE  
PUBLIC RIGHT-OF-WAY AS SHOWN IN  
PLAT BOOK 35 PAGE 153 TO BE VACATED  
THIS DOCUMENT.

POLENZ LAND SURVEYING  
1104 JACKSON BLVD  
RAPID CITY, SD 57702



AUGUST 15, 2004  
SCALE 1"=30'

04VE019



# "EXHIBIT A"

Vacation of the Temporary Drainfield Easement  
In Lot 9 of Block 3 of the Enchanted Pines Subdivision  
In the S½ of the NW¼ of the NE¼ of Section 23, T1N, R7E, BHM,  
Rapid City, Pennington County, South Dakota

(As recorded in Plat Book 30, Page 148 at the Pennington County Register of Deeds)

Enchanted Pines Drive

R=792.58'  
∠=3°10'25"  
L=43.90'

N 75°00' E  
70.61'

33'

33'

Temporary  
Drainfield  
Easement  
(To Be Vacated)

N 0°00'20" E - 97.76'

N 60°14' 52" W - 226.66'

N 0°00'20" E - 377.60'

S 0°00'20" W - 406.23'



1"=50'

Prepared By:  
Angle Surveys  
Jerry J. Wendland  
6909 Ridgeview Dr.  
Black Hawk, SD 57718  
605-787-4503

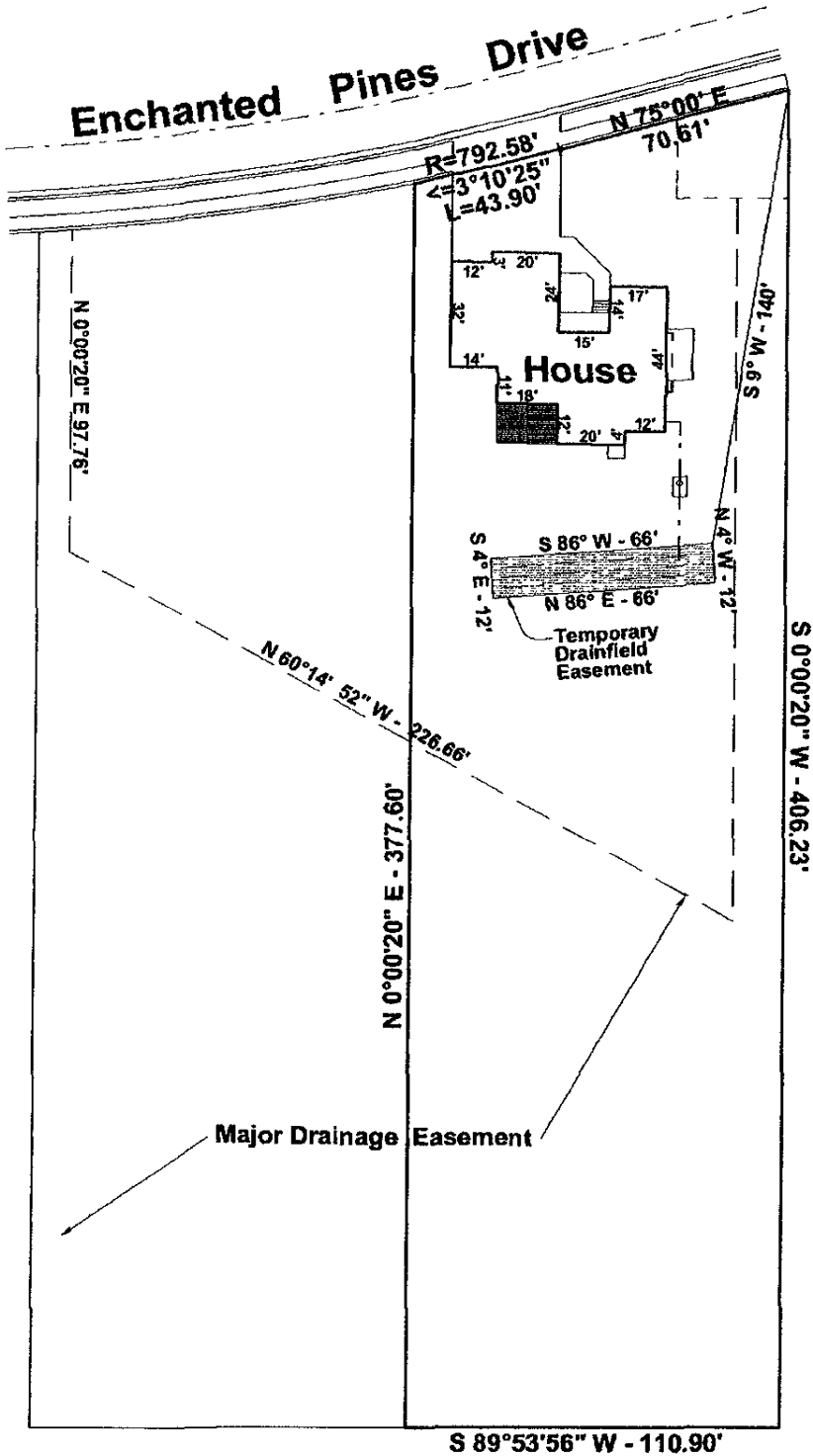
Major Drainage Easement

S 89°53'56" W - 110.90'



# "EXHIBIT A"

Temporary Drainfield Easement  
in Lot 9 of Block 3 of the Enchanted Pines Subdivision,  
in the S½ of the NW¼ of the NE¼ of Section 23, T1N, R7E, BHM,  
Rapid City, Pennington County, South Dakota



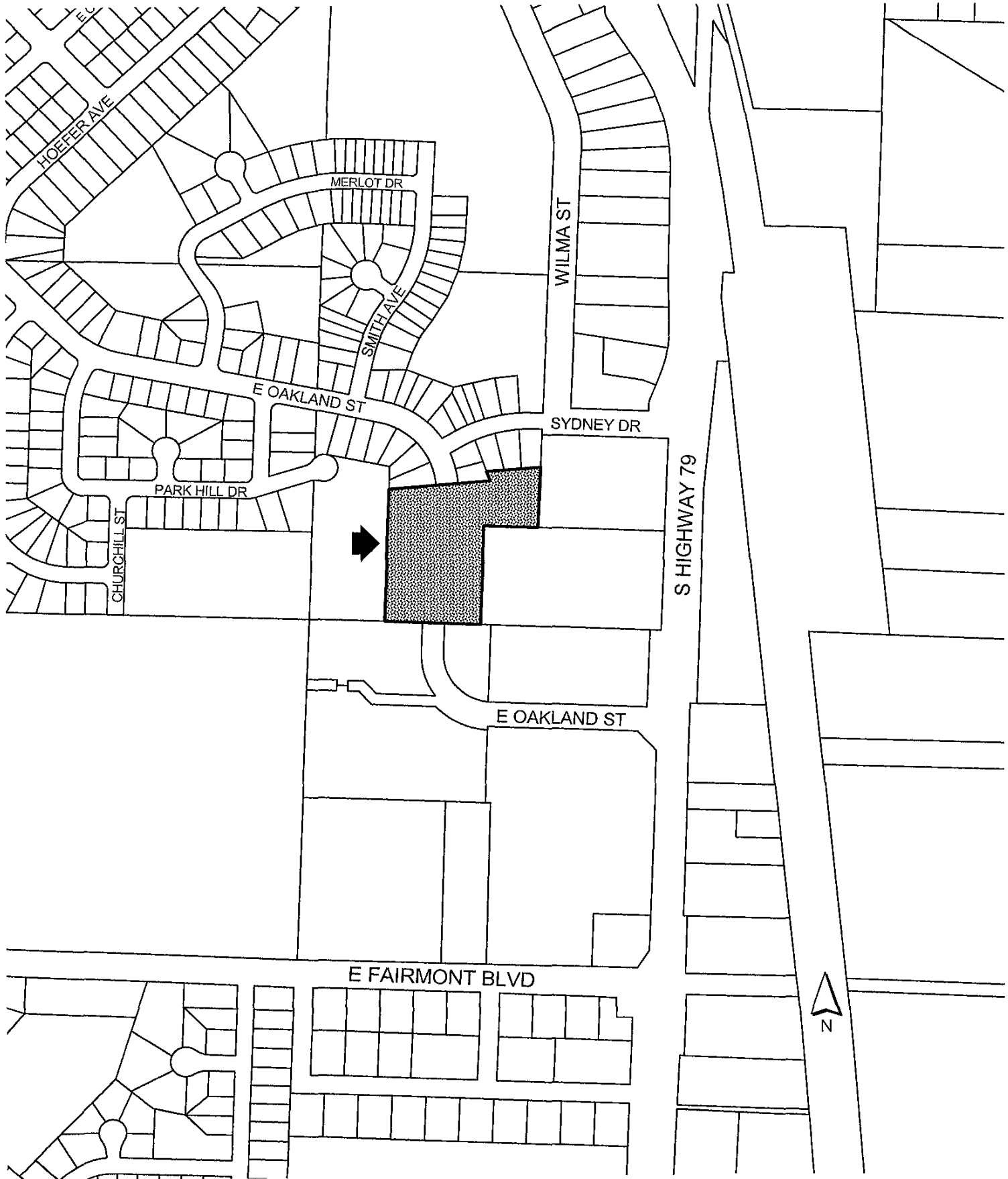
**NOTE:**  
Temporary Drainfield Easement will be automatically vacated when residence connects to a central sanitary sewer system.



**1"=50'**

Prepared By:  
Angle Surveys  
Jerry J. Wendland  
6909 Ridgeview Dr.  
Black Hawk, SD 57718  
605-787-4503

04PL122



# RECEIVED

AUG 27 2004

Rapid City Growth  
Management Department

PRELIMINARY PLAT OF  
LOTS 8, 9, 10 AND 11 OF BLOCK 3;  
AND LOTS 5, 6, 7, AND 8 OF BLOCK 4;  
AND DEDICATED RIGHT-OF-WAY OF PARK MEADOWS SUBDIVISION  
LOCATED IN THE NE1/4 OF SE1/4, SECTION 7, T1N, R8E, B.H.M.  
RAPID CITY, PENNINGTON COUNTY, SOUTH DAKOTA



1630 West Fulton Street  
Rapid City, SD 57702  
1021 Jackson Avenue  
Rapid City, SD 57701  
Phone: (605) 341-7800  
celco@celcoinc.com

**CELCO**  
Engineering Services, Inc.

DESIGNED: [ ]  
CHECKED: [ ]  
APPROVED: [ ]  
DATE: 8/23/04

PRELIMINARY PLAT

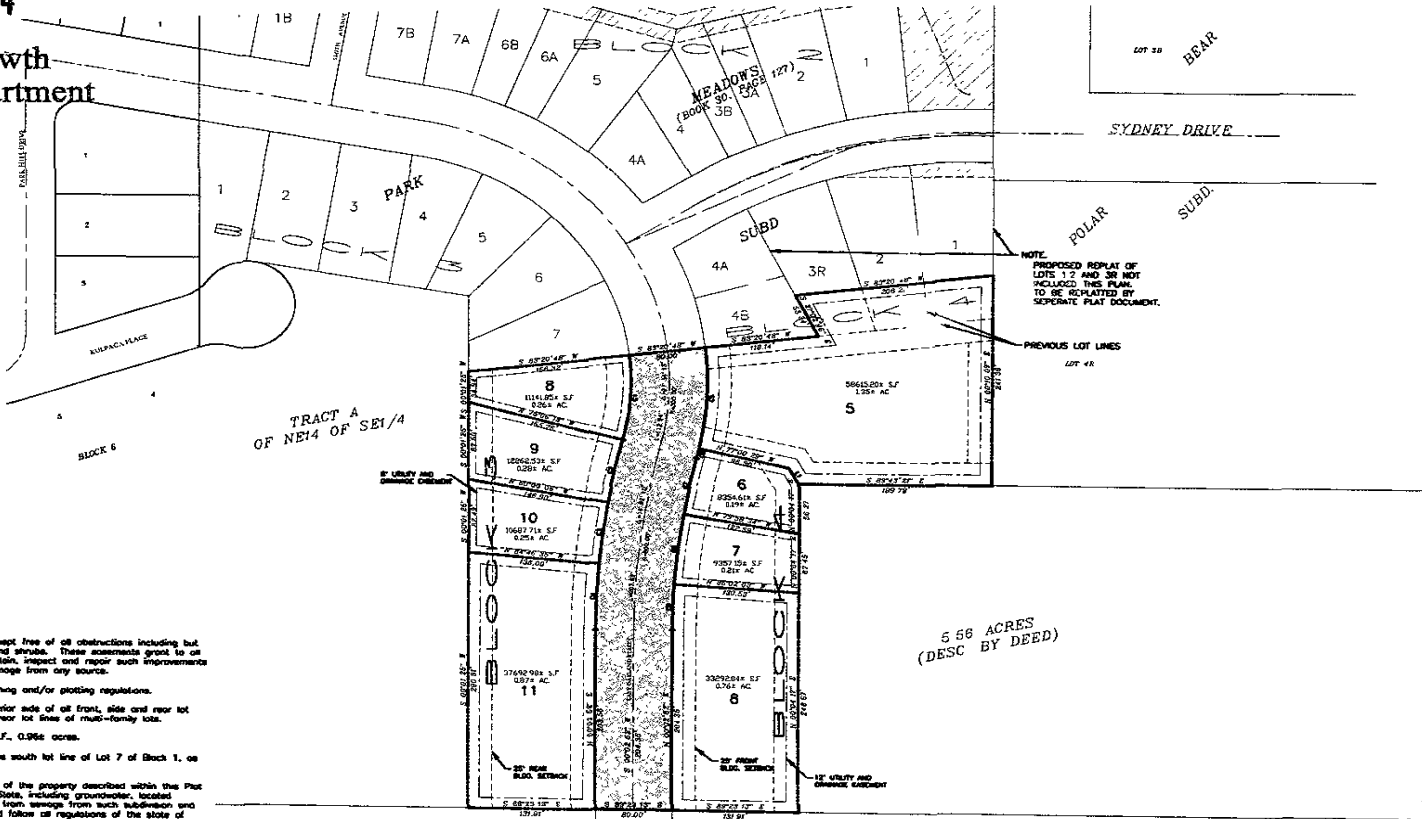
SHEET DESCRIPTION

PARK MEADOWS SUBDIVISION  
PAPER 3  
RAPID CITY, SOUTH DAKOTA

PROJECT

SHEET

3



EXISTING MAJOR DRAINAGE CATCHMENT  
DEDICATED RIGHT-OF-WAY

- NOTES:**
- All major drainage easements shown herein shall be kept free of all obstructions including but not limited to buildings, walls, fences, hedges, trees and shrubs. These easements grant to or public authorities the right to construct, operate, maintain, inspect and repair such improvements and structures as it deems expedient to facilitate drainage from any source.
  - Building Setback requirements are as stated in the zoning and/or plotting regulations.
  - Utility and Minor Drainage Easements - 8' on the interior side of all front, side and rear lot lines. 12' on the exterior side of all front, side and rear lot lines of multi-family lots.
  - Total right-of-way dedicated by this plat: 41961.24 S.F., 0.956 acres.
  - Scale of Bearing: Record bearing of S 83°07'45" W, the south lot line of Lot 7 of Block 1, as shown on the plat of Park Meadows Subdivision.
  - Pursuant to SDC1, §-3-E.1 and §-3-2, The Developer of the property described within the Plat shall be responsible for protecting any waters of the State, including groundwater, located adjacent to or within such plotted area from pollution from sewage from such subdivision and shall in prosecution of such protection conform to and follow all regulations of the state of South Dakota Department of Environment and Natural Resources relating to the same.

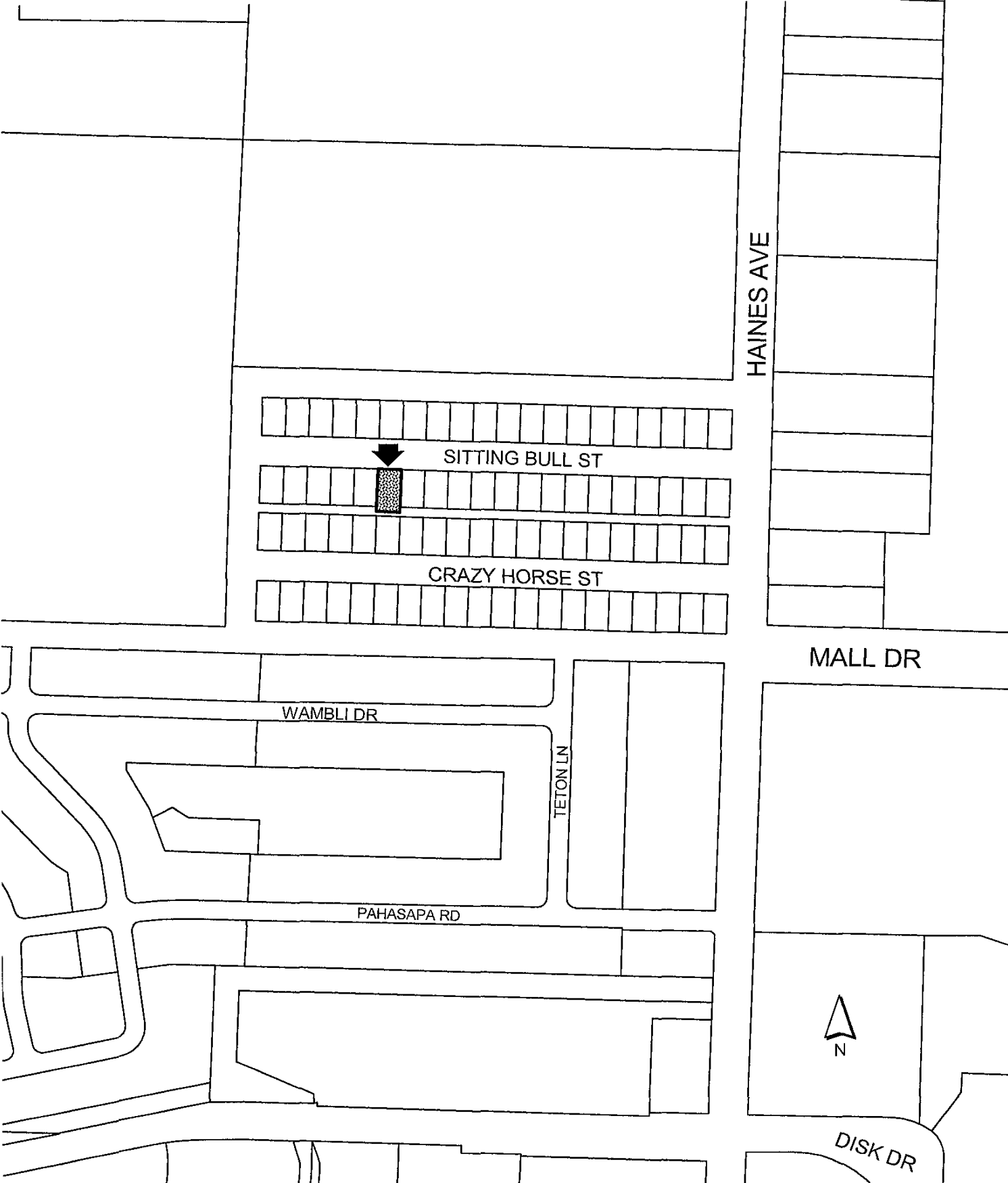
LOT A OF LOT 2  
SUPERPUMPER ADDITION

LOT C OF LOT 2  
SUPERPUMPER ADDITION

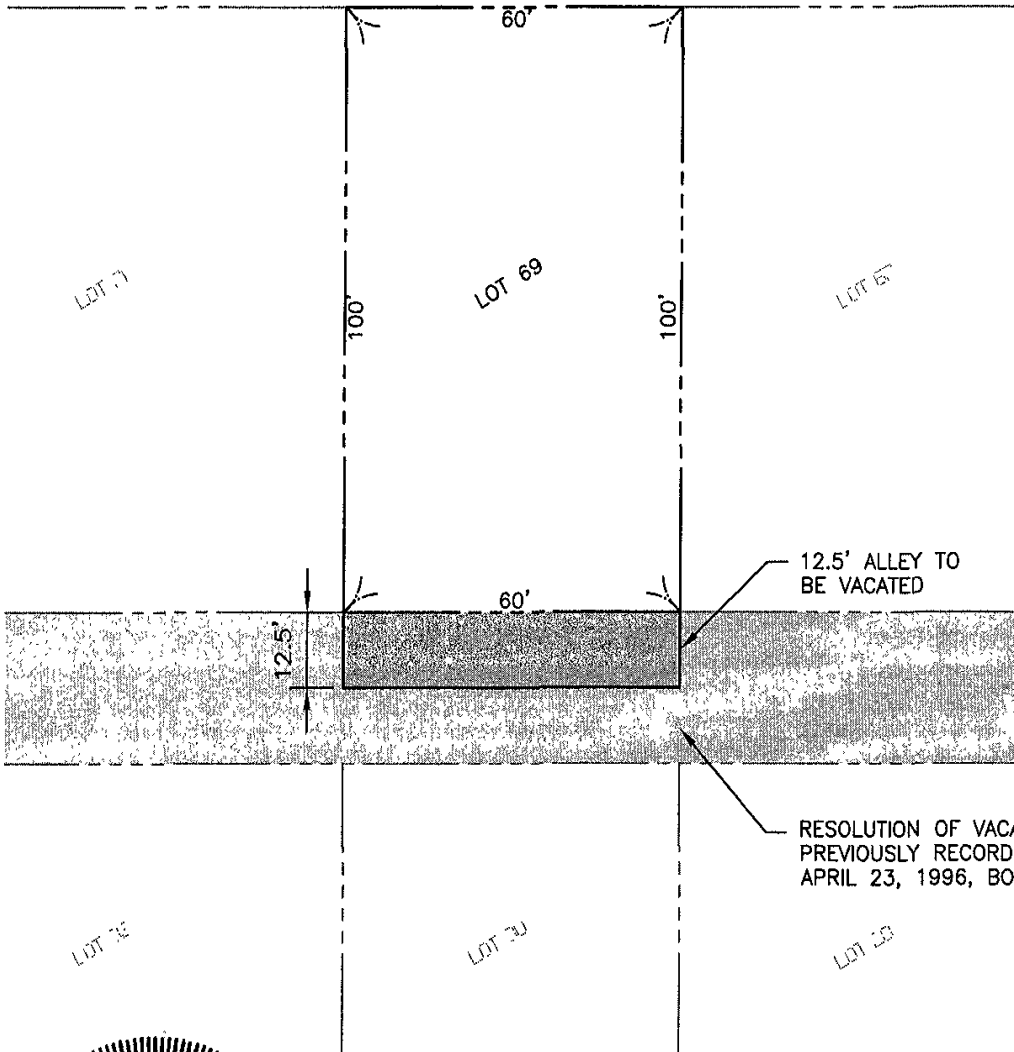
5.66 ACRES  
(DESC BY DEED)

DATE PLAT FILED: 8/23/04 10:45 AM REGISTERED: 8/23/04 10:45 AM

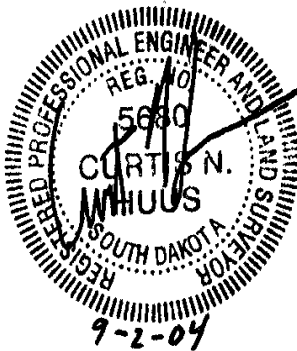
1135



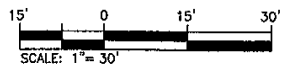
SITTING BULL STREET



RESOLUTION OF VACATION  
PREVIOUSLY RECORDED  
APRIL 23, 1996, BOOK 62, PAGE 5941

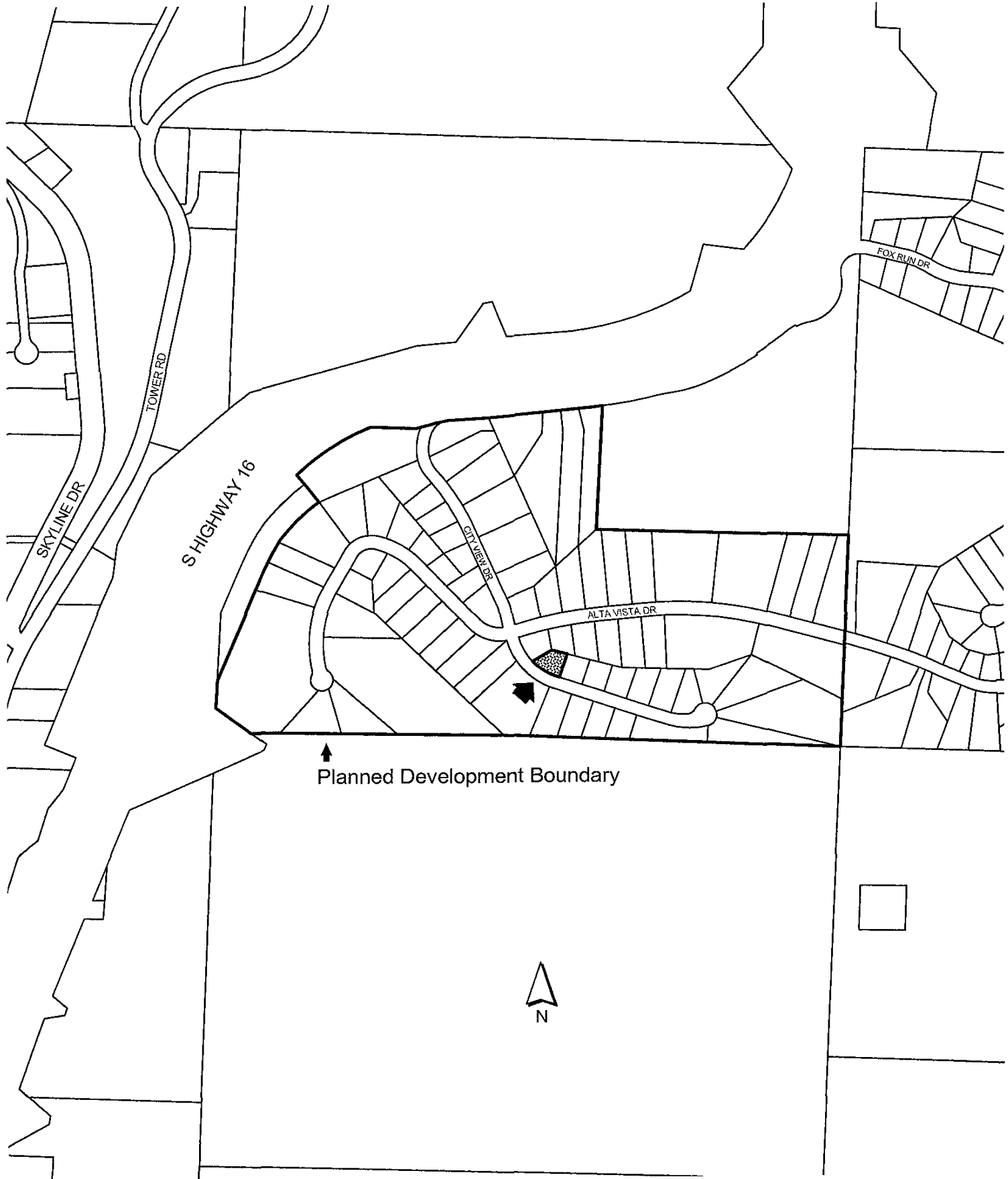


**EXHIBIT A**  
**VACATION OF PUBLIC RIGHT-OF-WAY**  
 LOT 69 OF DAKOTA SUBDIVISION NO.1  
 OF THE  
 SE 1/4, SW 1/4, SEC. 24, T2N, R7E, BHM  
 RAPID CITY, SOUTH DAKOTA  
 SEPTEMBER 2, 2004



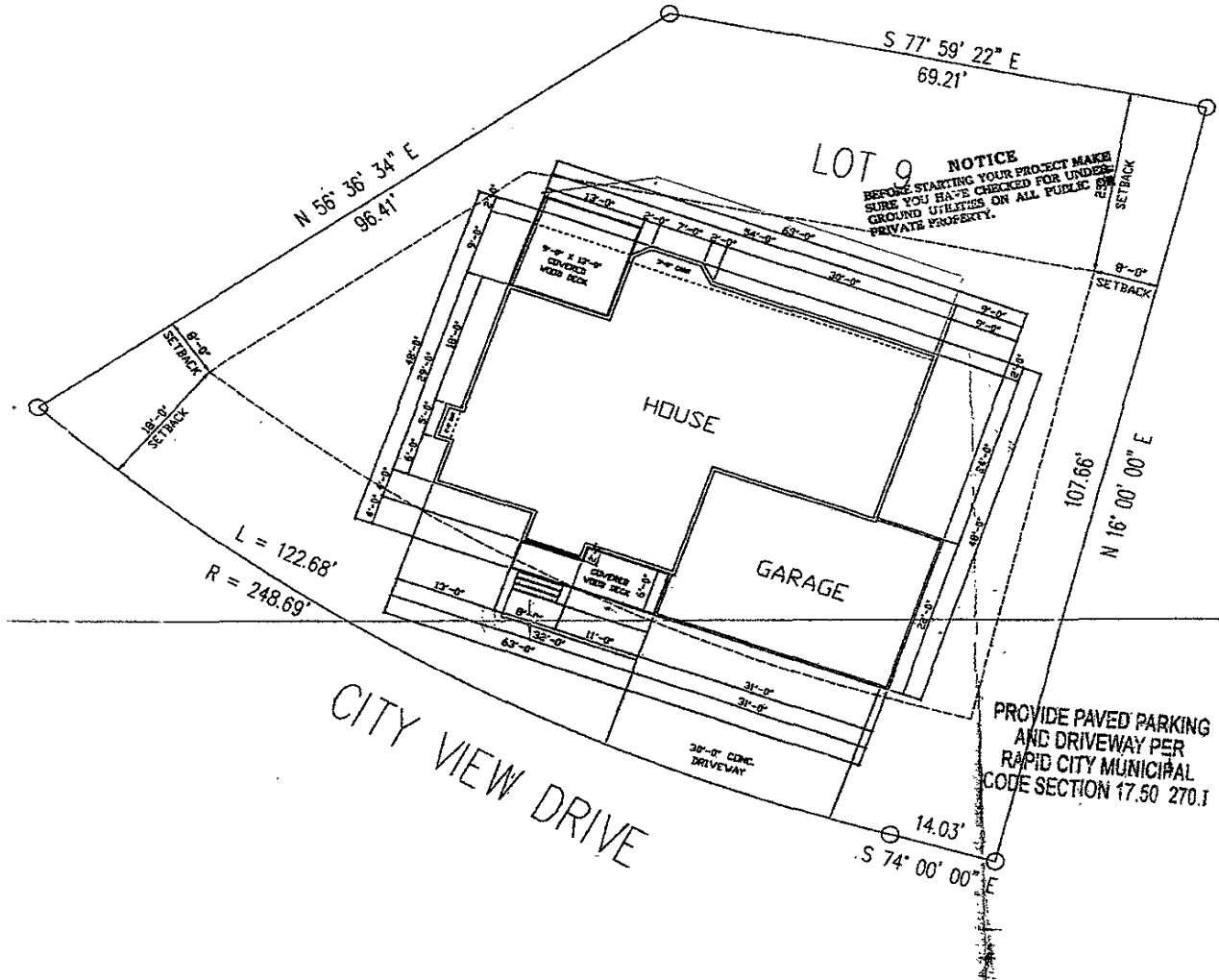
**PREPARED BY:**  
 CITY OF RAPID CITY  
 300 SIXTH STREET  
 RAPID CITY, SD 57701  
 (605)394-4154 (605)394-6636 (FAX)

# 04PD049



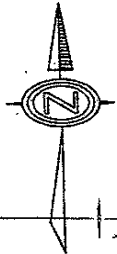
↑  
Planned Development Boundary





**LOT 9 NOTICE**  
 BEFORE STARTING YOUR PROJECT MAKE  
 SURE YOU HAVE CHECKED FOR UNDER-  
 GROUND UTILITIES ON ALL PUBLIC AND  
 PRIVATE PROPERTY.

**PLOT PLAN**  
 FOR LOT 9 BLK. 2  
 OF TERRACITA HIGHLIGHTS SUBDIVISION  
 IN THE CITY OF RAPID CITY  
 IN THE COUNTY OF  
 PENNINGTON COUNTY, SOUTH DAKOTA



SCALE 1" = 10'-0"

PROVIDE PAVED PARKING  
 AND DRIVEWAY PER  
 RAPID CITY MUNICIPAL  
 CODE SECTION 17.50 270.1

**RECEIVED**

AUG 27 2004

Rapid City Growth  
 Management Department

HOUSE LOCATION SURVEY  
Lot 9 in Block 2  
Terracita Highlights Subdivision  
Rapid City, Pennington County, South Dakota

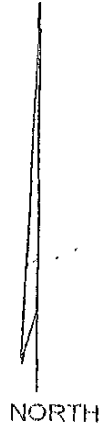
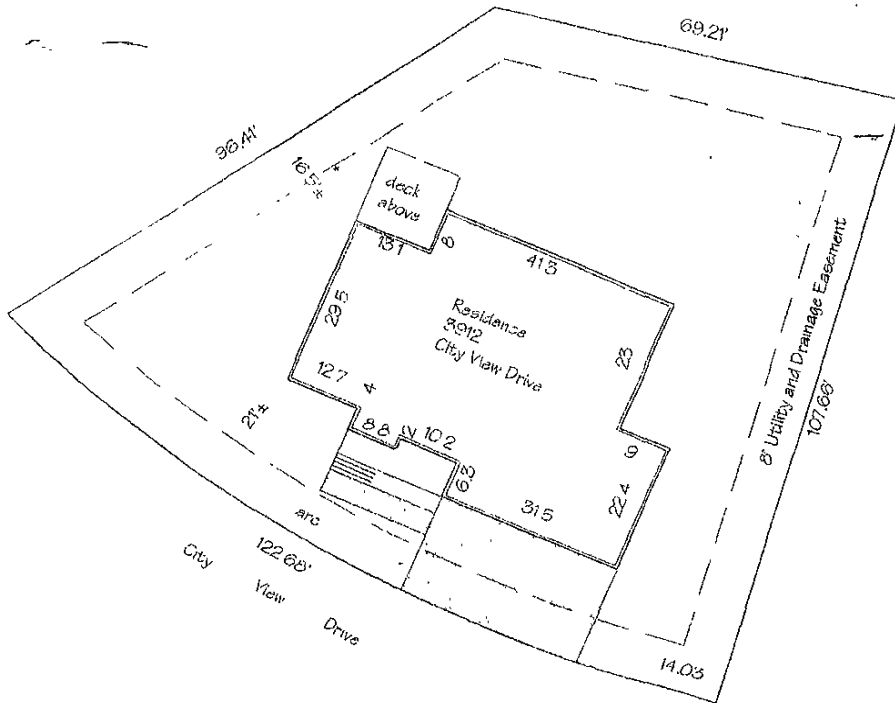
RE/MAX REALTORS: Kim / Paula Lewis

Buyers: Craig Shaefer

SURVEY: NH

DRAFTING: NH

DATE: 4/20/2004

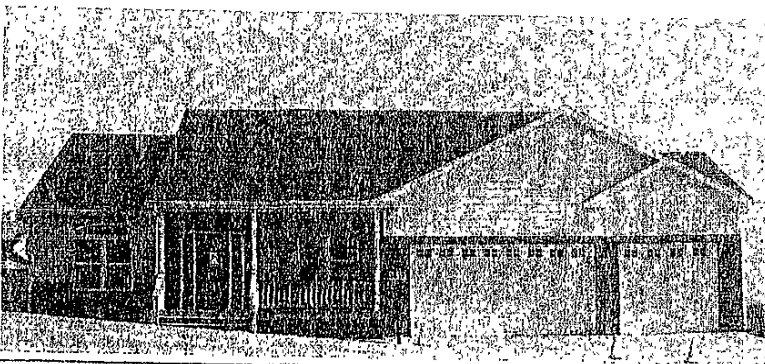


SCALE: 1" = 30'

RECEIVED

AUG 27 2004

Rapid City Growth  
Management Department



SURVEYORS CERTIFICATION  
I, NORMAN W. HALE, REGISTERED LAND SURVEYOR IN THE STATE OF SOUTH DAKOTA, DO HEREBY CERTIFY THAT I HAVE LOCATED THE BUILDING OR BUILDINGS ON THE ABOVE DESCRIBED PROPERTY AS SHOWN HEREON. THIS SURVEY WAS COMPLETED TO SATISFY THE REQUIREMENTS OF THE LENDER OR INSURER AND IS NOT TO BE USED AS A LEGAL BOUNDARY SURVEY NOR FOR USE TO DETERMINE THE TRUE LOT LINES FOR SIDE, FRONT OR REAR IMPROVEMENTS.

*Norman W. Hale*  
REGISTERED LAND SURVEYOR 93216

NORMAN W. HALE, RLS  
PHONE & FAX 605-347-5741  
email normnhale@rushmore.com

SINCE 1979

1444 CEDAR STREET  
STURGIS, SOUTH DAKOTA  
57785



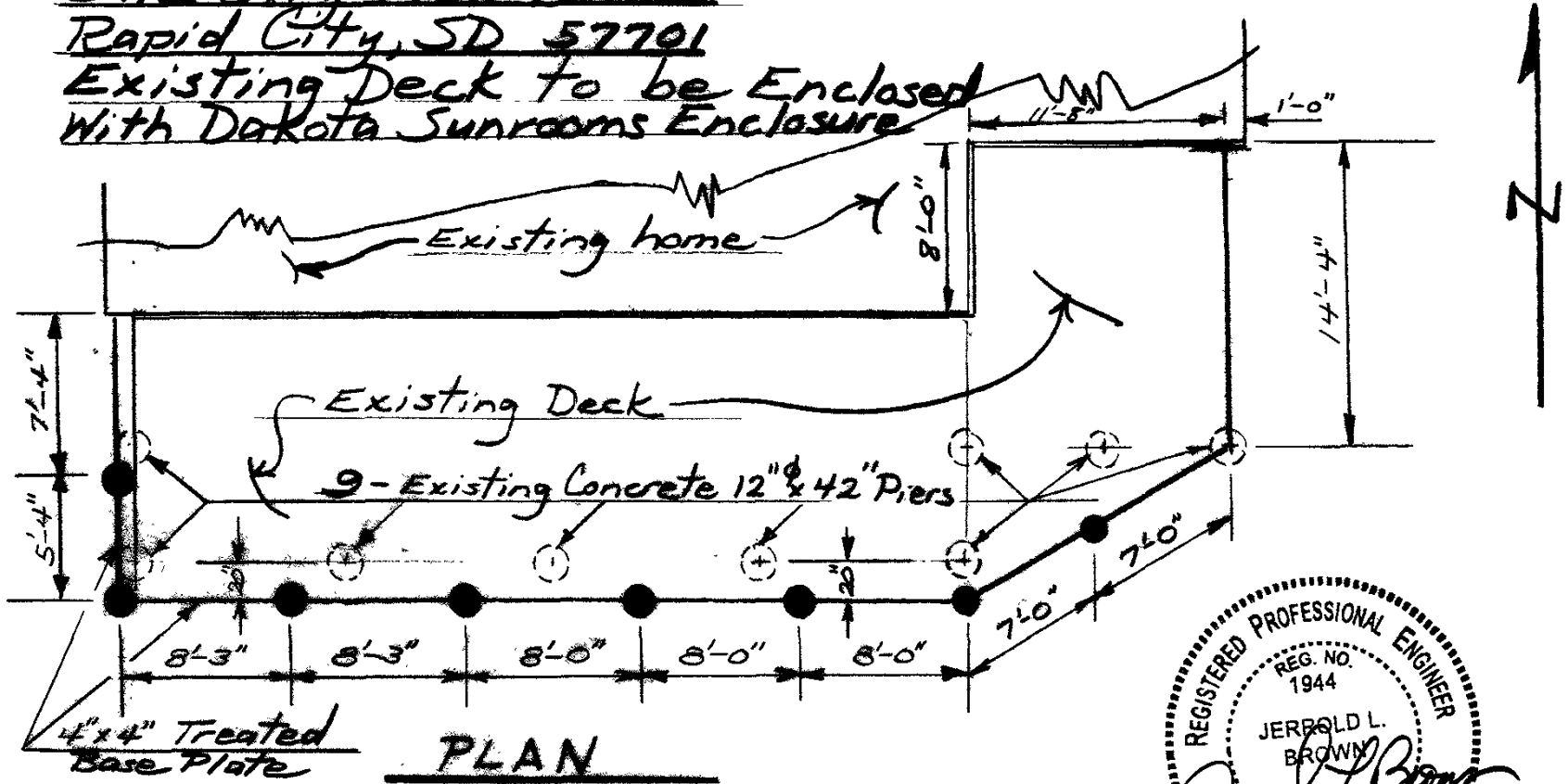
Craig Schaefer Home

3917 City View Drive

Rapid City, SD 57701

Existing Deck to be Enclosed  
With Dakota Sunrooms Enclosure

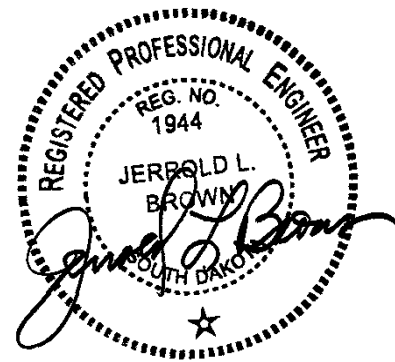
August 16, 2004



**PLAN**

Scale:  $\frac{1}{8}'' = 1'-0''$

- New 12"φ x 42" Concrete Piers - 8 total
- Concrete Piers ~ Use 3000psi Concrete
- Use: 2 - 5/8" x 9" Anchor bolts each Pier



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AUG 27 2004

Rapid City Growth  
Management Department

Jerrold L. Brown, P.E.  
4712 Edgewood Dr.  
Rapid City, S.D. 57702

# 04SR052





# Emergency Services Communications Center

*"Pride in Service"* 

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*PENNINGTON COUNTY • RAPID CITY*

*Equal  
Opportunity  
Employer*

Brad Solon, Plans Inspector  
Building Inspection Division  
City of Rapid City  
300 6<sup>th</sup> St.  
Rapid City, SD 57701

August 18, 2004

**Subject:** Site plan for a new electronics equipment shelter for the  
Rapid City-Pennington County 9-1-1 Backup Dispatch Project

Brad,

The Rapid City-Pennington County 9-1-1 Backup Dispatch Project (Backup Dispatch Project) is a Homeland Security Grant Program funded project that will establish a backup 9-1-1-dispatch facility in the basement of the Rapid City Fire Department Station 6 at 1920 Promise Rd. The overall project is scheduled for completion in early 2005.

An integral part of this project is the installation of required radio equipment that will allow 9-1-1 Dispatchers to communicate via VHF, UHF and VHF Trunked radio frequencies, with emergency responders throughout Pennington County. An agreement with Western Wireless has been made to locate 20 directional antenna's on their existing cellular tower next to Station 6. The agreement does require us to install our own equipment shelter and electric meter. This site plan will detail our intended plans to locate and install the new equipment shelter and provide electric power to it.

### Location of the new equipment shelter

Please refer to attachment 1 for a site sketch showing the proposed location of the 6x8x8 Thermo Bond equipment shelter.

The proposed location of the new shelter on the west side of the existing Western Wireless shelter is intended to take advantage of an existing 4" conduit located near the south-west corner of the existing Western Wireless shelter. This conduit was installed with this project in mind. This conduit will be used to run three (3) 25-pair wires from inside the phone room on the main floor of Station 6 to the new equipment shelter. The three wires will come out of the conduit and be routed into the new shelter where they will be connected to radio control stations. Antenna lead wires will then exit the new shelter and proceed under the existing ice cap, to the inside of the north-west leg of the tower where a new cable ladder will be installed to facilitate running the antenna lead cables from to their individual antennas.



# Emergency Services Communications Center

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It is crucial that the new shelter be located as close as possible to the 4" conduit. We are proposing to leave 8' of space between the existing security fence around the tower and the south edge of the new shelter. This will allow access to the electric service for the Western Wireless shelter. We are also proposing to leave 18" of space between the Western Wireless shelter and the new shelter to allow for building maintenance and weed control between the shelters. The door on the new shelter would face north.

## Concrete pad for the new equipment shelter

See attachment 2 for a drawing of the proposed concrete pad.

The Thermo Bond shelter requires installation of a 6' x 8' concrete pad that has 1' wide, 18" thick edges and is 6" thick in the middle. The new equipment shelter weighs 5,000 lbs. The concrete pad will sit on a 6" gravel fill base and will have #4 rebar 24" on center. There will be four (4) ¾" x 6" anchor bolts installed in the four corners of the pad to secure the shelter to pad. The concrete used for the pad shall attain a minimum ultimate compression strength of 4,000 PSI within 28 days. All wire mesh will have a minimum of 2" concrete cover.

## Electric Plan

We will be hiring an electrical contractor to bring electric power to the equipment shelter, in accordance with all City electrical and building codes.

## The new Thermo Bond equipment shelter

### ENGINEERING DETAILS

#### 1. SIZE

The shelter shall be 6' wide O.D. x 8' long O.D. x 8' high I.D.

#### 2. DESIGN

The minimum **R-Values** in the floor and walls will be 11, R-19 in the roof.

#### 3. FLOOR LOADING

The minimum floor loading shall be **200 pounds** per square.

#### 4. ROOF LOADING

The minimum roof loading shall be **150 pounds** per square foot.

#### 5. ROOF IMPACT RESISTANCE

The minimum roof impact resistance shall be **220 pounds** with no visible damage to either the exterior or interior of the roof or shelter.



# Emergency Services Communications Center

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## 6. WALL WIND LOAD

The minimum wall wind load shall be 150 MPH.

## 7. AIR INFILTRATION

There shall be **no air infiltration** of the shelter when measured before installation of any through the wall, floor, or roof items when exposed to winds of 50 mph.

## CONSTRUCTION DETAILS

### 1. SKID ASSEMBLY

The skid assembly for the shelter shall have a minimum of two 6" x 9 lb. beams with 3½" O.D. pipes running through the beams and welded into place. 2" x 2" x ¼" angles shall be placed between the beams every 4' O.C. The complete skid assembly shall be painted with a rust preventative paint after fabrication and secured to the finished sub-floor with high strength 3" lag bolts.

### 2. FLOOR ASSEMBLY

The floor system shall be comprised of 1 layer of ¾" CDX plywood (exterior side) and 1 layer of ¾" tongue and groove plywood (interior side) with 3½" of R-11 fiberglass batt insulation. The floor is constructed of 2"x 4" 16"oc. Before the floor assembly is attached to the skid assembly and the installation of the rodent shield mesh, the underside of the floor assembly shall be treated with an application of a coat of penetrating liquid bituminous sealer.

### 3. RODENT SHIELD

The complete underside of the floor assembly shall be covered with a 16-mesh .011 wire mesh rodent shield before the floor assembly is attached to the skid assembly.

### 4. INTERIOR FLOOR FINISH

The interior surface of the shelter floor shall be covered with a commercial grade vinyl tile. The covering shall be held in place with commercial grade glue.

### 5. ROOF SYSTEM

The roof system shall be comprised of 1 layer of ¾" CDX plywood (exterior side) and 1 layer of 5/8" OSB with laminated glassboard (interior side) with 5½" of R-19 fiberglass batt insulation. The roof construction shall be 2"x 6" 16" oc.

### 6. EXTERIOR ROOF FINISH

The exterior of the roof shall be covered with a commercial grade 45 mil nylon reinforced rubber roofing material secured in place with a commercial grade contact glue. All seams are heat welded. A galvanized metal roof edge shall cover the perimeter of the roof. The roof shall be sloped from the center to the sides to provide proper drainage.



# Emergency Services Communications Center

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## 7. INTERIOR WALL AND CEILING CONSTRUCTION

The interior walls and ceiling shall be a minimum of 5/8" OSB (oriented strand board) with .030 fiberglass reinforced plastic laminated to the interior side.

## 8. EXTERIOR WALL CONSTRUCTION

The exterior walls of the shelter shall be of natural stone aggregate with a general color of "Buff" (lite brown/tan).

## 9. WALL, ROOF, FLOOR INTERIOR CORES

The interior core of the walls, roof, and floor shall be filled with R-11 & R-19 fiberglass batt insulation.

## 10. SEAMS

At all points on the exterior of the shelter where two pieces of material come together, butt against each other, overlap each other, or are fastened one to the other, the seam shall be sealed with an industrial grade polyurethane sealer during and after final assembly to insure water tight joints. A one-piece aggregate angle shall be installed over each corner joint.

## 11. DOOR ASSEMBLY

The size of the door shall be 3' x 7' minimum clearance. The door shall be a commercial grade insulated steel door manufactured from a minimum of 24-gage steel. The doorframe shall be a commercial grade heavy-duty steel doorframe manufactured from a minimum of 16-gage steel. The door and frame shall be painted with high quality exterior grade paint, suitable for use on metal. The door hinges shall be heavy-duty stainless steel ball bearing hinges with non-removable pins capable of supporting the door over an extended time of frequent use. The door shall be equipped with a heavy-duty commercial grade deadbolt lock. The door and frame assembly shall be equipped with all necessary weather-stripping and seals necessary to make an air-tight assembly. The door shall be equipped with miscellaneous hardware, including a heavy-duty commercial grade open door latch, passage set, chromed interior pull handle and all items necessary to make a complete assembly.

## 12. ELECTRICAL

All electrical wiring shall be in conduit and raceways. All conduit, raceways, fittings, and hardware shall be galvanized steel or rustproof metal. Conduit shall have reamed ends secured to boxes or raceways with compression type connectors. Bends shall be made so that conduit will not be injured or the internal diameter of the conduit reduced. Conduit kinked, crushed, or damaged will be rejected. All conduit shall be anchored in place at least every four feet. All conduit shall be exposed and attached to the inside surface of the shelter. All wire is copper. All wire runs shall be continuous. The proposed shelter shall be equipped with the following electrical items:

1. 100 amp, 20 position distribution panel with main breaker
2. (2) - 2 tube, 4 foot fluorescent light fixtures with switch
3. (6) - 110v interior duplex receptacles
4. (1) - 12" exhaust fan and motorized intake damper w/thermostat & weather hood
5. (6) - 4" waveguide port (Microflect)



# Emergency Services Communications Center

*"Pride in Service"*

---

PENNINGTON COUNTY • RAPID CITY

Equal  
Opportunity  
Employer

6. (1) – 4' baseboard heater w/thermostat
7. (1) – Master ground bar
8. Breakers to accommodate the above
9. All wires, boxes, conduit, etc., to make a complete assembly

## MAJOR CONSTRUCTION MATERIALS AND METHODS OF CONSTRUCTION

### 1. THERMO BOND AGGREGATE PANEL

The **standard exterior** of a Thermo Bond shelter is the Thermo Bond Aggregate Panel.

The Thermo Bond Aggregate Panel is impervious to weathering and environmental elements and is virtually **maintenance free**. The panel is widely used in the construction of office buildings and other commercial property.

### 2. THERMO BOND SEALER

At all points in the structure where two pieces of exterior material come together, butt against each other, overlap each other, or are fastened one to the other, the seam is sealed with an industrial grade poly-urethane caulking material to insure water tight joints and connections.

### 3. THERMO BOND PLY-SEAL ROOF

The Thermo Bond Ply-Seal Roof is composed of a 45 mil commercial rubber roofing material bonded to the top layer of 3/4" CDX with a commercial bonding glue.

### 4. STAINLESS STEEL SCREWS

The Thermo Bond Stone Aggregate Panel and all other attachments to the exterior of the shelter are made with the use of stainless steel screws.

### 5. METHODS OF CONSTRUCTION

Thermo Bond shelters are constructed with a minimum of 2"x4" on 16" centers. The walls, roof and floor are all fastened together using 6" and 3" lag bolts.

Based on this site plan, please provide me with a list of requirements we must meet to be in full compliance with all City building codes and permit requirements.

The primary contact on this project is: Ted Ruffedt, Jr., 394-6794

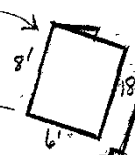
Thank you.

N →

PROPERTY LINE/FENCE

Think there is a sidewalk on the south side of the building (sketch)?  
↓  
Do we need to include it on the sketch?  
IFD ON 6

Proposed site of New Equipment Shelter & concrete IPAD

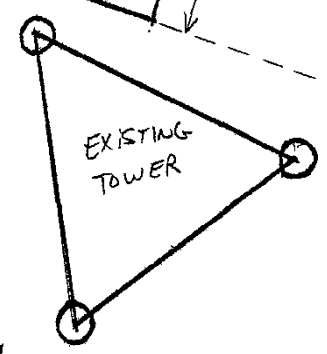


EXISTING WESTERN WIRELESS SHELTER



EXISTING 4" Conduit

EXISTING SECURITY FENCE

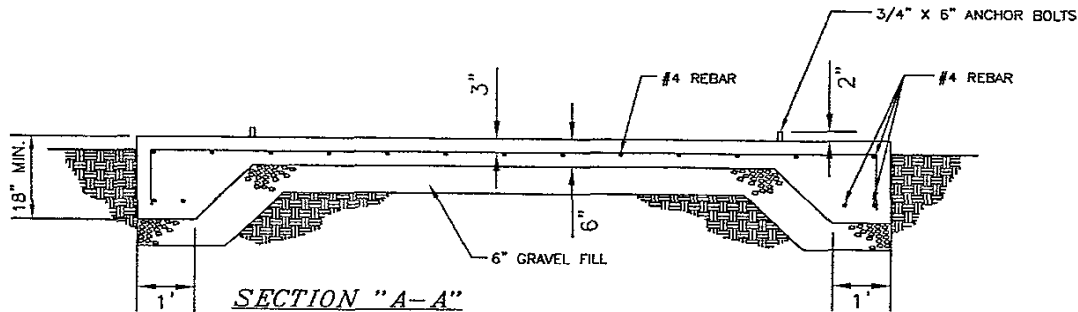
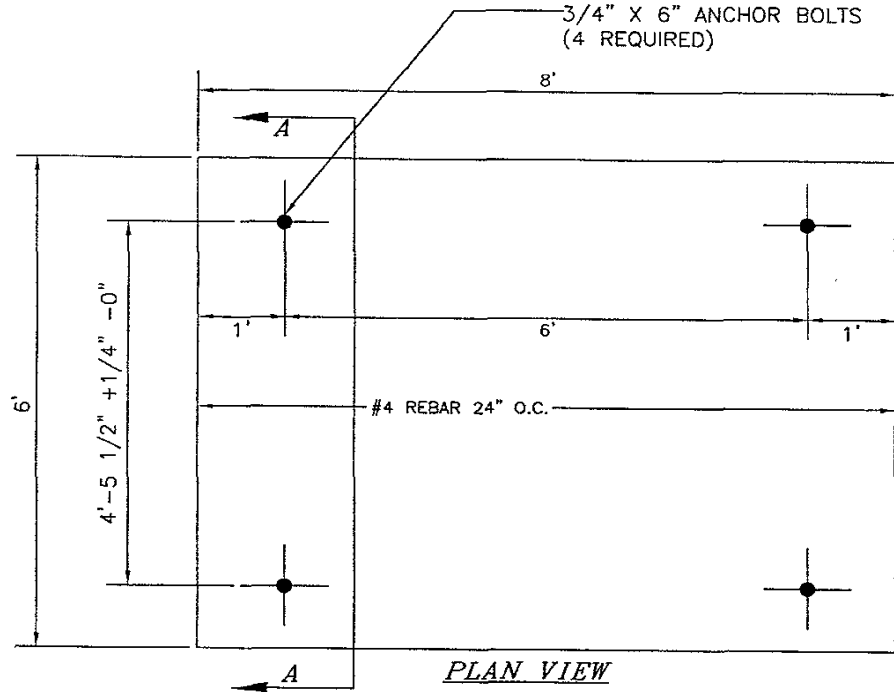


EXISTING TOWER

R.D.

PROMISE





**NOTES:**

1. CONCRETE SHALL ATTAIN A MINIMUM ULTIMATE COMPRESSION STRENGTH OF 4000 PSI WITHIN 28 DAYS.
2. ALL WIRE MESH TO HAVE A MINIMUM OF 2" CONCRETE COVER.

<b>BUILDINGS, INC.</b>			
<b>Thermo Bond</b>			
P.O. Box 445 Elk Point, SD			
Scale:	3/4" = 1'	Title:	BUILDING FOUNDATION FOR 6' X 8' BUILDING
Date:	3-25-04	Revised:	
Drawn By:	DRL	Drawing Number:	S15R0608
Approved By:		COMPUTER AIDED DRAWING SYSTEMS	PAGE 1 OF 1

04PD050



SHERIDAN LAKE RD

Fairway Hills PRD

HOLIDAY LN

BYRNWOOD DR

RIDGEMOOR DR

MOUNTAIN SHADOW PL

HEIDIWAY LN

FAIRWAY HILLS DR

FOOTHILL DR



04PD051

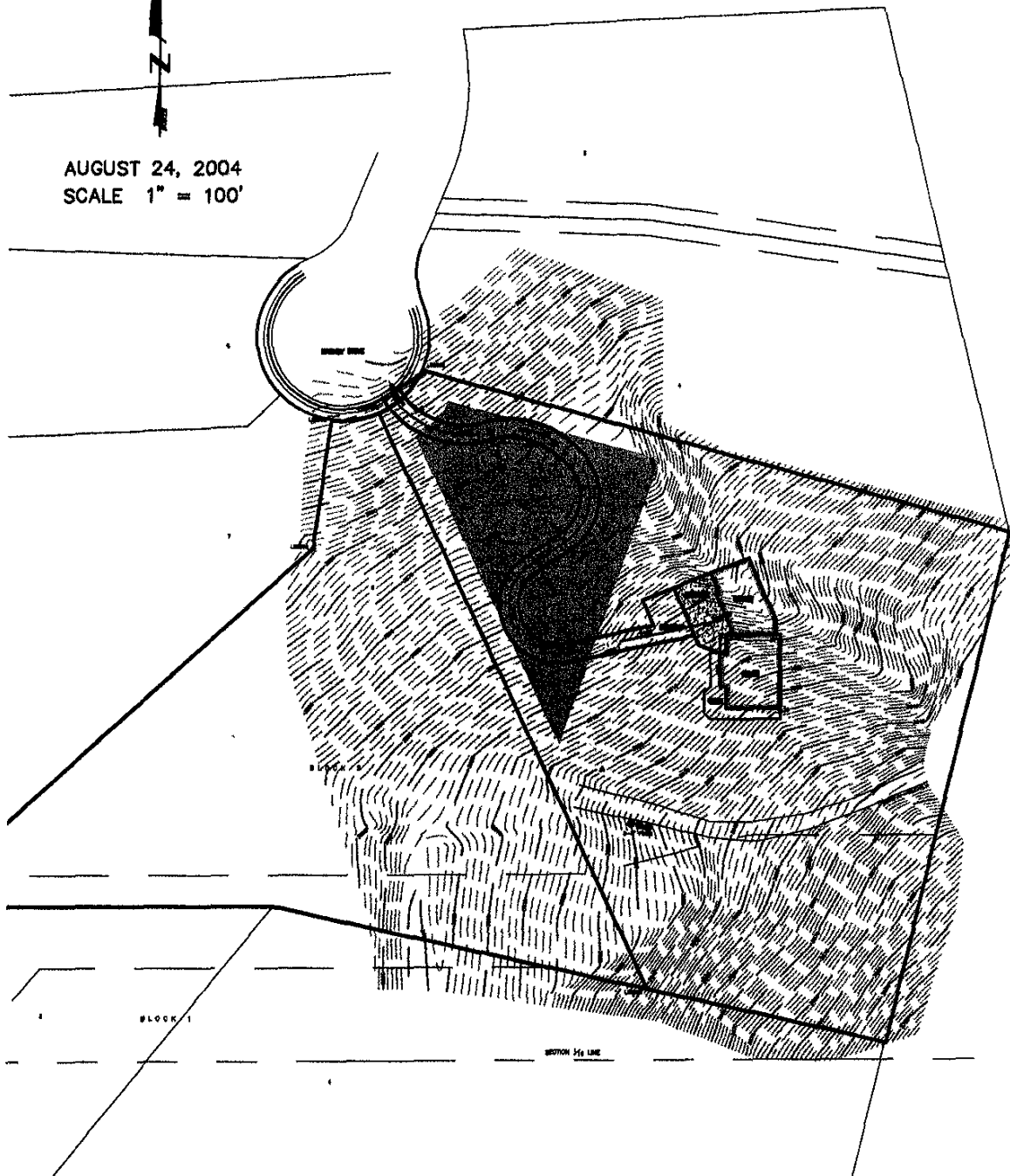


# TOPOGRAPHIC MAP AND SITE PLAN

LOT 5 & E $\frac{1}{2}$  OF LOT 6, BLOCK 2  
SKYVIEW NORTH SUBDIVISION  
LOCATED IN THE NE $\frac{1}{4}$  OF THE SE $\frac{1}{4}$   
SECTION 10 T1N, R7E, BHM  
RAPID CITY, PENN. CO., S.D.



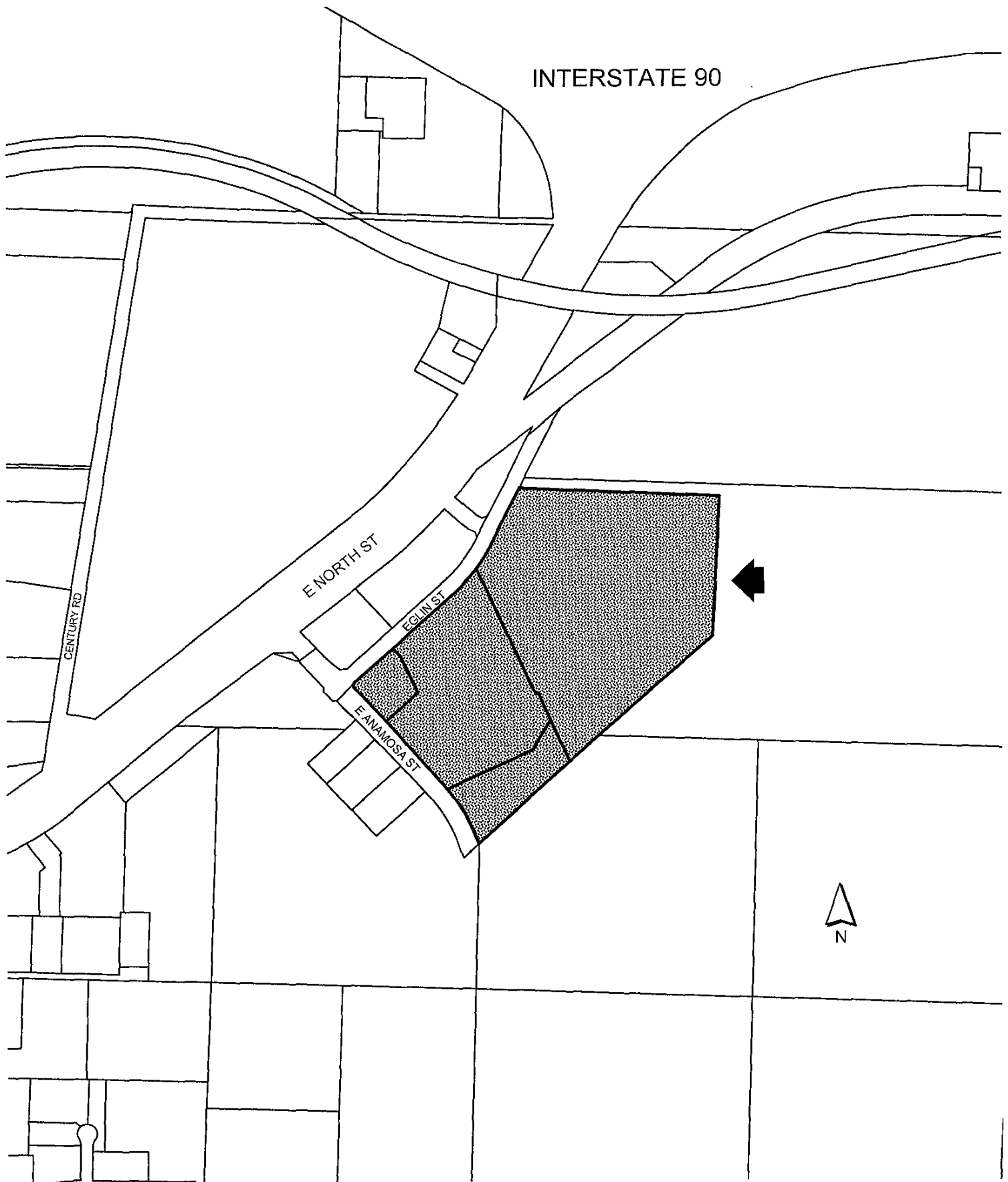
AUGUST 24, 2004  
SCALE 1" = 100'

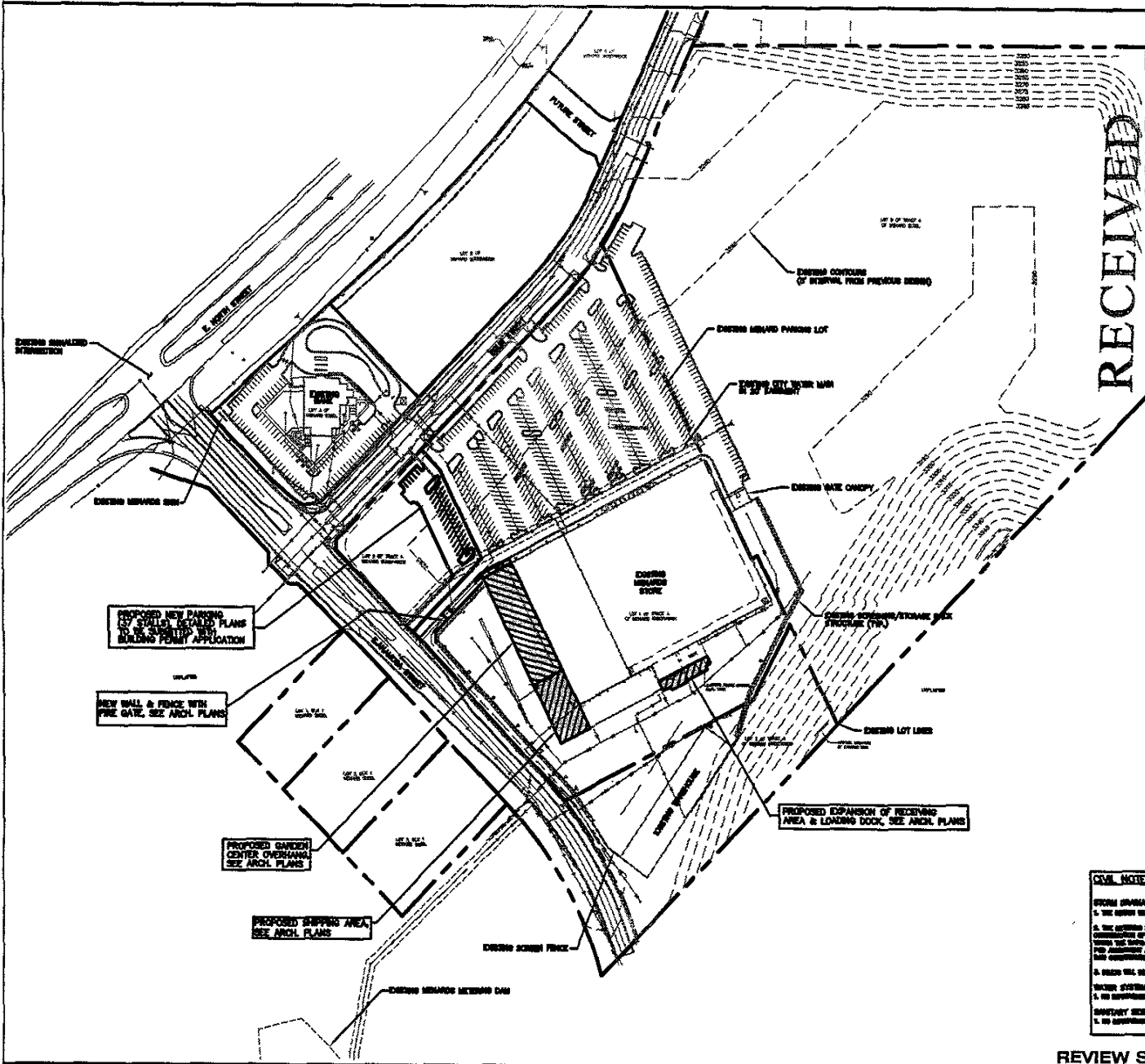


SECTION 1/4 LINE  
BLOCK 1

04PD052

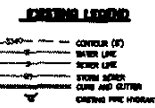
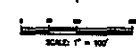
INTERSTATE 90





AUG 27 2004

Rapid City Growth  
Management Department



**CIVIL NOTES REGARDING 2004 MAJOR AMENDMENT TO PCO:**

**STORAGE OVERHAUL:**

- THE EXISTING WALL BE BE RECONSTRUCTED WITH THE NEW EXISTING EXTERIOR FINISH.
- THE EXISTING WALL BEING AS THE PLAN AND OVERHAULING OF EXTERIOR. THE EXTERIOR FINISH SHALL BE THE SAME AS THE EXISTING EXTERIOR FINISH. THE EXTERIOR FINISH SHALL BE THE SAME AS THE EXISTING EXTERIOR FINISH. THE EXTERIOR FINISH SHALL BE THE SAME AS THE EXISTING EXTERIOR FINISH.
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**STORAGE SYSTEM:**

- BE RECONSTRUCTED TO THE EXISTING EXTERIOR FINISH AND INTERIOR.

**STORAGE SYSTEM:**

- BE RECONSTRUCTED TO THE EXISTING EXTERIOR FINISH AND INTERIOR.

REVIEW SET - NOT FOR CONSTRUCTION

**F M G, Inc.**  
3700 Sturgis Road, Rapid City, SD 57701  
(605) 342-1105 FAX (605) 342-2222

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Management Department

SCALE: 1" = 40'

**EXISTING LEGEND**

- CONTOUR (FT)
- WATER LINE
- SEWER LINE
- STORM SEWER
- CURB AND GUTTER
- EXISTING FIRE HYDRANT

**CIVIL NOTES REGARDING 2004 MAJOR AMENDMENT TO PCO:**

**STORAGE OVERHAUL:**

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- BE RECONSTRUCTED TO THE EXISTING EXTERIOR FINISH AND INTERIOR.

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- BE RECONSTRUCTED TO THE EXISTING EXTERIOR FINISH AND INTERIOR.

**MAJOR AMENDMENT TO PCO**  
MENARD'S  
RAPID CITY, SD

Revision / Date

Sheet Name

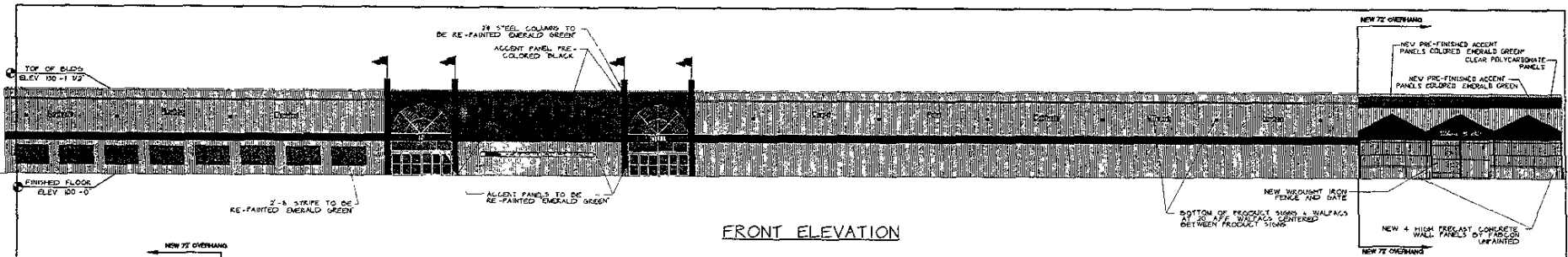
**EM**

Sheet Number

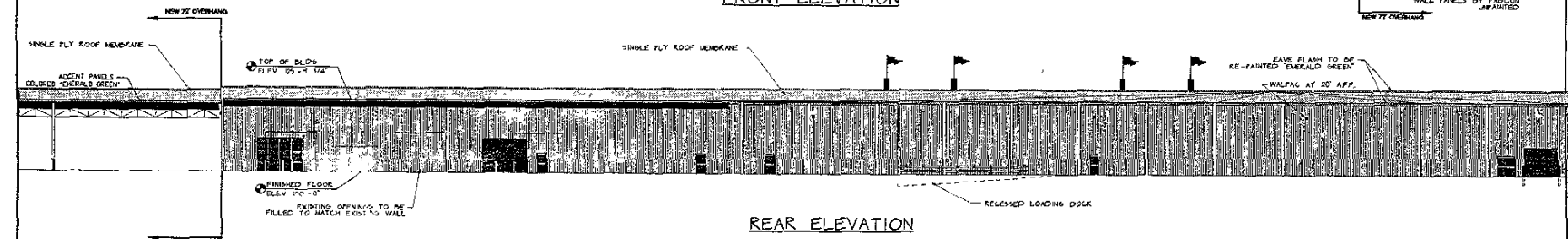
**C-2**

Total Sheets

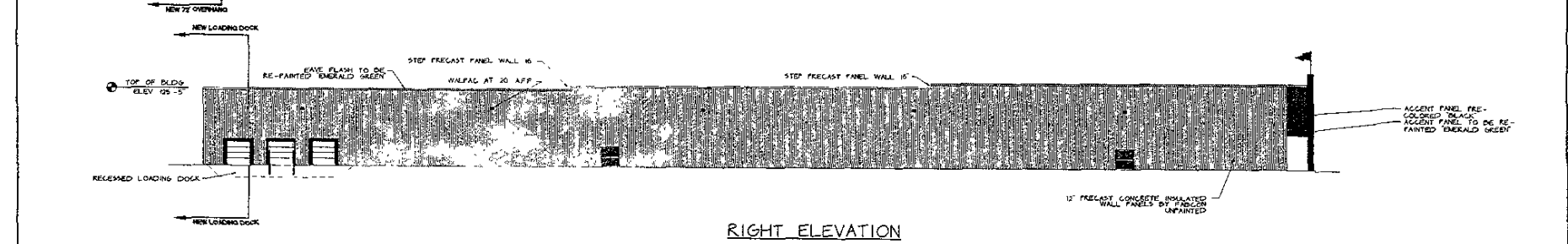
**C-2**



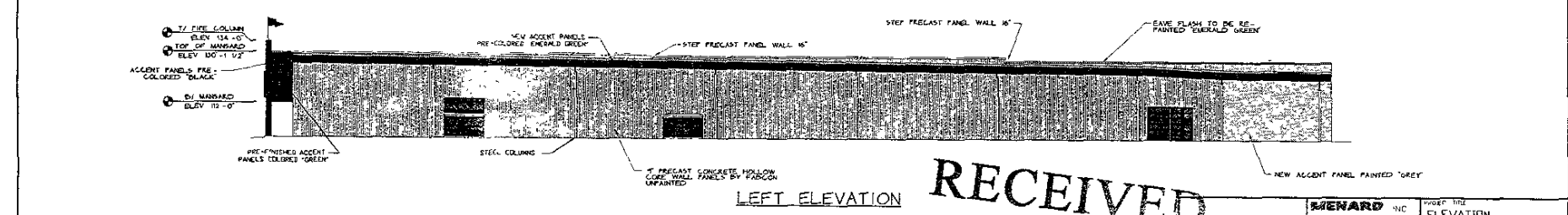
FRONT ELEVATION



REAR ELEVATION



RIGHT ELEVATION



LEFT ELEVATION

RECEIVED

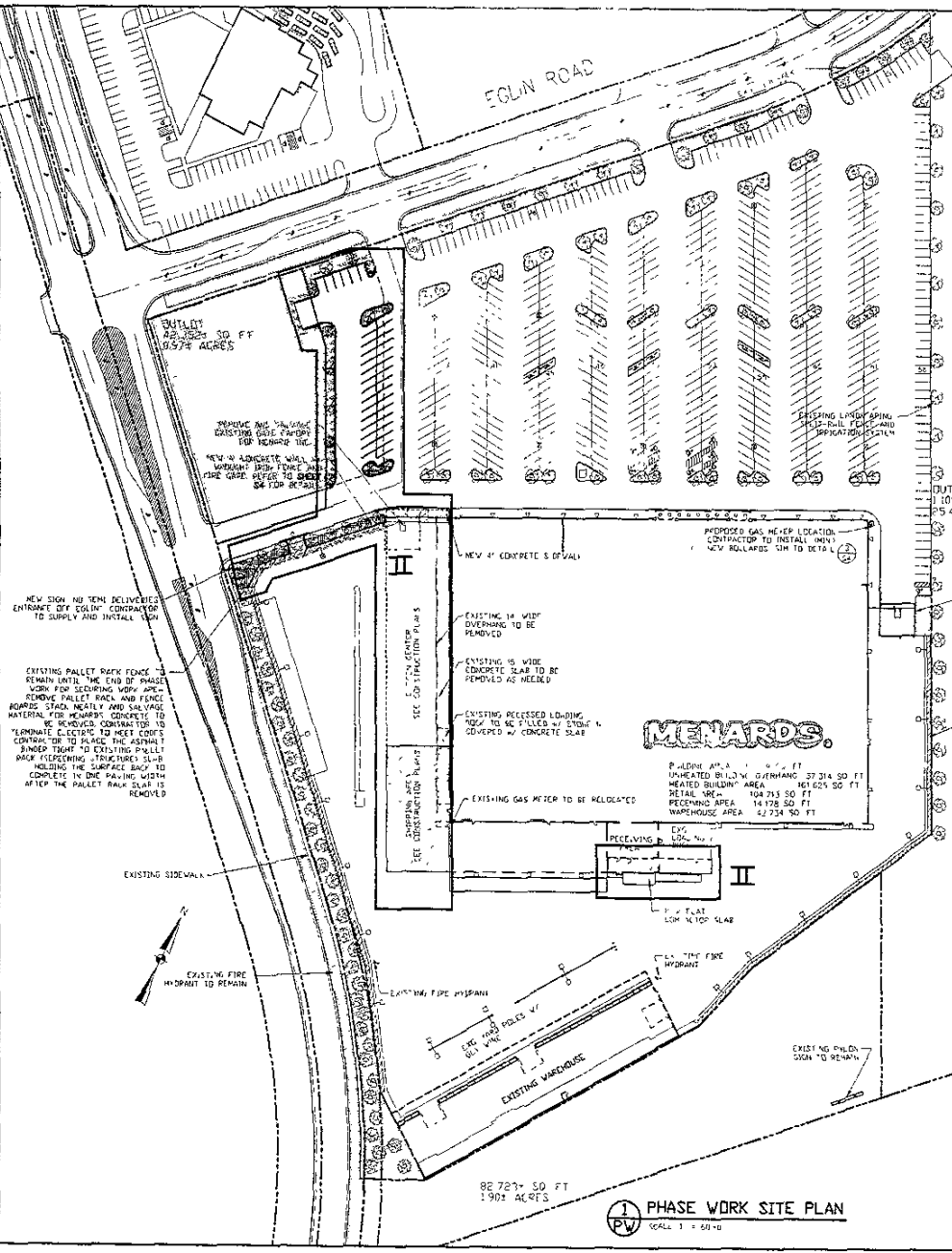
AUG 27 2004

Rapid City Growth Management Department

<b>MENARD</b> INC		PROJECT TITLE	
STORE DESIGN DEPARTMENT		ELEVATION	
EAM CLORIE WICKHAM		SHEET 15E	
SCALE	DRAWN BY	DATE	
1/8"=1'-0"	TCH	08-10-04	
REVISIONS			
NO	DATE	DESCRIPTION	BY
1			
2			
CDD ENG NAME			CHECK NO
CLORIE WICKHAM			EL







PHASE WORK - RAPID CITY, SOUTH DAKOTA			
CONSTRUCTION WEEK	PHASE	NO.	DESCRIPTION
1	II	SP8	SHIPPING AREA / GARDEN CENTER
1	II	SP9	RELOCATE EXISTING LOADING DOOR AND SIDE CANOPY AND REMOVE SHIPPING AREA ASPHALT AND REMOVE PALLET RACKING
2-3	II	SP10	RELOCATE EXISTING STRUCKS, EXCLUDING EXISTING WAREHOUSE OPENINGS #7, 24-26 AND 1/2 DOOR
2-4	II	SP11	NEW PARKING AREA GRASS CURBS AND GUTTER, PAVE, STRIPS AND LIGHTS
5-6	II	SP12	REMOVE EXISTING FRAMES AND SETTING LENGTH OF STOPS
7	II	SP13	SHIPPING AREA / GARDEN CENTER OVERHANG AND GREENHOUSE FOOTINGS, STORM SEWER AND WATERMAIN
7-8	II	SP14	REMOVE SHIPPING AREA / GARDEN CENTER STEEL AND ROOF BEARING AND GREENHOUSE COLUMNS AND BEAMS
7-8	II	SP15	REMOVE SHIPPING AREA / GARDEN CENTER
7-8	II	SP16	REMOVE GREENHOUSE FRAMES
8	II	SP17	REMOVE GREENHOUSE FRAMES
8	II	SP18	REMOVE GREENHOUSE FRAMES
9	II	SP19	PAINT SHIPPING AREA / GARDEN CENTER BAR JOISTS, BECK AND COLUMNS AND PAINT GREENHOUSE COLUMNS AND BEAMS
9	II	SP20	REMOVE GREENHOUSE STEEL, STOPS, ROOF AND STRUCKS
9	II	SP21	INSTALL WROUGHT IRON RAILING AND OVERHEAD LIGHTS
10	II	SP22	REMOVE SHIPPING AREA / GREENHOUSE CONCRETE SLAB, GREENHOUSE SIDEWALK AND BELLARS
11	II	SP23	PUNCH LIST AND COMPLETE DOOR OF PHASE II
12	II	SP24	THIRD DOOR
12	II	SP25	INSTALL 6' CHAIN LINK TEMPORARY FENCE ON STANDBY
12	II	SP26	REMOVE ASPHALT, DISTALL AND RELOCATE STORM SEWER AND WATERMAIN
12	II	SP27	REMOVE TEMPORARY WALL AND SHED ROOF IN RECEIVING TO HAVE WALL REMOVED, RELOCATE AND TEMPORARILY POWER UP PALER
13	II	SP28	REMOVE THIRD DOOR FOOTINGS AT RECEIVING AREA AND CANOPY FOOTINGS AT DOORS #3 AND #4
14	II	SP29	REMOVE STRUCTURAL STEEL TO 2ND CANOPY OVER DOORS #3 AND #4
15	II	SP30	INSTALL CONCRETE FLOORS AT BASE OF DOORS #3 AND #4 CANOPY COLUMNS
16	II	SP31	REMOVE EXISTING FRAMES AND SETTING LENGTH OF STOPS
16	II	SP32	REMOVE EXISTING FRAMES AND SETTING LENGTH OF STOPS
17	II	SP33	REMOVE EXISTING FRAMES AND SETTING LENGTH OF STOPS
17	II	SP34	REMOVE EXISTING FRAMES AND SETTING LENGTH OF STOPS
18	II	SP35	REMOVE EXISTING FRAMES AND SETTING LENGTH OF STOPS
19	II	SP36	REMOVE EXISTING FRAMES AND SETTING LENGTH OF STOPS
20	II	SP37	REMOVE EXISTING FRAMES AND SETTING LENGTH OF STOPS
20	II	SP38	REMOVE EXISTING FRAMES AND SETTING LENGTH OF STOPS
21	II	SP39	REMOVE EXISTING FRAMES AND SETTING LENGTH OF STOPS
22	II	SP40	REMOVE EXISTING FRAMES AND SETTING LENGTH OF STOPS
23	II	SP41	REMOVE EXISTING FRAMES AND SETTING LENGTH OF STOPS
24	II	SP42	REMOVE EXISTING FRAMES AND SETTING LENGTH OF STOPS
25	II	SP43	REMOVE EXISTING FRAMES AND SETTING LENGTH OF STOPS

S = STORE (BY OTHERS)  
 SP = STORE PLANNING BUILDING CONTRACTOR (TO DO WORK)  
 SP = STORE PLANNING BUILDING CONTRACTOR (BY OTHERS)  
 BO = BY OTHERS

NOTE:  
 NO PHASE CAN START WITHOUT THE PREVIOUS PHASE 100% COMPLETED. NO PUNCH LIST ITEMS.

ANY TEMPORARY FENCING NEEDED TO SECURE THE YARD IN OUR SCOPE OF WORK, THE CONTRACTOR IS TO SUPPLY 10' HIGH CHAIN LINK FENCE AND REMOVE THE FENCE. THE HEIGHT OF THE TEMPORARY FENCE INSIDE THE EXISTING YARD AND AROUND THE CONTRACTOR'S STAGING AREA WILL BE 6' HIGH CHAIN LINK FENCE PANELS ON STANDS SUPPLIED AND INSTALLED BY CONTRACTOR.

**BID WORK:**  
 CONTRACTOR TO BID ALL WORK SHOWN AS PHASE WORK AND ADJACENT OR ASSOCIATED WORK TO COMPLETE THE PHASE FOR A FULLY OPERATIONAL AREA SHOWN HERE AND ON THE FOLLOWING ARCHITECTURAL AND CIVIL PLANS. DO NOT BID WORK SHOWN ON THE CIVIL PLANS OUTSIDE PHASE WORK SHOWN HERE, EXCEPT ITEMS IDENTIFIED ABOVE IN THE PHASE WORK DESCRIPTION AND ON THE ARCHITECTURAL PLANS THAT IS ADJACENT TO AND SHOULD BE INCORPORATED INTO THIS PHASE TO MAKE THE AREA FULLY OPERATIONAL AS DIRECTED BY MENARDS.

LEGEND	
	CHAIN LINK FENCE
	PROPERTY LINE
	REMOVED SCREENING STRUCTURE
	NEW SCREENING STRUCTURE
	EXISTING SCREENING STRUCTURE
	CONCRETE
	GAS METER
	TRANSFORMER PAD

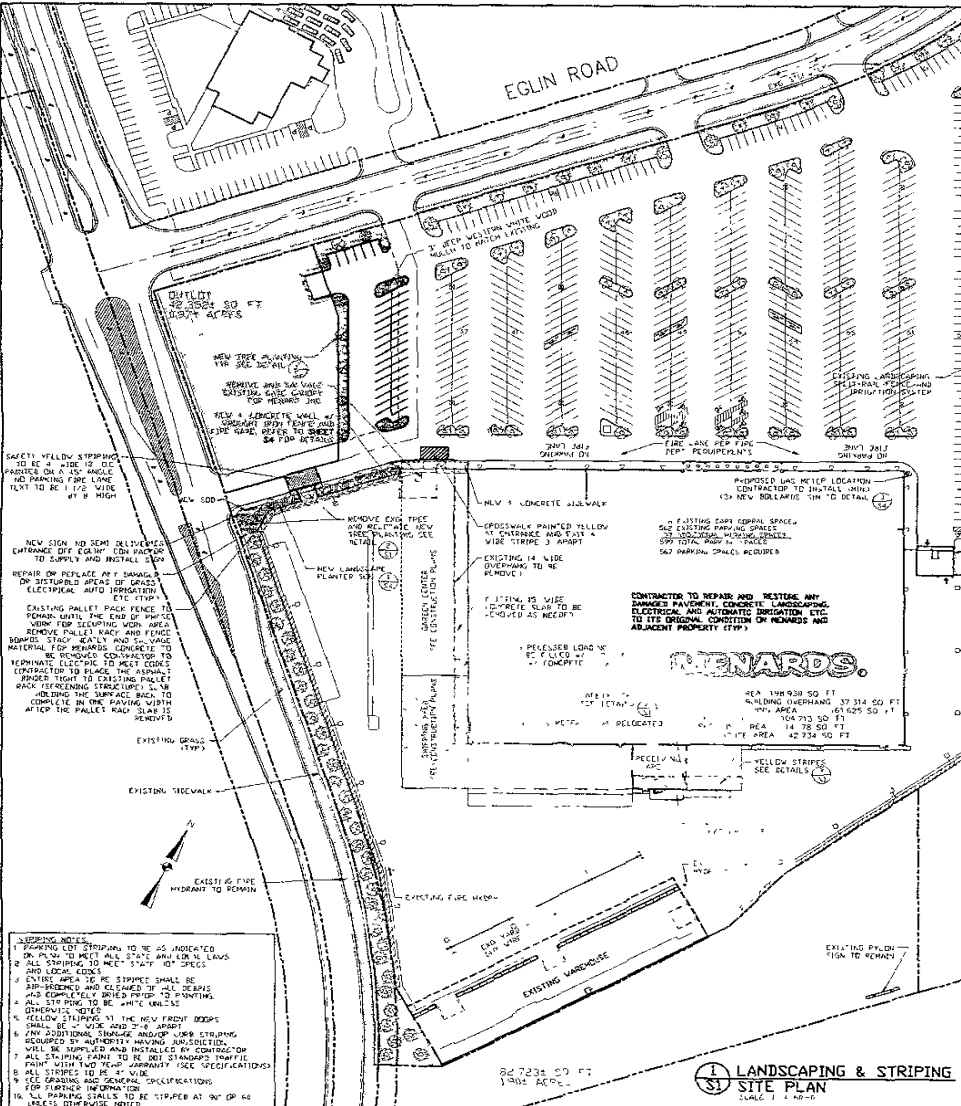
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 Management Department

**PHASE WORK SITE PLAN**  
 SCALE 1" = 50'-0"

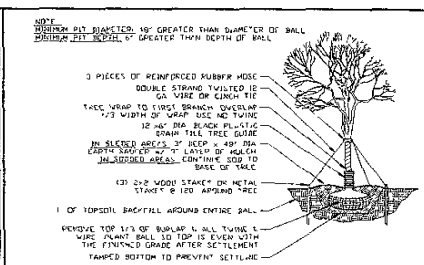
<b>MENARD INC.</b>		PROJECT TITLE	
STORE DESIGN DEPARTMENT		RAPID CITY, SD	
DAVID CLAUER, WISCONSIN		SHEET TITLE	
SCALE: 1/8" = 1'-0"		PHASE WORK	
DATE: 10-18-04		SITE PLAN	
REVISIONS	NO.	DESCRIPTION	BY
1			
2			
3			



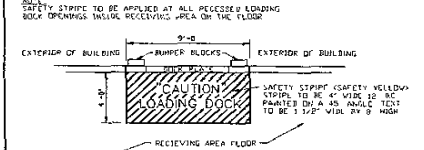
- ### LANDSCAPE PLAN
- PLANTING SURVIVANCES AND QUANTITIES APPROVED BY MENARD PRIOR TO INSTALLATION.
  - ALL TREES AND PLANTS TO BE REMOVED BY MENARD PRIOR TO INSTALLATION.
  - ALL EXISTING TREES TO BE BY A MINIMUM CALIPER MEASURED AT A POINT ABOVE GROUND.
  - ALL NEW TREES AND PLANTS TO BE SPECIALLY SPECIFIED.
  - ALL PLANTS SHALL BE INSTALLED WITHIN MENARD'S PROPERTY LINES.
  - CONTRACTOR TO BE RESPONSIBLE FOR ALL IRRIGATION, FERTILIZING AND MAINTENANCE OF NEW PLANTS AND PLANTS TO BE INSTALLED WITHIN MENARD'S PROPERTY LINES.
  - CONTRACTOR TO BE RESPONSIBLE FOR ALL IRRIGATION, FERTILIZING AND MAINTENANCE OF NEW PLANTS AND PLANTS TO BE INSTALLED WITHIN MENARD'S PROPERTY LINES.
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### LANDSCAPE LEGEND

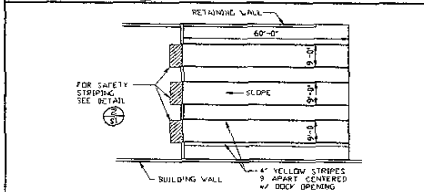
SYMBOL	SCIENTIFIC COMMON NAME	SIZE	QUANTITY
	EXISTING HOLLYHOCK LEAF GREENERY	24"	24
	EXISTING SHADE MASTER HONEY LOCUST	36"	2
	EXISTING YUCCA GREENERY	18"	18
	NEW YELLOW STREET TREE	36"	12
	NEW WHITE STREET TREE	36"	12
	NEW HOLLYHOCK LEAF GREENERY	24"	24
	NEW SHADE MASTER HONEY LOCUST	36"	2
	NEW YUCCA GREENERY	18"	18
	NEW SHRUB	18"	18
	EXISTING GRASS		
	NEW SHRUB		



### TREE PLANTING & STAKING DETAIL FOR NEW AND RELOCATED TREES



### SAFETY STRIPING



### LOADING DOCK STRIPING

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Rapid City Growth Management Department

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL IRRIGATION, FERTILIZING AND MAINTENANCE OF NEW PLANTS AND PLANTS TO BE INSTALLED WITHIN MENARD'S PROPERTY LINES.

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL IRRIGATION, FERTILIZING AND MAINTENANCE OF NEW PLANTS AND PLANTS TO BE INSTALLED WITHIN MENARD'S PROPERTY LINES.

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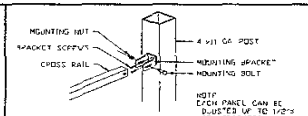
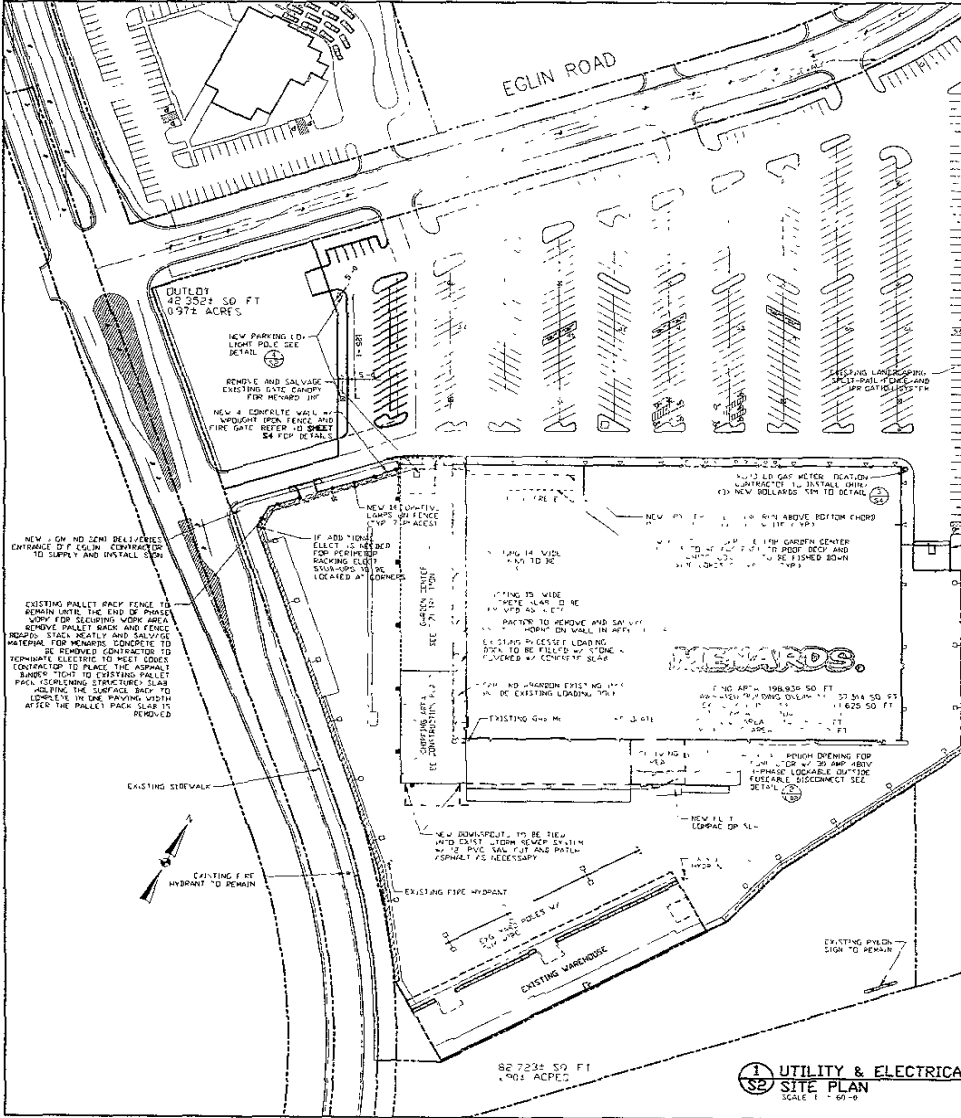
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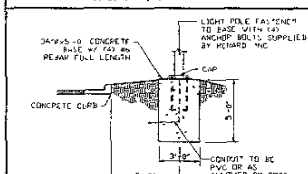
CONTRACTOR SHALL BE RESPONSIBLE FOR ALL IRRIGATION, FERTILIZING AND MAINTENANCE OF NEW PLANTS AND PLANTS TO BE INSTALLED WITHIN MENARD'S PROPERTY LINES.

**LANDSCAPING & STRIPING SITE PLAN**  
SCALE: 1" = 40'-0"

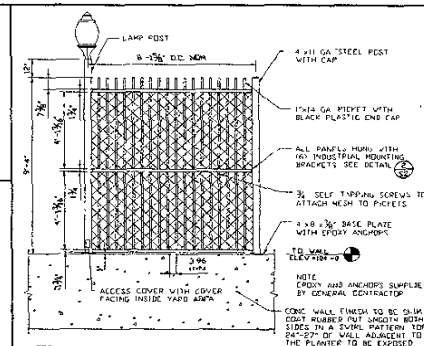
MENARD INC				RAPID CITY, SD	
STORE DESIGN DEPARTMENT				PROJECT FILE	
EVA CLAIRE WISCONSIN				SHEET TITLE	
SCALE	DRAWN BY	DATE	LANDSCAPING & STRIPING SITE PLAN		
1" = 40'-0"	WISCONSIN	08/26/04			
REV	NO	DESCRIPTION	BY	DATE	CHECK NAME
1					
2					
3					
S1					



**2 PANEL TO POST CONNECTION DETAIL**  
SCALE: 1/4" = 1'-0"



**4 LIGHT POLE & STUDED AREAS & PARKING LOT CURBED ISLANDS**  
SCALE: 1/4" = 1'-0"



**3 RAIL PANEL DETAIL**  
SCALE: 3/8" = 1'-0"

**LEGEND**

■	6	NEW 220 VOLT 277 VOLT VALPAVE MOUNT TO WALL 20' 0" AT
○	7	EXG 220V M.P. COPRA HEAD YARD LIGHT TO BE REMOVED AND SALVAGED FOR REUSE INC.
●	7	NEW 277V M.P. RECREATIVE LAMP ELECTRICAL TO VERIFY VOLTAGE TOP OF LIGHT
⊗	8	NEW 480V M.P. 30' POLES (MATCH EXISTING)

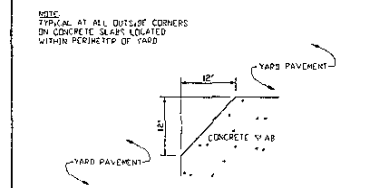
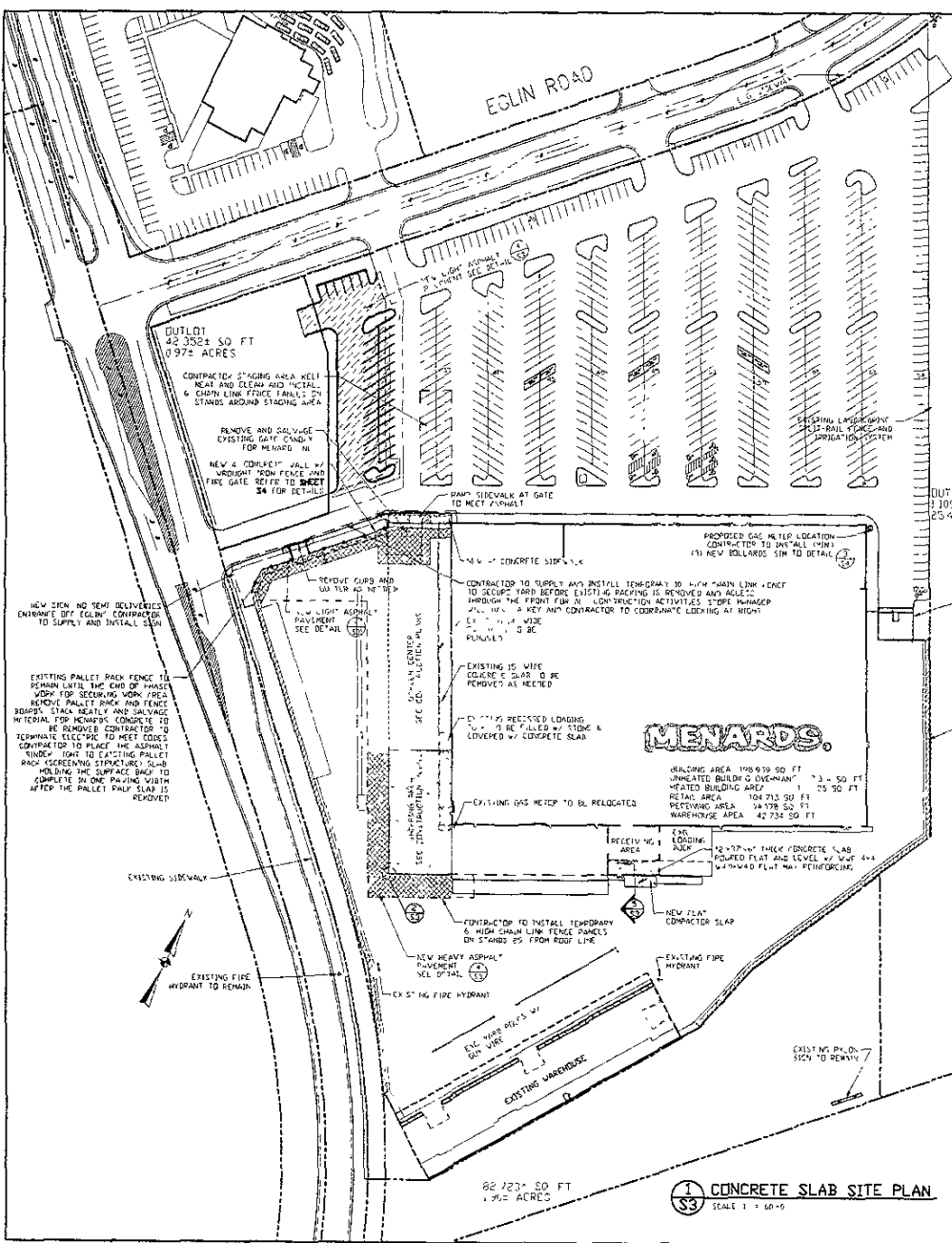
- ELECTRICAL REQUIREMENTS:**
1. PERMITTED TO SUPPLY WALL LIGHTING FIXTURES AND POLES.
  2. CONTRACTOR TO SUPPLY ALL NECESSARY PHOTOCELLS TO SUN GRABER (APPROVED BY MEMBER INC.)
  3. ALL SYSTEMS TO BE INSTALLED AND ALLOWED BY CODE OR AS NOTED.
  4. ALL SYSTEMS TO BE INSTALLED AND ALLOWED BY CODE OR AS NOTED.
  5. SET SPECIFICATIONS FOR ADDITIONAL ELECTRICAL REQUIREMENTS.
  6. ELECTRICAL CONTRACTOR TO SUPPLY AND INSTALL ALL NECESSARY WIRING CONNECTED TO THE POWER M.U.T. CONTRACTOR NOT TO SAN ELECTRICAL AND TELEPHONE CONTRACTORS AND UTILITIES DEPARTMENTS.
  7. TO BE A MINIMUM OF 8'-0" AWAY.
  8. CONTRACTOR TO RUN WIRE ELECTRICAL AND TELEPHONE CONTRACTORS AND SOME EXPOSURES AND PANELS AS NOTED TO BE MADE OVERHEAD ABOVE MAIN DOORS. ALL GATES SPRINKLER SYSTEM FLOORS, TAMPERS, EDW AIR AND LOW VOLTAGE SECURITY SYSTEMS, STORE SECURITY SYSTEM AND PANELS TO BE A COMPLETELY SEPARATE SYSTEM.
  9. ELECTRICAL CONTRACTOR TO SUPPLY AND INSTALL SECURITY SYSTEMS TO BE A COMPLETELY SEPARATE SYSTEM.
  10. SEE 50' FOR ELECTRICAL AVOID OF GARAGE CENTER/SHIPPING AREA.
  11. SEE 50' FOR ELECTRICAL AVOID OF GARAGE CENTER/SHIPPING AREA TO BE RUN AT THE ROOF DECK AND INSIDE THE WALL TO THE EXISTING ELECTRICAL ROOM AND CONDUITS NEED TO BE INSTALLED WITHIN 14' FROM THE WALL.
  12. SEE STORE ELECTRICAL PANEL SHEETS E1, E2 AND E3 FOR ADDITIONAL INFORMATION.
  13. PARKING LOT LIGHTING REMOVED ON 2 POLES, 100' NORTH MAIN.
  14. SEE DETAILS ON THIS SHEET.
  15. PARKING LOT LIGHTING REMOVED ON 2 POLES, 100' NORTH MAIN.
  16. HEIGHT OF STUMP FRONT LIGHTING MOUNTED TO BUILDING TO MATCH EXISTING, 1480W HP.

- GENERAL NOTES:**
1. ALL DIMENSIONS ARE TO FACE OF CURB OR CENTER OF PAINT STRIPE.
  2. CONTRACTOR TO FILL ALL UTILITY TRENCHES TO SUB GRADE WITH CLEAN STONE 1/2" GAS PHONE ELECT ETC.
  3. CONTRACTOR TO FILL ALL UTILITY TRENCHES TO SUB GRADE WITH CLEAN STONE 1/2" GAS PHONE ELECT ETC.
  4. CONTRACTOR TO FILL ALL UTILITY TRENCHES TO SUB GRADE WITH CLEAN STONE 1/2" GAS PHONE ELECT ETC.
  5. CONTRACTOR TO FILL ALL UTILITY TRENCHES TO SUB GRADE WITH CLEAN STONE 1/2" GAS PHONE ELECT ETC.
  6. CONTRACTOR TO FILL ALL UTILITY TRENCHES TO SUB GRADE WITH CLEAN STONE 1/2" GAS PHONE ELECT ETC.
  7. CONTRACTOR TO FILL ALL UTILITY TRENCHES TO SUB GRADE WITH CLEAN STONE 1/2" GAS PHONE ELECT ETC.
  8. CONTRACTOR TO FILL ALL UTILITY TRENCHES TO SUB GRADE WITH CLEAN STONE 1/2" GAS PHONE ELECT ETC.
  9. CONTRACTOR TO FILL ALL UTILITY TRENCHES TO SUB GRADE WITH CLEAN STONE 1/2" GAS PHONE ELECT ETC.
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  11. CONTRACTOR TO FILL ALL UTILITY TRENCHES TO SUB GRADE WITH CLEAN STONE 1/2" GAS PHONE ELECT ETC.
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  13. CONTRACTOR TO FILL ALL UTILITY TRENCHES TO SUB GRADE WITH CLEAN STONE 1/2" GAS PHONE ELECT ETC.
  14. CONTRACTOR TO FILL ALL UTILITY TRENCHES TO SUB GRADE WITH CLEAN STONE 1/2" GAS PHONE ELECT ETC.
  15. CONTRACTOR TO FILL ALL UTILITY TRENCHES TO SUB GRADE WITH CLEAN STONE 1/2" GAS PHONE ELECT ETC.
  16. CONTRACTOR TO FILL ALL UTILITY TRENCHES TO SUB GRADE WITH CLEAN STONE 1/2" GAS PHONE ELECT ETC.

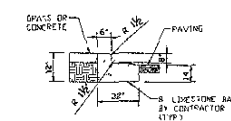
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**Rapid City Growth Management Department**

**1 UTILITY & ELECTRICAL SITE PLAN**  
SCALE: 1" = 60'-0"

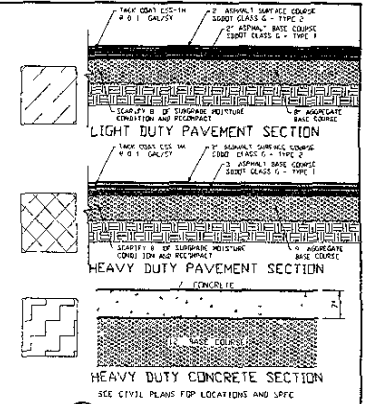
<b>MENARD INC.</b>		PROJECT TITLE	
STORE DESIGN DEPARTMENT		RAPID CITY, SD	
TAY CLARE WISSEMAN		SWEET CITY & ELECTRICAL	
SCALE: 1/8" = 1'-0" DATE: 08-16-04		SITE PLAN	
REVISIONS	NO.	DATE	BY
1	1	08-16-04	TAY
2	2		
3	3		



**2** CLIPPED SLAB CORNER  
SCALE: 1" = 1'-0"



**3** CONCRETE CURB AND GUTTER DETAIL  
SCALE: 1/2" = 1'-0"



**4** TRANSITION DETAIL  
NOT TO SCALE

**5** COMPACTOR SLAB e BUILDING  
SCALE: 3/4\"/>

**RECEIVED**

AUG 27 2004

Rapid City Growth  
Management Department

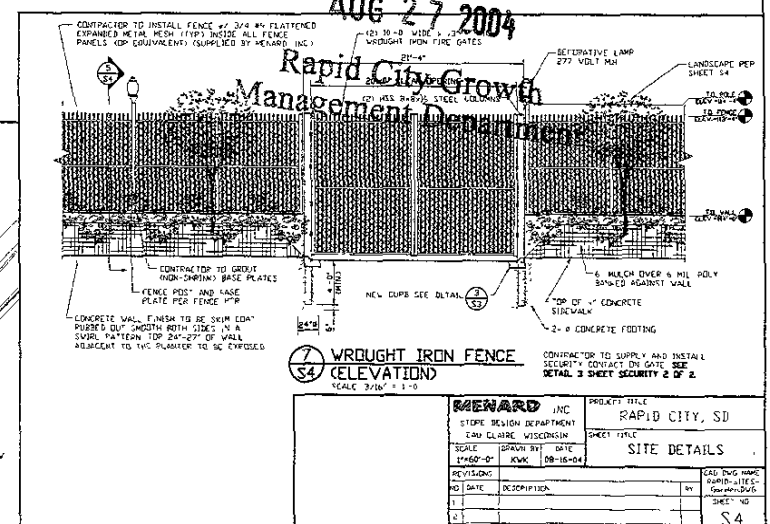
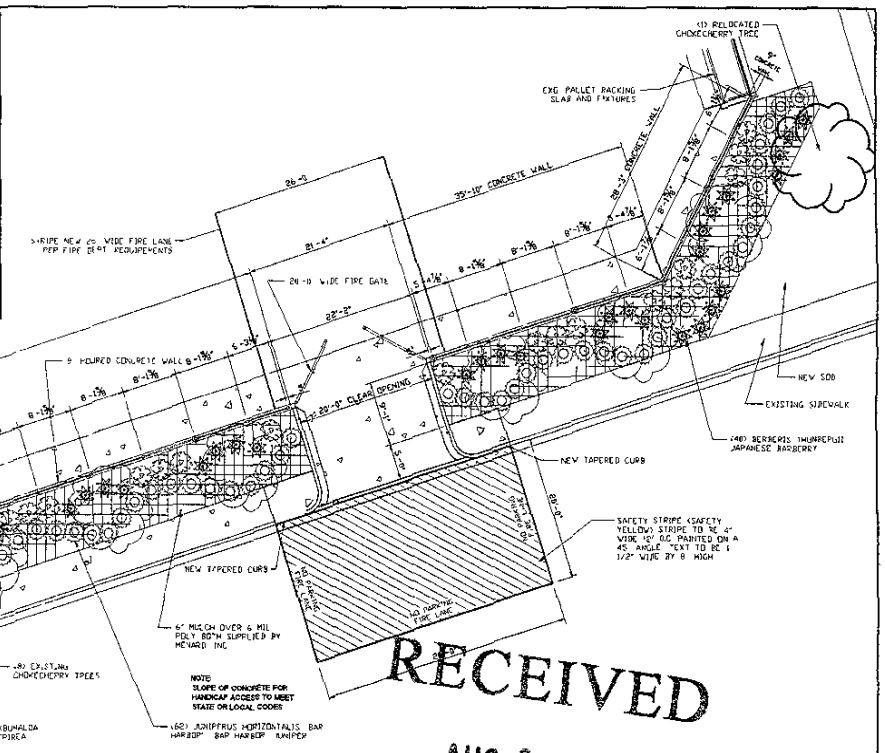
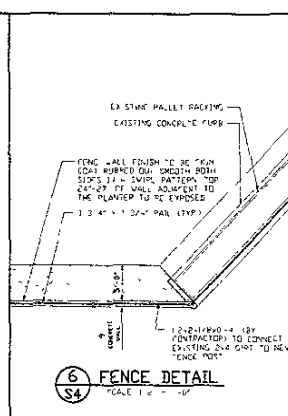
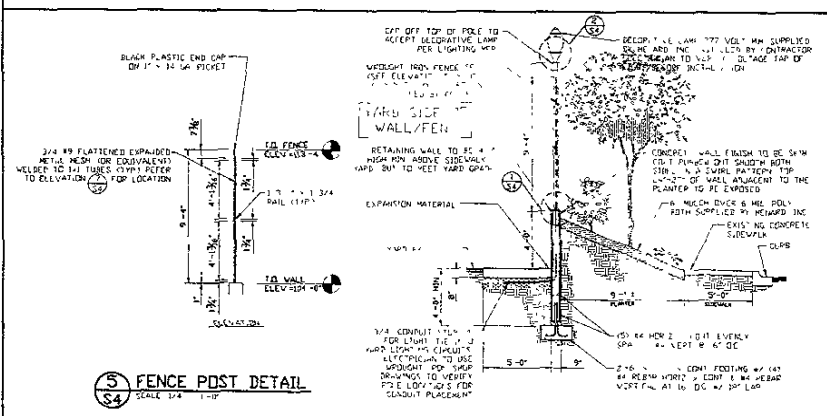
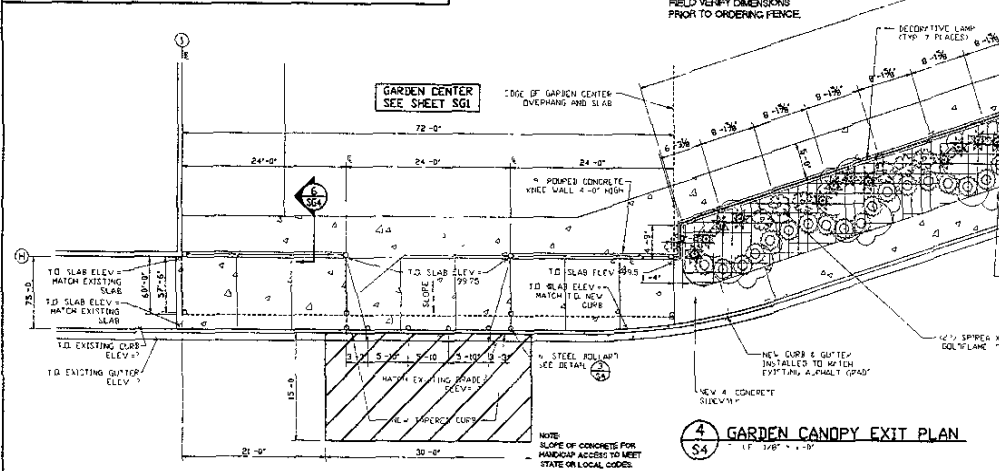
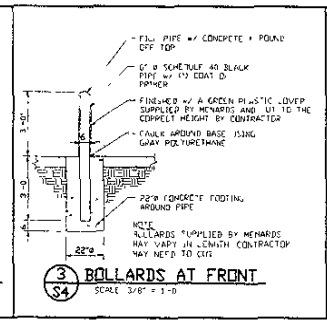
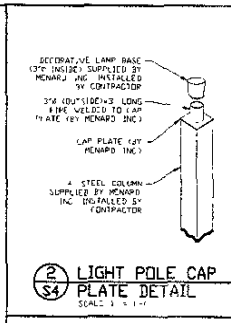
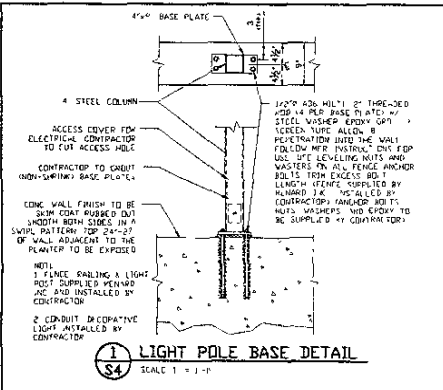
**LEGEND**

[Symbol]	CHAIN LINK FENCE
[Symbol]	PROPERTY LINE
[Symbol]	REMOVED SCREENING STRUCTURE
[Symbol]	NEW SCREENING STRUCTURE
[Symbol]	EXISTING SCREENING STRUCTURE
[Symbol]	NEW CONCRETE
[Symbol]	NEW HEAVY CONCRETE PAVEMENT
[Symbol]	NEW HEAVY ASPHALT PAVEMENT
[Symbol]	NEW LIGHT ASPHALT PAVEMENT
[Symbol]	GAS METER
[Symbol]	TRANSFORMER PAD

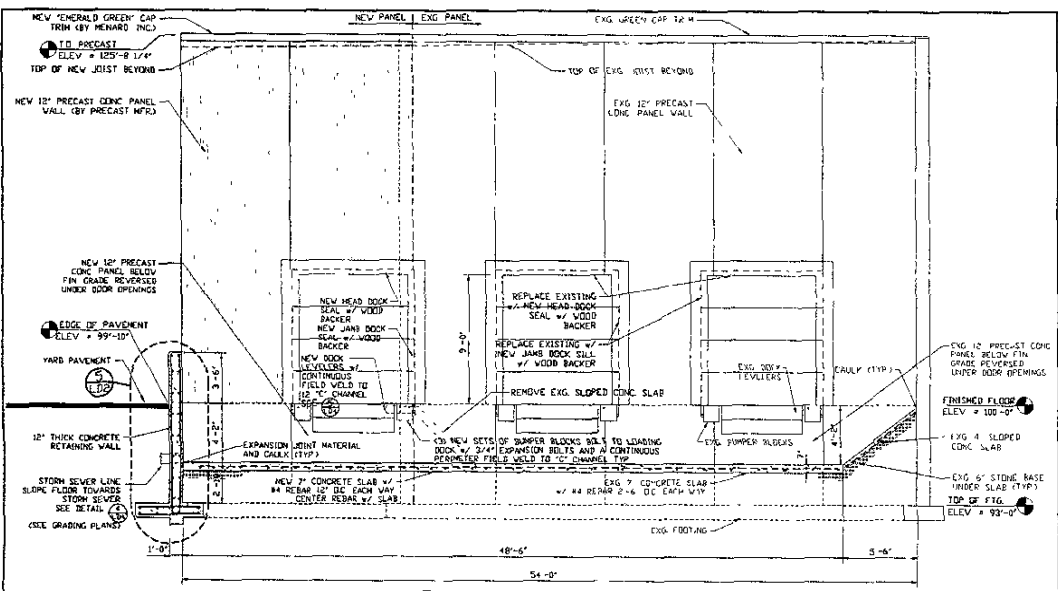
- GENERAL NOTES:**
- ALL DIMENSIONS ARE TO FACE OF CURB OR CENTER OF PAINT STRIPE
  - CONTRACTOR TO FILL ALL UTILITY TRENCHES TO SUB GRADE WITH CLEAN STONE 1/2" GROUND SILEX ETC
  - CONTRACTOR SHALL BE RESPONSIBLE FOR SOIL SETTLEMENT DUE TO IMPROPER COMPACTION
  - TEMPORARY CHAIN LINK FENCE PANELS ON STANDBY 4'-0" TALL AND SECURITY CHAIN LINK FENCE 10'-0" TALL SUPPLIED AND INSTALLED BY CONTRACTOR PERMANENT 14' HIGH GREEN CHAIN LINK FENCE MATERIAL SUPPLIED BY MENARD INC. INSTALLED BY CONTRACTOR
  - CONTRACTOR WILL SUPPLY, INSTALL AND MAINTAINLY DISMANTLE ALL TEMPORARY FENCES, BARRICADES AND ENCLOSURES PROVIDED FOR SAFETY OR SECURITY IN THE EXECUTION OF THIS PLAN
  - CONTRACTOR WILL CONSTRUCT AND MAINTAINLY DISMANTLE ALL TEMPORARY ENCLOSURES REQUIRED EXISTING BEEPERS SHALL REMAIN FOR SAFETY SECURITY OR WHAT SECURITY IN THE EXECUTION OF THIS PLAN USE OF MATERIALS SALVAGED FROM THIS SITE OF PROVIDES THROUGH CONTRACTOR
  - CONTRACTOR WILL LEAVE IMPACT ALL SECURITY AND SPRINKLER MONITORING EQUIPMENT UNLESS ANY MODIFICATION TO DISMANTLE HAS BEEN GIVEN BY THE MENARD PROJECT MANAGER
  - SALVAGED ITEMS WILL BE PACKAGED FOR SAFE SHIPMENT TO MENARD'S CORPORATE FACILITIES IN EARLY CLADE. NO USING SALVAGED MATERIALS SALVAGED FROM THIS SITE TO BE USED TO BE SALVAGED FOR REUSE
  - TRANSPORTATION TO EACH LOCATION WILL BE PROVIDED BY MENARD'S TRANSPORTATION OF ORGANIZED MATERIAL TO BE SOLD IN YARD TO BE PROVIDED BY MENARD FORM 11-13
  - NO TIE-UP MATERIAL WILL BE DISPOSED WITHOUT PRIOR APPROVAL OF THE MENARD SENIOR PROJECT MANAGER
  - CONTRACTOR WILL PROVIDE ALL ITEMS OR MATERIALS REQUESTED BY MENARD ON A FIRST AND LAST BASIS
  - ALL TENDRATIONS MUST COMPLY WITH STATE LOCAL AND CITY CODES
  - ALL RE-ROUTING OF EXISTING ELECTRICAL, PHONE, GAS, SEWER, WATER AND WATER THAT IS ENCOUNTERED BY DAMAGED BY THE CONTRACTOR IS AT THE CONTRACTORS COST AND MUST CONFORM TO APPLICABLE CODES
  - CONTRACTOR IS RESPONSIBLE FOR SCHEDULING ALL INSPECTIONS WITH THE CITY BUILDING INSPECTORS DEPARTMENT AND OBTAINING FINAL OCCUPANCY PERMIT
  - SEE GRADING PLANS FOR SCHEDULE FOR EXISTING ASPHALT OR CONCRETE WITH GRADE NOT TO EXCEED 3% MAXIMUM UNLESS OTHERWISE NOTED
  - CONTRACTOR TO MEET 980 STANDARD PRODUCTION DENSITY

<b>MENARD INC</b>		PROJECT TITLE	
STONE DESIGN DEPARTMENT		RAPID CITY SD	
LEAD CLAREN WISCHNISKI		SHEET TITLE	
SCALE: (DIMENSIONS) AS SHOWN		CONCRETE SLAB AND PAVING SITE PLAN	
1"=60'-0" N.W.S. 108-18-24		DATE	
REVISIONS	DESCRIPTION	BY	DATE
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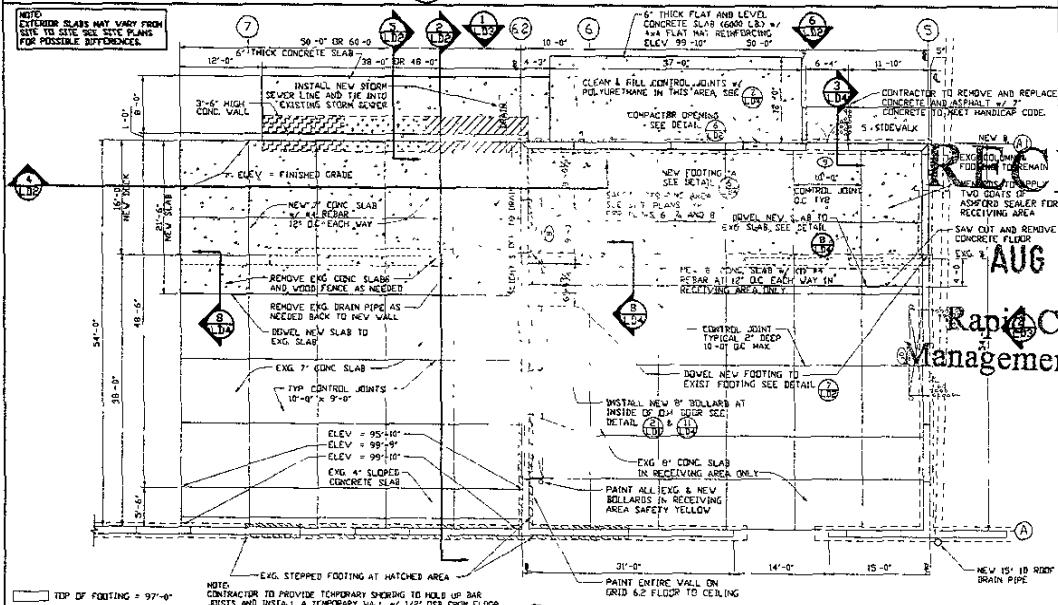
**1** CONCRETE SLAB SITE PLAN  
SCALE: 1" = 50'-0"



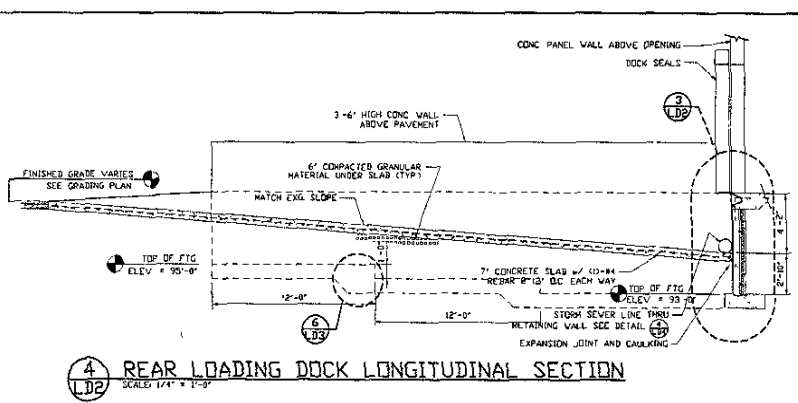
PROJECT TITLE		Rapid City, SD	
SCALE		DATE	
REVISION		DATE	
NO		DATE	
DATE		DESCRIPTION	
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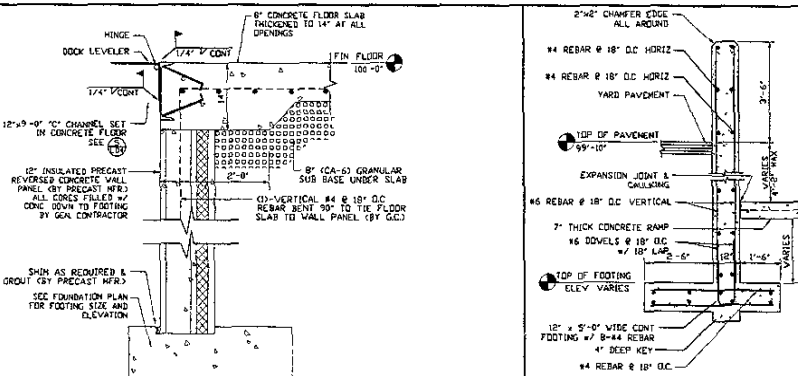
**(2) REAR LOADING DOCK SECTION**  
SCALE: 1/4" = 1'-0"



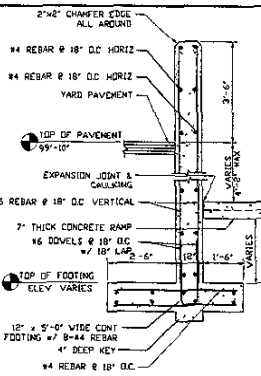
**(1) REAR LOADING DOCK PLAN**  
SCALE: 1/8" = 1'-0"



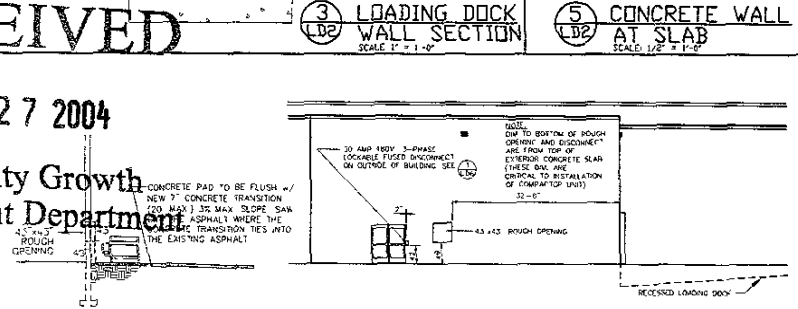
**(4) REAR LOADING DOCK LONGITUDINAL SECTION**  
SCALE: 1/4" = 1'-0"



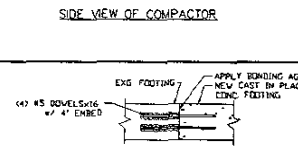
**(3) LOADING DOCK WALL SECTION**  
SCALE: 1/2" = 1'-0"



**(5) CONCRETE WALL AT SLAB**  
SCALE: 1/2" = 1'-0"



**(6) COMPACTOR OPENING**  
SCALE: 3/32" = 1'-0"



**(7) TYP. FOOTING COLD JOINT**  
SCALE: 1" = 1'-0"

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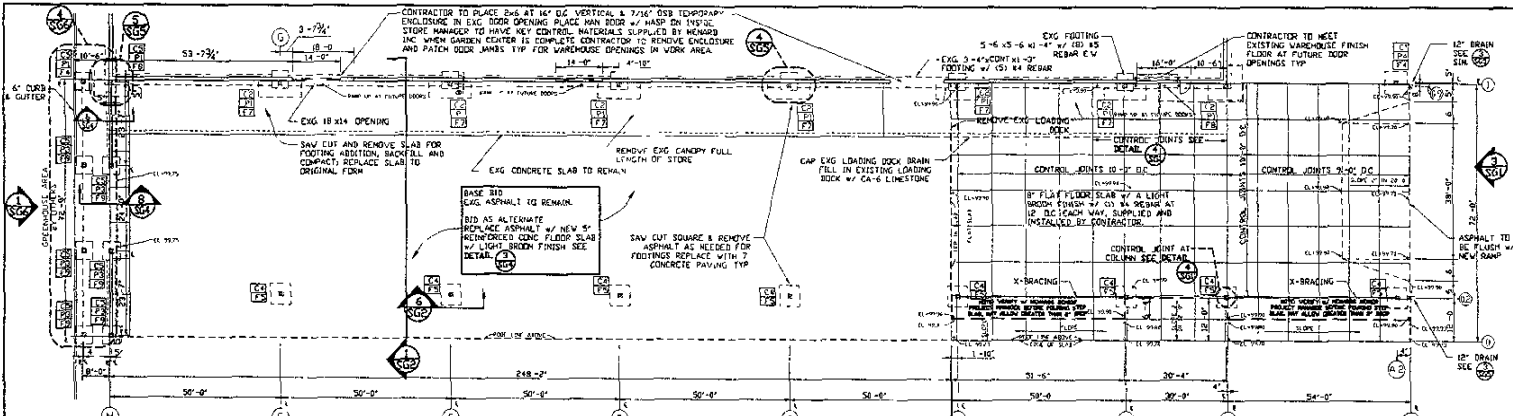
**AUG 27 2004**

**Rapid City Growth Management Department**

<b>REINARD</b> INC.		PROJECT TITLE	
STORE DESIGN DEPARTMENT		REV. NO.	REV. DATE
EAU CLAIRE, WISCONSIN		<b>REAR LOADING DOCK DETAILS</b>	
SCALE: 1/8" = 1'-0"	DRAWN BY: GATE	CHECKED BY: GATE	DATE: 12/17/03
DATE: 1/28/04	DATE: 1/27/03		
REVISIONS:			
1. 2/20/03	EXPLANATION	ISSUE	DATE
2. 2/20/03	REVISED SLAB REINFORCEMENT NOTE	ISSUE	DATE
3. 10/28/03	REVISE NOTES AND DETAIL	ISSUE	DATE
4. 10/28/03	REVISE NOTES	ISSUE	DATE

**NOTE:**  
CONTRACTOR TO PROVIDE TEMPORARY SHORING TO HOLD UP BAR JOISTS AND INSTALL A TEMPORARY WALL W/ 1/2" OEB FROM FLOOR TO CEILING TO SECURE THE STORE CONTAINER TO SIDE TOP OF WALL ETC. NO WATER MISC. TUBING MACHINERY IN RECEIVING AREA AFTER DOOR RELOCATED & BAR JOIST ARE PULLED BACK AND FOOTINGS EXPOSED, SO PRECAST NER CAN RELOCATE THE PRECAST PANELS REMOVE ALL WHEN PAINTING IS COMPLETE.

LD2

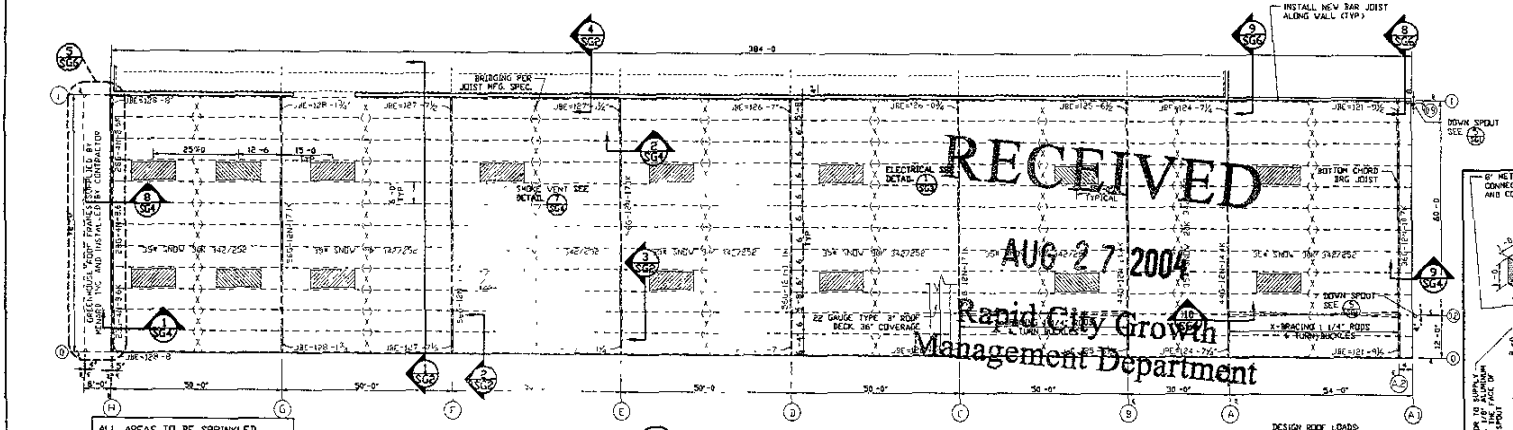


NOTE: SEE CIVIL PLANS FOR STORM SEWER. THE CONTRACTOR TO FILL STORM SEWER TRENCHES BY HEAVY DUTY ASPHALT PAVING. IF ASPHALT PLANTS HAVE CLOSED, CONTRACTOR TO POUR BACK BY 7" CONCRETE DINED BLACK.

CONTRACTOR TO DISMANTLE, REMOVE, ORGANIZE AND BAND ALL EXISTING RACKING (INCLUDING BECKING BACKER BOARDS AND DIVIDERS) IN THE AFFECTED WORK AREA. MERCHANDISE REMOVAL BY STORE TEAM MEMBERS.

**1 FLOOR SLAB PLAN**  
SCALE 1/16" = 1'-0"

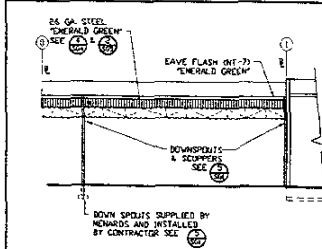
CHANGE IN SLAB THICKNESS AND STEP IN SLAB



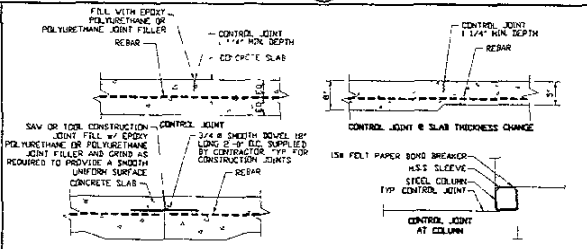
ALL AREAS TO BE SPRINKLED IN ACCORDANCE WITH ALL STATE AND LOCAL CODES AS REQ'D

**2 ROOF PLAN**  
SCALE 1/16" = 1'-0"

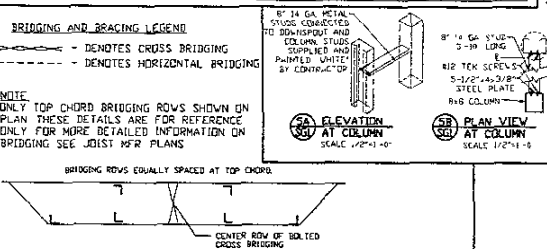
RECEIVED  
AUG 27 2004  
Rapid City Growth Management Department



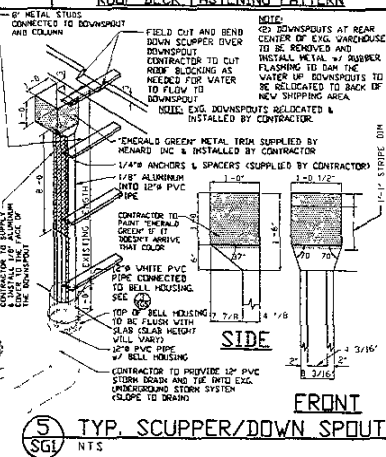
**3 REAR ELEVATION**  
SCALE 1/16" = 1'-0"



**4 TYPICAL JOINT DETAIL**  
NTS

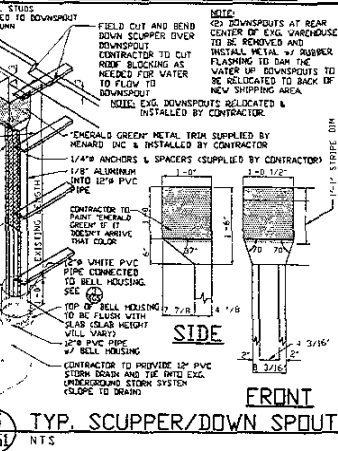
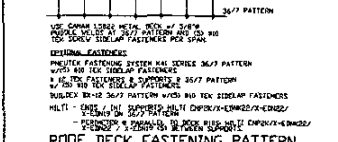


**5A ELEVATION AT COLUMN**  
SCALE 1/16" = 1'-0"



**5 TYP. SCUPPER/DOWN SPOUT**  
NTS

- GENERAL NOTES AND SPECIFICATIONS:
- STEEL JOIST SHALL MEET THE REQUIREMENTS OF THE STEEL JOIST INSTITUTE SPECIFICATION LATEST EDITION.
  - JOIST BRIDGING MUST BE INSTALLED TO MAINTAIN SMALL STEEL SCUPPER SHALL PROVIDE ALL ANCHORS & HANGERS SEE DETAIL.
  - ALL STEEL SHALL RECEIVE ONE COAT OF SHOP APPLIED PRIMER PAINT SHALL BE WHITE.
  - WITH ROOF DECK SHALL BE 1 1/2\"/>



<b>MEHARD</b> INC		PROJECT TITLE	
STORE DESIGN DEPARTMENT		REV PROTO	
E-41 CLARKE WASHINGTON		SHEET TITLE	
SCALE		DRAWN BY	
1/8\"/>			
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